

Application Reference: 2026/0430

Site Address: The Vicarage, 5 Church Lane, Cawthorne, Barnsley, S75 4DW

Introduction: This application seeks full planning permission for the Installation of an external WC at basement level, together with the extension of existing balcony at ground floor level to side of dwelling.

Relevant Site Characteristics:

The dwelling is a yellow stone split level, detached bungalow. The dwelling is set atop a hill, declining westerly towards dwellings in St Juliens Mount. In addition to a standard ground floor bungalow layout, the dwelling features lower ground floor or basement level, utilised as a garage and storage area, located on the western elevation of the dwelling. Because of the ground level differences, the existing balcony is at ground level to the house, but effectively at a first-floor level to the lower ground level and side garden below.



Site History

There is no site history for the address.

Detailed description of Proposed Works

The proposal is for the existing balcony on the western side elevation of the dwelling, to be replaced and extended, and for a small, external WC to be attached to the side elevation of the garage at the lower ground floor level, underneath an existing section balcony.

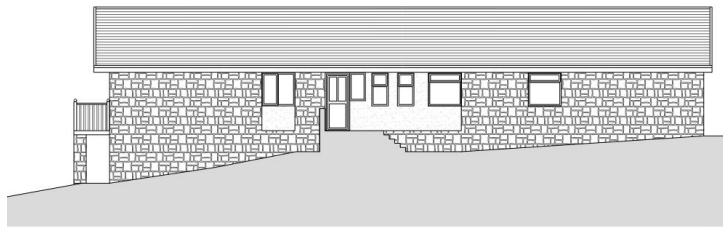
Existing and Proposed Elevations and Floor Plans



Existing North-West Elevation
Scale 1:100



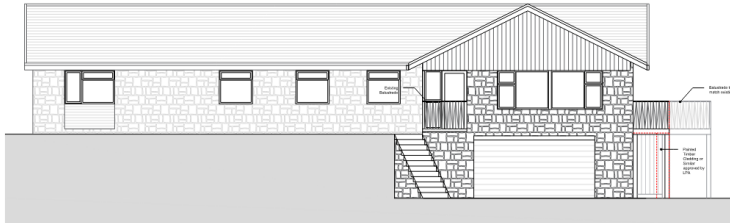
Existing South-West Elevation
Scale 1:100



Existing South-East Elevation



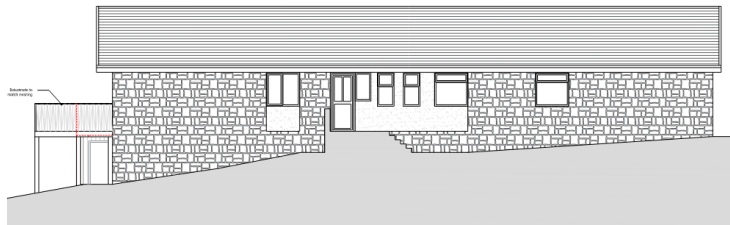
Existing North-East Elevation



Proposed North-West Elevation
Scale 1:100



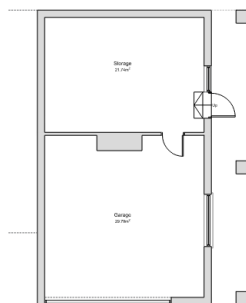
Proposed South-West Elevation
Scale 1:100



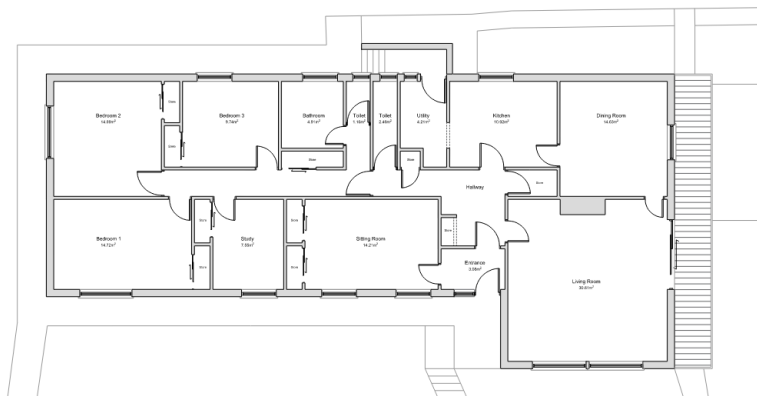
Proposed South-East Elevation
Scale 1:100



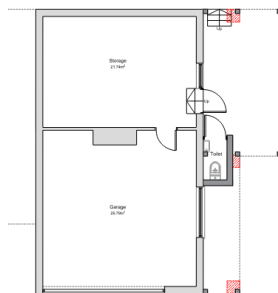
Proposed North-East Elevation
Scale 1:100



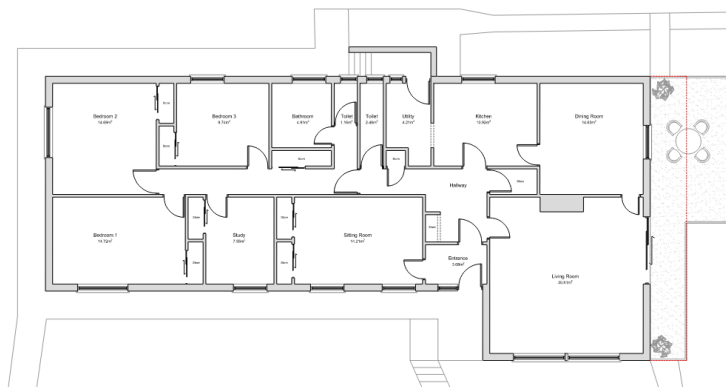
Existing Basement Plan
Scale 1:100



Existing Ground Floor Plan
Scale 1:100



Proposed Basement Plan
Scale 1:100



Proposed Ground Floor Plan
Scale 1:100

Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy HE1: The Historic Environment
- Policy HE2: Heritage Statements
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

Section 16 - Conserving and enhancing the historic environment

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. A press notice and site notice were also posted.

No comments were received as a result of the consultations.

Cawthorne Parish Council – No objections received

Conservation – There was support for the potential improvement to the worn balcony, and confirmation that the proposal would not be expected to have a negative impact on the conservation area of nearby listed structures, predominately gravestones.

Public Rights of Way – Confirmed the proposal would not directly affect the Public Right of Way but also highlighted that the council is only responsible for maintenance of the right of way up to a standard for pedestrians. A standard informative was also requested to be added to any decision notice.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls adjacent to the Cawthorne Conservation Area, although the map incorrectly indicates that the dwelling's house name 'The Vicarage' is located within the Conservation Area. Extensions and alterations to residential properties which may impact on a Conservation Area are considered acceptable where they would be respectful of local character and will conserve and enhance the significance and setting of the borough's heritage assets and where it would not have a detrimental impact on the amenity of surrounding residents, or on highway safety.

Scale, Design and Impact on the Character of the Dwelling and Conservation Area

The proposed external WC is of a modest scale, at approximately 1.9 sqm, and located in a relatively discrete location, attached to side elevation of the lower ground floor level garage, underneath the existing, proposed balcony. With such characteristics, the proposal would be unlikely to have more than a limited impact on the scale, design and character of the original dwelling.

The proposed balcony would be a replacement of the original balcony, with an extension to the projection from the western side elevation of the dwelling. Currently, the area of the balcony is approximately 13.18 sqm, with a projection of 1.3m. The extended balcony would feature a area of approximately 20.87 sqm, and an approximate maximum projection of 2.8m. To minimise the impact on the design and character of the dwelling, the extended projection only extends for about 5.24 m of the approximate 10.14m length of the original balcony which is retained.

To again minimise the impact of the design of the proposal on the original dwelling, the existing wooden balustrade would be replaced with a matching, as far as possible, to the existing balustrade featured on the front elevation of the dwelling. The current bulky stone pillars supporting the balcony would also be replaced by thinner, less instructive steel supports. The limited extent of external materials of the WC, which would not be prominent within the street scene would be constructed of painted timber cladding to match the other external materials used within the dwelling/balcony.

A detailed assessment was provided by the conservation team, who despite recognising that the application dwelling is located adjacent to the conservation area, and listed structures, although mainly gravestones, confirmed the proposal would be unlikely to have no negative impact on the conservation area, and may improve the appearance of the worn balcony and its supporting posts.

With no proposed works to the principal dwellinghouse, only the addition of an external lower ground floor WC, replacement and extension of an existing balcony, and with no objection from Conservation, the proposals would only have a limited impact on the design, scale and character of the original dwelling.

The proposal would therefore be compliant with local policy GD1 and D1, which carry moderate weight in favour of the proposal.

Impact on Neighbouring Amenity

Due to the location of the proposed WC and Balcony, only the extended balcony would potentially impact the amenity of neighbouring dwellinghouse and garden of No 36 St Juliens Mount and the gardens No 34 St Juliens Mount and 4 Church Lane. As the current balcony is a longstanding, possibly original feature of the dwelling, it would be the impact of the extension to the balcony which would be assessed.

The proposed extension to the balcony would increase the projection from the western elevation of the dwelling from approximately 1.3m to 2.8m, a 1.5m increase. Because the extension does not extend the full length of the balcony, the area of the balcony only increases from approximately 13.86 sqm to 20.87 sqm, about a 7 sqm increase. Whilst not an insignificant increase, given that it is an increase in size rather than completely new balcony, the impact

would not be as significant. For the neighbouring gardens of 36 St Juliens Mount and 4 Church Lane, the impact on their amenity from any overshadowing/overbearing impact would be limited.

In terms of overlooking, the existing balcony has a view over No 36 St Juliens Mount. However, given there still remains an approximate 19m distance between the balcony and the neighbouring dwellinghouse, and the ground level difference between the dwellings, any additional overlooking impact from the extension to the size of the existing balcony would be considered as modest.

With at most, a modest impact on residential amenity, the proposal would be considered in accordance with Local Policy GD1 which carries moderate weight in favour of the proposal.

Highways

There are no proposed changes to access or parking provision, and therefore no impact upon Highway Safety.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions and Informative

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.
2. The development hereby approved shall be carried out strictly in accordance with amended plans
 - Location Plan PP-14839347v1
 - Existing and Proposed Site Plan 71 - P – 01
 - Existing Floor Plans 71 - P – 02

- Existing Roof Plan 71 - P - 03
- Existing Elevations 71 - P – 04
- Proposed Floor Plans 71 - P - 05
- Proposed Roof Plan 71 - P – 06
- Proposed Elevations 71 - P – 07
- Existing and Proposed Block Plan 71 – P - 08

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

3. The external materials shall match those used in the existing building

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

1. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner. If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.
2. A public right of way (Cawthorne FP 14) runs adjacent to the property on two sides (North and East) along the access to the proposed development site. Safe public access on the right of way should remain available at all times, with no obstruction of or encroachment onto the width of the path and no building debris, storage of materials or parked vehicles limiting access at any time. Appropriate measures should be taken to protect the public, including fencing if necessary. If safe public access is not possible at any time, then a temporary closure should be arranged, providing at least 4 weeks' notice and details of how public access will be managed. For further information contact publicrightsofway@barnsley.gov.uk