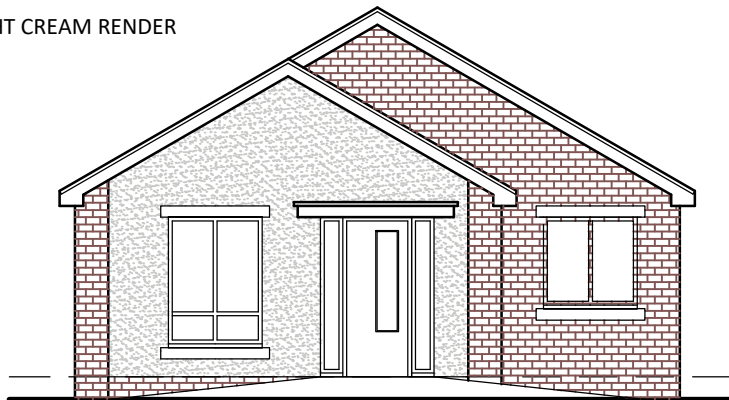
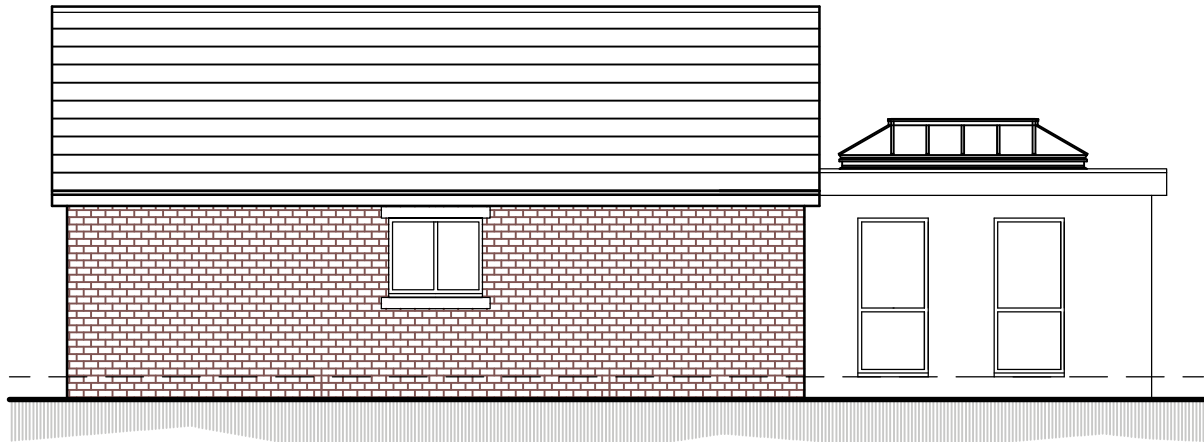


PROPOSED EXTERNAL MATERIALS
WALLS: SOUTHDOWN MULTI FACING BRICKWORK WITH LIGHT CREAM RENDER
WINDOWS 'CHARTWELL GREEN' UPVC
ROOF: MARLEY MODERN DARK GREY ROOF TILES



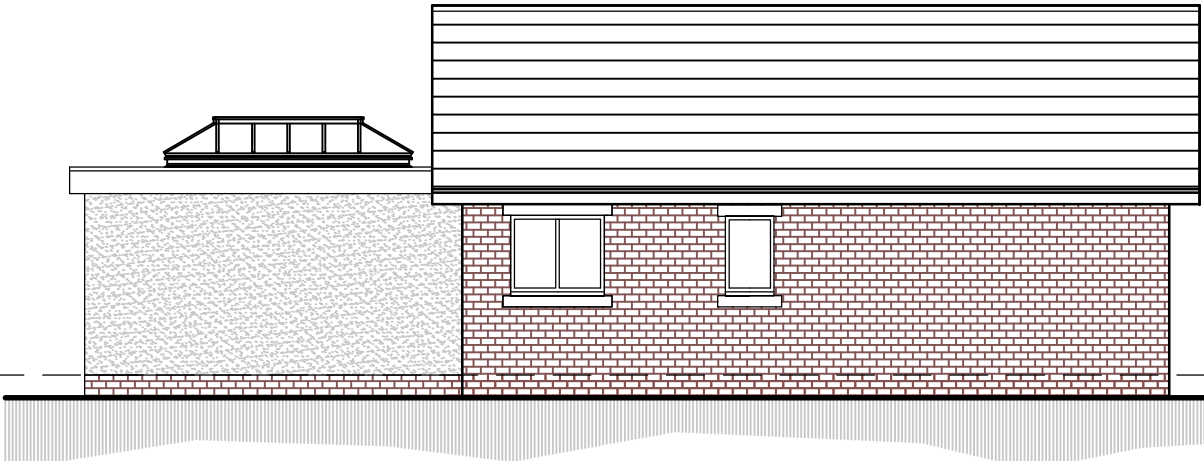
FRONT ELEVATION



SIDE ELEVATION



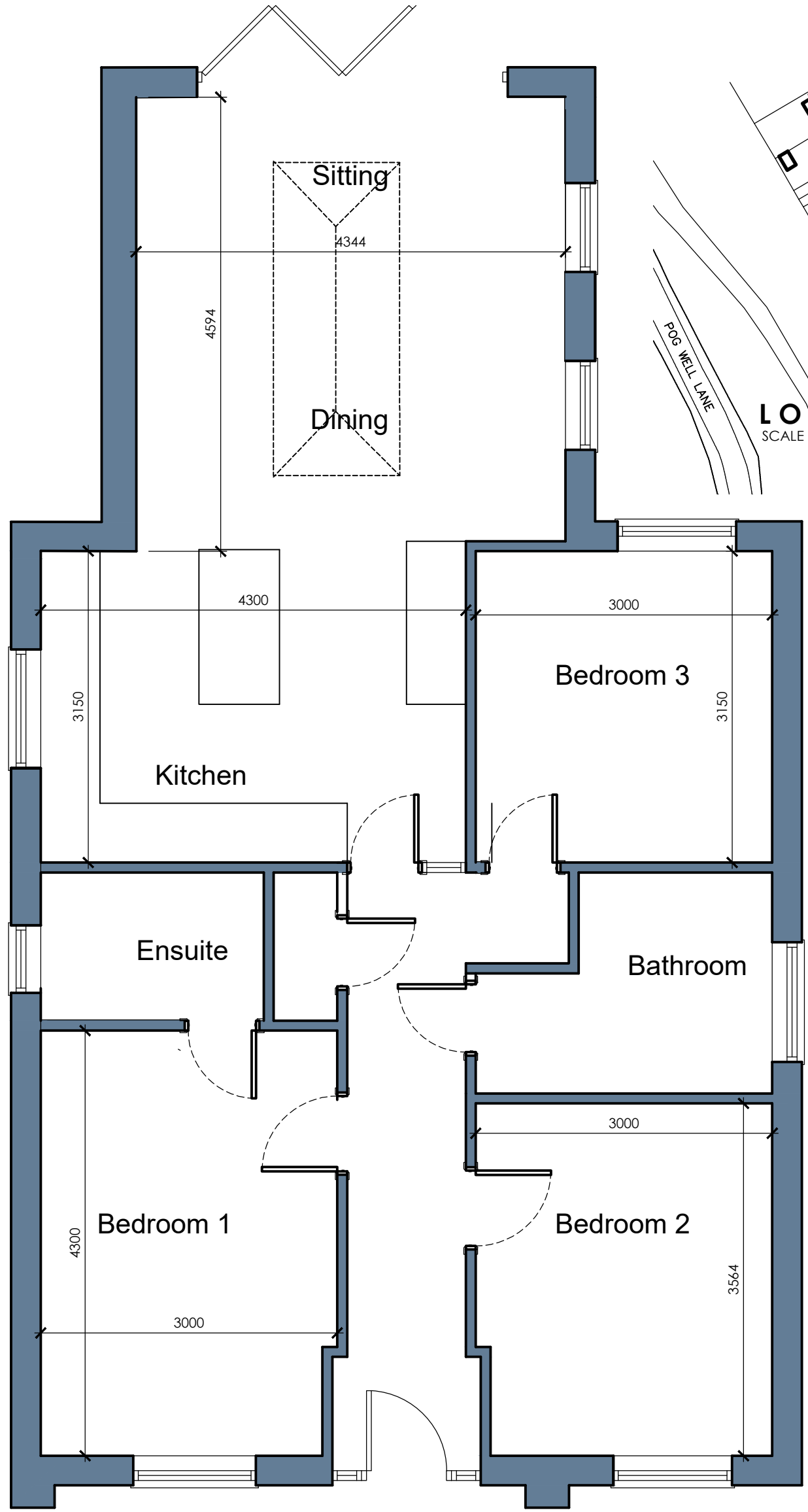
REAR ELEVATION



SIDE ELEVATION



LOCATION PLAN
SCALE 1:1250



FLOOR PLAN

METHOD STATEMENT - CONSTRUCTION OF NEW DWELLINGS ON LAND AT HIGHAM COMMON ROAD, BARNLEY

SECTION 1 - ACCESS TO SITE FOR CONSTRUCTION TRAFFIC:
Access to the site will be directly from the existing entrance from Higham Common Road or the new access point to the existing dwelling

SECTION 2 - THE PARKING OF VEHICLES OF SITE OPERATIVES AND VISITORS
• Limited parking will be available within the curtilage of the site. If necessary, operatives and visitors will be directed to suitable 'on street' parking areas.

SECTION 3 - DEMARCATION OF THE SITE/SECURITY HOARDING
• The site area will be secured by a perimeter fence to prevent unauthorized access. Lockable gates to each site entrance to be secured at the end of each work day.

SECTION 4 - DELIVERIES TO SITE & THE LOADING AND UNLOADING OF PLANT & MATERIALS
• All deliveries to site shall be guided in by a banksman wearing a Hi Vis vest to ensure safe access on to site from the highway.
• Where possible all deliveries to be unloaded within the site.
• All deliveries leaving site shall be guided out by a banksman wearing a Hi Vis vest and ensuring safe departure paying attention to members of the public and other traffic.

SECTION 5 - MEASURES TO CONTROL DUST & DIRT
• During dry periods of weather the site will be monitored for high levels of dust and, if required, will be controlled using sprinkler/hose pipe systems.
• Any mud and dirt transferred onto the road will be brushed and cleaned off daily to ensure the surrounding roads are kept as clean as possible.
• The banksman escorting vehicles out of the site will do a visual check of the road and footpath for dirt and take action if required.
• The Builder will inspect all vehicles and wash off any mud / debris to ensure they are clean & safe before driving onto the public highway.

SECTION 6 - NOISE LEVELS DURING CONSTRUCTION
• Noise from plant will be kept to a minimum by using modern well maintained plant, incorporating appropriate silences etc.
• Site operatives will be reminded of the importance of being considerate to neighbouring properties and members of the public during the course of their work, keeping noise to a minimum.

SECTION 7 - NEIGHBOURING PROPERTIES
• The site foreman will liaise with neighbouring properties to ensure a good working relationship.

SECTION 8 - STORAGE OF MATERIALS & PLANT ON SITE
• Materials will be stored on site in a safe and tidy manner
• Plant will have a designated parking area.
• Waste materials will be removed to a skip and taken off site to keep the site safe and looking tidy.

EVA-07S-SE / EVA-07S-SE RFID
32amp VEHICLE CHARGING POINT
1800MM OR 900MM HIGH AND STEPPED TO SUIT SITE CONTOURS
TIMBER POSTS 125X25MM DARK STAINED TIMBER, FEATHER EDGED

100MM DIA DUCT TO BE PROVIDED FROM HIGHWAY INTO EACH DWELLING FOR INSTALLATION OF HIGH SPEED FULL FIBRE BROADBAND. INSTALLATION OF THE ASSOCIATED CABLE/EQUIPMENT TO BE AGREED WITH PROVIDER INCLUDING TIMESCALE.

EXISTING OUTBUILDINGS ARE TO BE REMOVED

SHRUB SCHEDULE

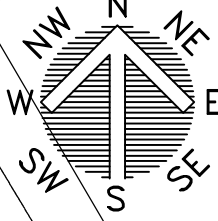
Plant Name	Height in cm	Container	Density/m ²
Lonicera 'May Green'	30-40cm	3L	4.00
Spiraea bumalda 'Goldflame'	30-40cm	3L	4.00



Proposed selected standard tree planting. See schedule for species.

SCREEN FENCE TYPE A
1800MM OR 900MM HIGH AND STEPPED TO SUIT SITE CONTOURS
TIMBER POSTS 125X25MM DARK STAINED TIMBER, FEATHER EDGED

VISIBILITY SPLAY
2.4 x 43
NEW-DROPPED KERB



FRONT BOUNDARY FENCE & PRIVET HEDGE TO BE REMOVED

PARKING TO NEW DWELLING

ACER CRIMSON KING

SPIRAEA BUMALDA 'GOLDFLAME'

EXISTING BOUNDARY FENCE TO BE RETAINED

VISIBILITY SPLAY
2.4 x 43

SITE PLAN
SCALE 1:200



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ARCHITECTURAL SERVICES

Project:
PROPOSED DWELLING AT
HIGHAM COMMON ROAD
BARNLEY

Client:
DEVELOPMENTS BY BOUTIQUE

Drawing
Title:
PLANS AND ELEVATIONS

Date:
MAY 2023
Scale:
1:50 & 1:100 @A2
Ref:
23-017
Dwg. No.
03
Rev.
E

Date	Suffix	Description	Date	Suffix	Description
22-06-23	A	ROOF REVISED			
06-09-23	B	MINOR MODIFICATIONS			
06-10-23	C	MINOR MODIFICATIONS			
16-11-23	D	MATERIALS & VIS SPLAYS ADDED			
17-11-23	E	VISIBILITY SPLAYS ADVISED			