



MG Architectural Designs.
Worksop Turbine.
Shireoaks Triangle Business Park.
Coach Close. Worksop.
Notts. S81 8AP.

Dear Sir / Madam,

Please find enclosed an application to discharge conditions 1 through to 13 (a total of 13 no. conditions) associated with approved planning permission reference 2023/0762 which relates to the Demolition of existing dwelling and erection of two dwellings and associated Works at 315 Dodworth Road, Barnsley, S70 6PN.

We are respectfully looking to discharge these conditions where necessary in order to allow the progression into works commencing in due course.

Condition 01

The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

Response - No necessity to submit further details, but a compliance requirement.

Condition 02

The development hereby approved shall be carried out strictly in accordance with the amended plans (Nos.23-03D, 23-04B, 23-05B, 23-06B, 23-07B & 23-08A) and specifications as approved unless required by any other conditions in this permission.

Response – All drawings mentioned above shall be followed, with any deviations through below conditions required, these shall be superseded with the revised/ approved drawing used in its place.

Condition 03

Upon commencement of development details of the proposed external materials shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

Response – Bricks to be Ibstock 65mm Leicester Weathered Red Stock. Roof tiles to be Marley Modern Smooth in Grey.

Condition 04

Upon commencement of development a plan indicating the position of boundary treatment(s) to be erected shall be submitted to and approved in writing by the Local Planning Authority.

The boundary treatment shall be completed before the dwelling is occupied. Development shall be carried out in accordance with the approved details and shall thereafter be retained

Response – Please refer to Block Plan as Proposed - Rev E.

Condition 05

Construction or remediation work comprising the use of plant, machinery or equipment, or deliveries of materials shall only take place between the hours of 0800 to 1800 Monday to Friday and 0900 to 1400 on Saturdays and at no time on Sundays or Bank Holidays.

Response – No necessity to submit further details, but a compliance requirement that we can confirm these times shall be adhered too fully.

Condition 06

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking or re-enacting that Order with or without modification), no enlargement, improvement or other alteration of the dwellings which would otherwise be permitted by Part 1 of Schedule 2 to that Order shall be carried out without the prior written consent of the Local Planning Authority, and no garages or other outbuildings shall be erected. Furthermore, no buildings and structures shall be erected within the 'No Build Zone' identified on Drawing No. 23-03D Ref: EVANS.

Response – No necessity to submit further details, but a compliance requirement.

Condition 07

Upon commencement of development, full details of both hard and soft landscaping works, including details of the species, positions and planted heights of proposed trees and shrubs; together with details of the position and condition of any existing trees and hedgerows to be retained shall be submitted to and approved in writing by the Local Planning Authority. The approved hard landscaping details shall be implemented prior to the occupation of the building(s).

Response – Please refer to drawing 23-09 Hard and Soft Landscaping Plan as Proposed for full details. These shall be implemented as approved prior to the occupancy of either dwelling.

Condition 08

All in curtilage planting, seeding or turfing comprised in the approved details of landscaping shall be carried out on each plot no later than the first planting and seeding season following the occupation of the individual dwellinghouse/s; and any trees or plants which die within a period of 5 years from first being planted, are removed, or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Response – Please refer to drawing 23-09 Hard and Soft Landscaping Plan as Proposed for full details. These shall be implemented as approved in the first planting season following the occupancy of either dwelling and will be maintained for 5 years.

Condition 09

The parking/manoeuvring facilities, indicated on the submitted plan, shall be surfaced in a solid bound material (i.e. not loose chippings) and made available for the manoeuvring and parking of motor vehicles prior to the development being brought into use, and shall be retained for that sole purpose at all times.

Response - Please refer to drawing 23-09 Hard and Soft Landscaping Plan as Proposed for full details. These shall be implemented as approved prior to the occupancy of either dwelling and for the whole life expectancy of the dwellings.

Condition 10

All surface water run off shall be collected and disposed of within the site and shall not be allowed to discharge onto the adjacent highway.

Response - No necessity to submit further details, but a compliance requirement.

Condition 11

The dwellings hereby permitted shall not be occupied until pedestrian visibility splays of 2m x 2m to the back edge of the footway have been provided at the proposed accesses. Nothing shall be erected, retained, planted and/or allowed to grow at or above a height of 0.6m to the rear of the footway which would obstruct the visibility splays. The visibility splays shall be maintained free of obstruction at all times thereafter for the lifetime of the development.

Response - Please refer to drawing 23-09 Hard and Soft Landscaping Plan as Proposed for full details. These shall be implemented as approved prior to the occupancy of either dwelling and for the whole life expectancy of the dwellings.

Condition 12

No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the Local Planning Authority. The statement shall include but not be restricted to:

- i. Site working hours and delivery hours which should avoid peak hours
- ii. The parking of vehicles of site operatives and visitors
- iii. Any temporary access to the site
- iv. Loading and unloading of plant and materials
- v. Storage of plant and materials used in constructing the development
- vi. Arrangements to receive abnormal loads or unusually large vehicles
- vii. Methods of communicating the Construction Management Plan to the workforce, visitors and neighbouring residents and businesses
- viii. Measures to prevent mud/debris being deposited on the public highway.

The approved statement shall be adhered to throughout the construction period.

Response –

- i. The use of plant, machinery or equipment and deliveries of materials shall only take place between the hours of 0800 to 1800 Monday to Friday and 0900 to 1400 on Saturdays and at no time on Sundays or Bank Holidays.
- ii. Parking of all site visitors and operatives are to be adjacent to the Annex to the rear as shown on 23-10 Construction Method Plan.
- iii. Access to the site shall be made through the existing site entrance from Dodworth road and from the rear adjacent to the Annex and site parking.
- iv. Unloading of plant and machinery shall only be at the start of the project to aid demolition of the existing house and for the ground works excavations. These will all be made using the existing access from Dodworth Road. All materials shall be delivered by vehicle parking on the lane adjacent to the site and unloading to the rear of the proposed buildings. This will minimize any disruption to traffic and neighbor's on Dodworth Road.
- v. All materials shall be stored to the rear for ease of delivery and safety against theft. All shall be removed from site at the end of each working day and returned to site as and when necessary.
- vi. Due to the scale of the project there will be only two abnormal sized loads and these will both be to deliver the roof trusses around about 12 weeks into the build. These will simply pull up across the front of the site and using a hi-ab from the vehicle these will be unloaded. These deliveries will both take place on in the morning and one in the afternoon on the same day.
- vii. The construction Method Plan shall be given to the main contractor for the build and it will be his responsibility to educate this to his operatives. The plan shall also be made available to adjacent residents of works at the start of the project by a letter drop in person to answer any questions at that time. This will include contact details for the applicant to ensure any concerns can be directed to them personally.
- viii. The construction phase that would course potential debris etc to be brought onto the public highway is planned to be started and completed during hotter weather conditions to prevent this from being an issue. However, the applicant shall have on site pressure washing facilities to clean off all vehicle wheels leaving the site. This location is shown on the 23-10 Construction Method Plan and shall be in place for the duration of the build out.

Condition 13

The existing additional residential accommodation (annex) to the rear of the site shall only ever be used incidentally as ancillary residential accommodation by immediate family members of plot 2, hereby approved, and shall not be sold or rented as a separate dwelling or planning unit at any time.

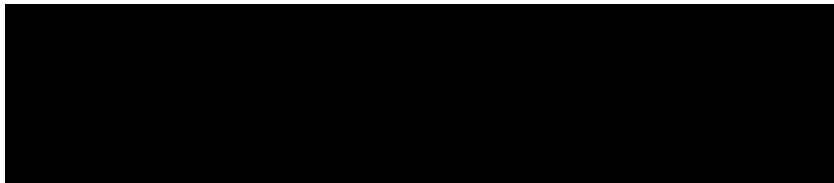
Response - No necessity to submit further details, but a compliance requirement.

Should you require any further information to assist you in dealing with the discharging of any of these conditions, please feel free to contact myself at any time.

Yours Sincerely



Mark Garfitt.
Architectural Designer.



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