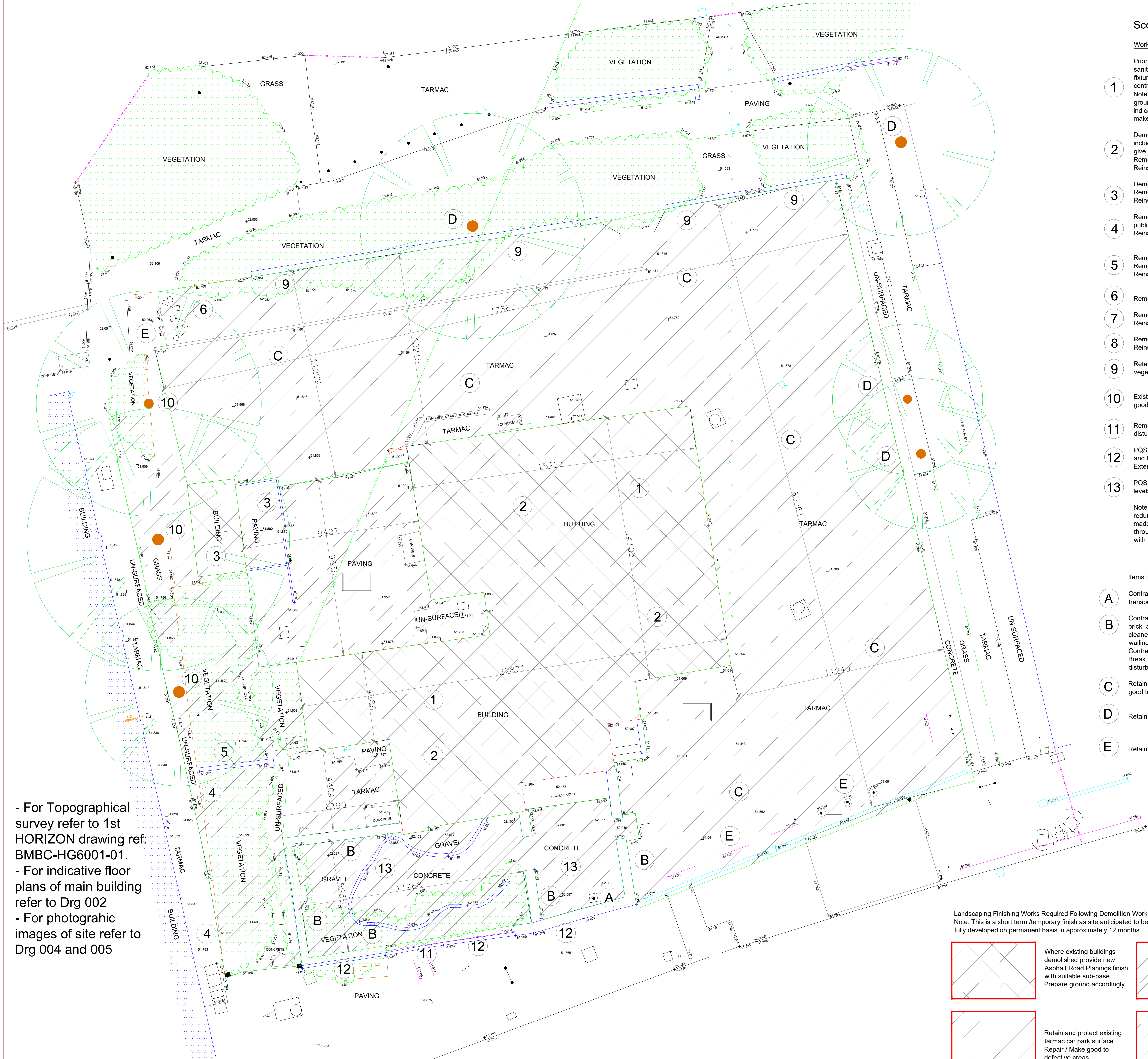




- For Topographical survey refer to 1st HORIZON drawing ref: BMBC-HG6001-01.
- For indicative floor plans of main building refer to Drg 002
- For photograhic images of site refer to Drg 004 and 005

Scope of Works:

Work Items:

Prior to carrying out soft strip to main building, all fitted furniture , sanitary-ware, mechanical & electrical equipment and loose furniture / fixtures and fittings are to be removed and disposed of by the contractor.

Note: There is a significant number of items stacked in one of the large ground floor rooms. Refer to Photos on Drgs 004 + 005 to give indication. Contractor to visit site to ascertain fully above items and make due consideration in tender return.

Demolish existing 2 storey building with pitched roofs in it's entirety including cellar floor and walls. Refer to Photos on Drgs 004 + 005 to give indication of construction.
Remove existing foundations (depth unknown).
Reinstate disturbed ground to receive new temporary surface.

Demolish existing out-building in it's entirety.
Remove existing foundations (depth unknown).
Reinstate disturbed ground to receive new temporary surface.

Remove existing concrete post and gravel board fence panels adjacent public footpath including bases to posts.
Reinstate disturbed ground to receive new temporary surface.

Remove existing concrete block wall.
Remove all foundations in association with above walls
Reinstate disturbed ground to receive new temporary surface.

Remove obsolete traffic spikes and make good to disturbed tarmac.

Remove existing paving and sub-base.
Reinstate disturbed ground to receive new temporary surface.

Remove and cart away all vegetation.
Reinstate disturbed ground to receive new temporary surface.

Retain and protect existing brick high and low walls. Remove vegetation within walls and make good to walls and tarmac.

Existing mature tree to be removed including full root structure; Make good / reinstate disturbed ground will suitable compacted fill.

Remove existing railings and paving slabs. Make good / reinstate disturbed ground.

PQS to allow provisional sum for provision of new concrete edgings and haunchings to rear of existing pavement where wall removed. Extent to be agreed to suit site conditions.

PQS to allow provisional sum for removal of spoil (to acheive reduced levels) to suitable waste disposal site as Stage 2 SI not carried out)

Note: Contractor to investigate existing below ground drainage - Any redundant drainage runs and manholes are to be removed and ground made good. Live drainage runs to be maintained and protected throughout the works. All retained live drains to be jetted at completion with CCTV survey provided to ensure system fully operational.

Items to be Retained / Protected / Salvaged

A Contractor to carefully remove / salvage existing post and sign and transport to BMBC Smithies Depot for re-use.

B Contractor to carefully dismantle + salvage for re-use walling stone / brick and plinth stones. Individual stones /bricks to be thoroughly cleaned of mortar. Contractor to carefully transport salvaged stone walling to BMBC Smithies Depot.
Contractor to place / suitably store stone at depot.
Break up / remove any foundation and make good / reinstate disturbed ground.

C Retain and protect existing tarmac car park surface. Repair / Make good to defective areas.

D Retain and protect existing all mature trees during demolition works.

E Retain existing bollards to front and rear entrance to site.

Landscaping Finishing Works Required Following Demolition Works

Note: This is a short term /temporary finish as site anticipated to be fully developed on permanent basis in approximately 12 months

Where existing buildings demolished provide new Asphalt Road Planings finish with suitable sub-base. Prepare ground accordingly.

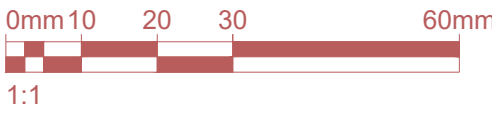
Retain and protect existing tarmac car park surface. Repair / Make good to defective areas.

Break up and remove from site existing concrete slab / gravel area within extent of stone wall to be removed and salvaged. Remove existing steps. Remove all vegetation. Reduce ground level to tie in with adjacent levels and remove spoil from site
Provide new sub-base and asphalt road planings.

Where existing hard / soft landscape to be removed provide new Asphalt Road Planings finish with suitable sub-base. Prepare ground accordingly.

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR. REPORT ANY DISCREPANCIES TO DRAWING AUTHOR AND PROPERTY SERVICES TEAM. DRAWING OR CONTENTS SHOULD NOT BE DUPLICATED WITHOUT PRIOR CONSENT.

DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DOCUMENTS INCLUDING BUT NOT LIMITED TO DRAWINGS, SPECIFICATIONS, SCHEDULES



NOTES

General Notes:

Note: There is Asbestos present in and around the building. Refer to Lancair report LYL4229/CN. Asbestos to be removed prior to commencement of demolition works by suitably licensed contractor in accordance with current legislation and HSE requirements.

Contractor to take dilapidation photos of all elements to be retained and surrounding area immediately adjacent site prior to starting works.

Demolition Notice and Planning Permission required. No works to be undertaken until these are in place.

BMBC Property Services will organise for statutory services isolations / disconnections to take place for electricity / water and gas.

Provide heras fencing to enclose demolition site completely with lockable gates to front entrance. Contractor access / egress to be via existing entrance at front of site (traffic light controlled). Provide suitable protection to pavement paving slabs - prevent any pedestrian trip hazard.

Works to be carried out with suitable dust and noise suppression equipment.

Existing dedicated traffic light serving car park front entrance is to be retained following completion of works.

Recycled Asphalt Road Planings Specification:

Road planings to be in accordance with U1 Waste Exemption: Use of waste in construction and Environment Agency Rules & Guidance: Materials and amount used must fall within List of Waste (LoW) Regulations: Bituminous mixtures not containing coal tar; Waste must be processed into chips prior to use.

Materials to be stored, handled and laid all in accordance with current regulations and Health & Safety guidance (HSE). Contractor to provide appropriate RAMS including COSHH sheets prior to works being carried out.

Suitably screened planings to be non-hazardous and processed / classified to suit application.

Road planings to be clean and free from contamination. Obtained from suitable source / supplier. Contractor to provide documentation of properties / supplier.

Prepare ground to receive suitable stone sub-base. Sub-base to be well compacted and in suitable layers as required.

Contractor to submit proposals for sub-base specification and thickness.

Areas to be levelled and road planings laid to minimum depth of 100mm. Road planings to be finished under surface roller to provide smooth, even level finish.

P4	Scope of works to walling / concrete slab + sign to front of site amended to client requirements. Notes updated.	06/08/21	MJY
P3	Road planings notes added. Tender Issue	12/07/21	MJY
P2	Mature trees adjacent Library shown as being removed	18/06/21	MJY
P1	First Issue	28/05/21	MJY
Rev	Notes	Date	Issued By



BARNSELY
Metropolitan Borough Council
PROPERTY SERVICES

SERVICE

Strategy, Growth & Regeneration

PROJECT

Demolition of former Horse & Groom Public House, Goldthorpe

TITLE

Indicative Scope of Works

PROJECT REF 07-01-108084	DRAWING REFERENCE BMBC-DR-A-003	REV P4
SCALE 1:100	DISCIPLINE ARCHITECTURE	SHEET SIZE A1
PURPOSE OF ISSUE TENDER	Drawn MJY	Checked MJY