

Conversion of Nether Mill Barn, Penistone S36 8AD
To form Veterinary Surgery on Behalf of Donaldson's Vets Ltd

Our Ref: C1096 453; Statement to Accompany an Application to Vary Planning Condition 2 (Planning Application Ref: 2022/0744)

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	Revision Number:		
	Initial Issue		
Author:	Kevin Dawson For & On Behalf of Dawson Williamson Ltd		
Position:	Director		
Date of Issue:	25 March 2024		
Notes:			

1.0 Introduction

1.1 Purpose of the statement

- 1.1.1 This statement has been prepared by Dawson Williamson Ltd to accompany an application to vary Condition 2 which is attached to Planning Application Ref: 2022/0744 and states that:

'The development hereby approved shall be carried out strictly in accordance with the amended plans (Nos. C1096 000 Rev 1, C1096 001 Rev 1, C1096 010 Rev 1, C1096 011 Rev 1, C1096 015 Rev 0, C1096 021 Rev 1, C1096 022 Rev 1, C1096 050 Rev 2, C1096 051 Rev 3, C1096 052 Rev 3, C1096 110 Rev 6, C1096 111 Rev 4, C1096 201 Rev 3, C1096 202 Rev 3, C1096 100 Rev 2, 12207005, Design and Access Statement, Flood Risk Assessment Rev C, Bat Report by JCA ref 18369a/HC, Transport Statement, Heritage Statement, Sequential Assessment, Written Scheme of Investigation - Level 3 Building Recording) and specifications as approved unless required by any other conditions in this permission. Reason: In the interests of the visual amenities of the locality in accordance with Local Plan Policy D1 High Quality Design and Place Making.

Reason: In the interests of the visual amenities of the locality in accordance with Local Plan Policy D1 High Quality Design and Place Making.'

- 1.1.2 The proposition has been developed following discussions with the Local Authority Conservation Officer (Anthony Wiles) who advised the following by email dated Tuesday, February 6 (12:11):

I understand this may be justified and I would welcome the removal of the buttresses (which are clearly there for a reason due to the failing wall). I welcome the plan to retain the inner brick skin and that this essentially amounts to an external re-skinning in stone. I'd ask this be done with as much original and salvaged stone as it possible and the coursing detail and pointing must match the existing bed depths and pointing with regards to condition 12 and 13 on the approved planning permission and listed building consent. I do however think we need to ensure we have a record of this to cover the works that includes a reasonable explanation of why it is necessary and updated plans.

To that end, I would suggest you submit a variation of condition to vary the approved plans for the planning permission and LBC under ref's 2022/0744 and 2022/0848 – Conditions 2 on both approval's.

- 1.1.3 The statement has been prepared to be read in a clear manner & be understood by all parties involved in consultation during the process. It is intended to be a positive tool to inform Barnsley Council Officers, Third Party Consultees and the General Public.

2.0 Description of Issues Encountered During Works on Site

2.1 Written Statement

- 2.1.1 Work commenced on site in January 2024 and the Principal Contractor began stripping the existing render from the end elevation.
- 2.1.2 This work had to be stopped shortly after it started as it was discovered that the external leaf of stonework behind the render is very loose.
- 2.1.3 There is also a significant 'bowing' in the wall above the level of the existing buttresses.
- 2.1.4 The project Structural Engineer (Topping Engineers Ltd) was consulted and they have advised that the external leaf of stonework should be taken down and re-built. This will allow the new stonework to be tied into the existing internal brickwork which is thought to have been added at the same time as the buttresses to strengthen the gable.
- 2.1.5 The project Structural Engineer (Topping Engineers Ltd) has confirmed that the existing buttresses can be removed as part of the repair work and this is considered to be visually beneficial to the arrangement of the gable by removing a non-original part of the structure.
- 2.1.6 We wrote to Local Authority Conservation Officer (Anthony Wiles) to inform him of the situation and our proposal on 2 February 2024. Mr Wiles responded by email on 6 February 2024 confirming the following:
- "I understand this may be justified and I would welcome the removal of the buttresses (which are clearly there for a reason due to the failing wall). I welcome the plan to retain the inner brick skin and that this essentially amounts to an external re-skinning in stone. I'd ask this be done with as much original and salvaged stone as it possible and the coursing detail and pointing must match the existing bed depths and pointing with regards to condition 12 and 13 on the approved planning permission and listed building consent. I do however think we need to ensure we have a record of this to cover the works that includes a reasonable explanation of why it is necessary and updated plans. To that end, I would suggest you submit a variation of condition to vary the approved plans for the planning permission and LBC under ref's 2022/0744 and 2022/0848 – Conditions 2 on both approval's."*
- 2.1.7 The Local Authority Conservation Officer (Anthony Wiles) visited site to review the existing condition and discuss the proposed remedial work on 6 March 2024. We presented the methodology which is contained within section 3.1 of this document and Mr Wiles confirmed that he is supportive of this approach.



View of the existing gable with render partially removed,
Evidence of loose stonework is identified by the yellow dotted lines



View of the existing gable with render partially removed,
Evidence of 'bowing' wall pushing out above the buttresses



View of the existing gable with render partially removed,
Evidence of 'bowing' wall pushing out above the buttresses

3.0 Proposition

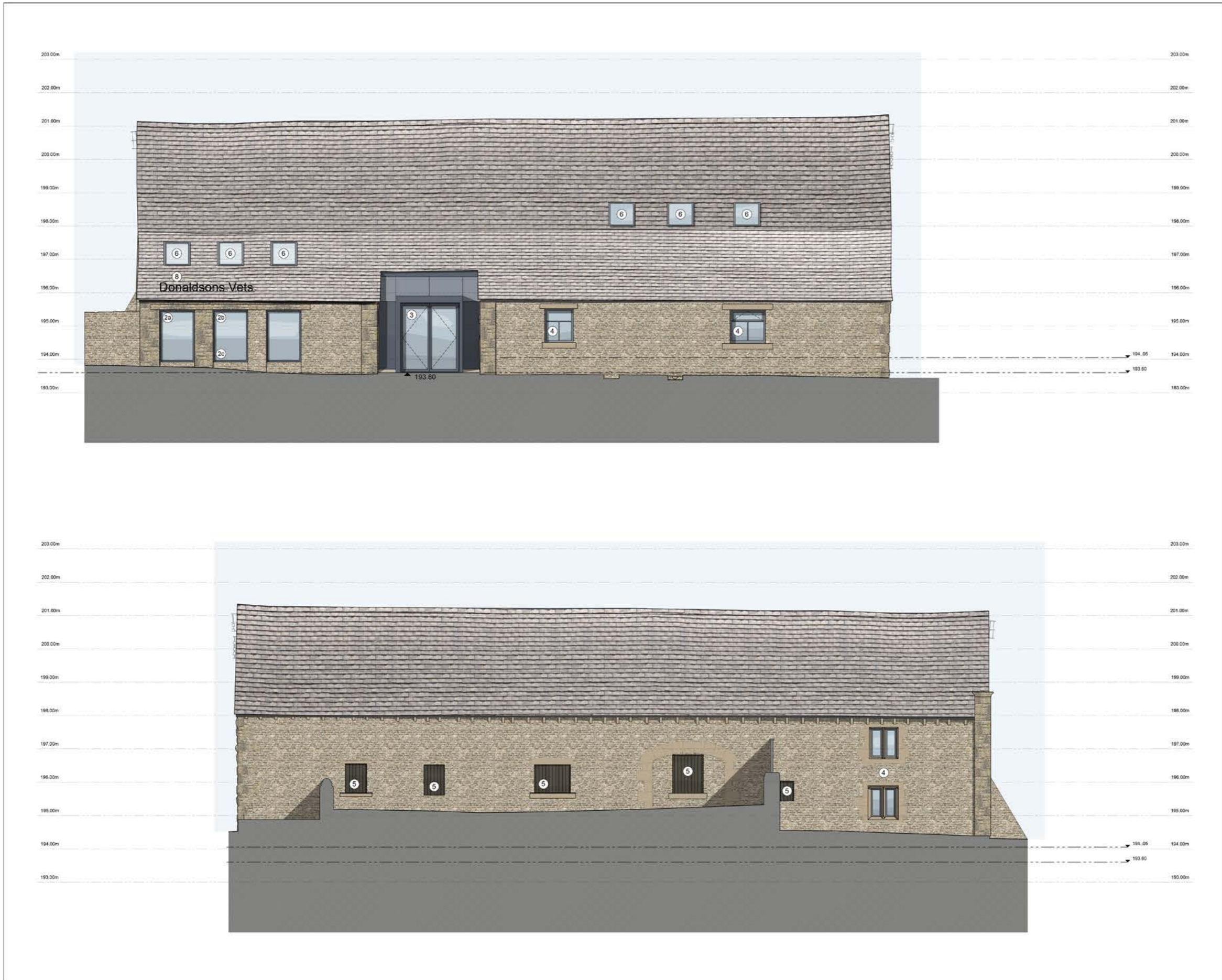
3.1 Methodology

3.1.1 The Principal Contractor (Nu Construction) have provided the following methodology for the work to outer leaf of the gable wall. This has been reviewed by the Design Team and agreed as acceptable by the Contract Administrator (Gate & Bar):

1. *Temp work's support, support roof timbers and inner brick wall as per temp works design from the inside of the barn.*
2. *Build scaffolding outer leaf.*
3. *Protect coble stone sets under scaffolding.*
4. *Starting at the top of the pike working down towards the bottom, remove each stone by hand, clean off each one if in good order, stack on pallet to be reused on rebuild. (note most of the stone above the buttress are in very poor condition and might not be able to be reused as this was rendered over some time ago, Stonemasons to see if stone can be turned if inner face is of good quality).*
5. *Remove heads/ jambs and cills, clean off and reuse if possible.*
6. *Remove buttress as these will not be needed for the rebuild of the gable, again if stone is in good order, clean off and save for use in rebuild.*
7. *Remove scaffolding.*
8. *Remove stone flags/ coble sets near to gable wall, number up to ensure they go back in the same order.*
9. *Excavate out for new foundation.*
10. *Pour Concrete foundation and allow to cure.*
11. *Using the saved stone and a mixture of new stone, rebuild the stone outer gable wall, tie this back to the inner brick leaf every 3rd course. Install window openings in the same position as per the gable wall setting out plan.*
12. *Once at 1m high have the scaffolding reinstalled to enable the gable to be built at high level.*
13. *Pointing to be done as per the sample panel that was agreed at the site meeting.*
14. *Once built and inspected, scaffolding to remain in place until the roof works are completed.*
15. *When the scaffold is removed, reinstate the stone coble sets and stone flags as per the original setting out, (areas where the stone buttress were will need infilling and where the gable leaned will need infilling).*

3.2 Architectural Design Information

- 3.2.1 Dawson Williamson Architects Drawing References: C1096 201 (Rev 3) and 202 (Rev 3) were approved as part of the planning application (Ref: 2022/0744) and application for listed building consent (Ref: 2022/0848).
- 3.2.2 The Design Team includes Chartered Surveyors Gate & Bar and DWA worked alongside G&B to prepare more detailed elevation drawings which confirmed localised repair work to various parts of the building fabric as part of the tender process. Dawson Williamson Architects Drawing References: C1096 201 (Rev 5) and 202 (Rev 5) confirm these proposals.
- 3.2.3 The proposals have been developed and refined in response to site conditions and input from the project Structural Engineer. The latest Dawson Williamson Architects Drawing References: C1096 201 (Rev 9) and 202 (Rev 8) are submitted with the application to vary Planning Condition 2 i.e.the approved drawings.



DO NOT SCALE FROM THIS DRAWING

Notes
 All dimensions to be checked on site
 Any discrepancies to be reported immediately to the Architect
 Drawing to be read in conjunction with all relevant design information, including Architects, Services, Civil and Structural Engineers drawings.
 All existing site, tree, building and survey information has been compiled from different sources, including information supplied by third parties

NOT FOR CONSTRUCTION

- Drawing Notes:**
- 1 New contemporary addition to Principal Elevation (facing south east) comprising window opening (fixed glazing panels) and natural stone surround (gamb, head and sill)
 - 2a Existing opening and stonework to each side to be retained with new glazed panel added (fixed)
 - 2b New openings to be formed to reflect the proportions of the adjacent original opening with new glazed panels to be added (fixed)
 - 2c Existing stonework to be reduced and rebuilt with 25mm set back to emphasise the proportions of the openings
 Salvaged / reclaimed stone cills and heads to be fixed to all openings
 - 3 New contemporary addition to Principal Elevation (facing south east) to infill existing recess and allow the original building form to be read on completion
 Infill to comprise zinc panels and panelled frame with aluminium framed, glazed entrance doors and level threshold to allow access for all
 150mm high basecourse to be constructed below zinc panel infill using stonework which has been salvaged from adjacent dismantling and dressed for re-use
 - 4 Existing windows which are to be replaced are to receive new aluminium framed double glazed units having fixed / opening casements as indicated
 - 5 Existing windows which are to be infilled are to utilise timber panels (door boarded)
 - 6 New roof light windows
 - 7 Existing doors which are to be replaced are to receive new timber framed close boarded timber doors
 - 8 New lettered signage to contemporary addition (1)

Rev 3 Principal elevation updated to suit comments from LA (Conservation Officer)
 2022.11.09
 Rev 2 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building
 2022.09.26
 Rev 1 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA
 2022.06.21

C1096 201 Rev 3

TITLE PROPOSED DRAWING
 BUILDING 1
 ELEVATIONS (SHEET 1 of 2)
SCALE 1:50 @ A1 / 1:100 @ A3
PRELIMINARY

PROJECT REFURBISHMENT OF NETHER MILL BARN
 (GRADE II LISTED BUILDING)
 TO FORM NEW VETERINARY SURGERY
 BARNESLEY ROAD
 PENISTONE
 S39

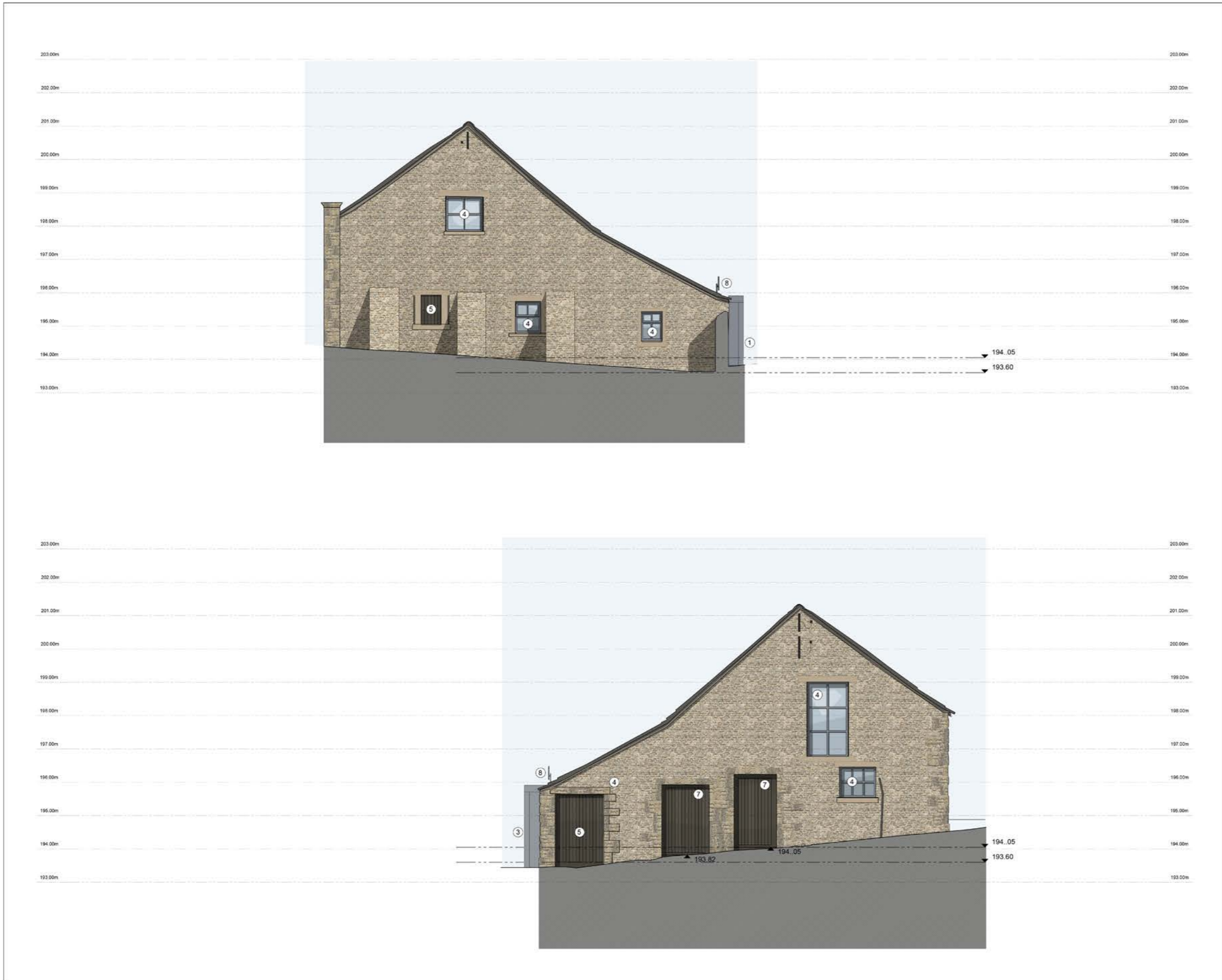
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Drawing approved as part of Planning application (Ref: 2022/0744) and application for listed building consent (Ref: 2022/0848)



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NOT FOR CONSTRUCTION

- Drawing Notes:**
- 1 New contemporary addition to Principal Elevation (facing south east) comprising zinc paneled frame with fixed glazing panels and natural stone window seat
 - 2 Existing stonework between retained elements is to be rebuilt following downstaging (see Dawson Williamson Ltd Drawing Ref: C1096 052 for additional notation)
Existing stonework is to be salvaged, dressed and used in the reconstruction of this element
 - 3 New contemporary addition to Principal Elevation (facing south east) to infill existing recess and allow the original building form to be read on completion
Infill to comprise zinc panels and paneled frame with aluminium framed, glazed entrance doors and level threshold to allow access for all
150mm high basecourse to be constructed below zinc panel infill using stonework which has been salvaged from adjacent downstaging and dressed for re-use
 - 4 Existing windows which are to be replaced are to receive new aluminium framed double glazed units having fixed / opening casements as indicated
 - 5 Existing windows which are to be infilled are to utilise timber panels (close boarded)
 - 6 New roof light windows
 - 7 Existing doors which are to be replaced are to receive new timber framed close boarded timber doors

Rev 3 Principal elevation updated to suit comments from LA (2022.11.09) (Conservation Officer)
 Rev 2 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building (2022.09.26)
 Rev 1 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA (2022.06.21)

C1096 202 Rev 3

TITLE PROPOSED DRAWING
 BUILDING 1
 ELEVATIONS (SHEET 2 of 2)
 SCALE 1:50 @ A1 / 1:100 @ A3

PRELIMINARY

PROJECT REFURBISHMENT OF NETHER MILL BARN
 (GRADE II LISTED BUILDING)
 TO FORM NEW VETERINARY SURGERY
 BARNESLEY ROAD
 PENISTONE
 S39

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Drawing approved as part of Planning application (Ref: 2022/0744) and application for listed building consent (Ref: 2022/0848)

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NOT FOR CONSTRUCTION

Drawing Notes:

- Existing stone walling to be taken down (see Dawson Williamson Ltd drawing ref: C1096 050, 051, 052, 053), retained on site, dressed for re-use and re-built in the recessed panels to the arrangement shown (2c)
- New natural stonework is to be used to form the higher, intermediate panels between the new openings
- New natural stone sills & heads to be fixed to form openings
- New triple glazed aluminium framed glazed panels with projecting sill (fixed)
- Existing stonework to be used to form lower (recessed) panels with 25mm set back from the face of the adjacent stonework
- New contemporary addition to Principal Elevation (facing south east) to infill existing recess and allow the original building form to be read on completion
 Infill to comprise zinc panels and panelled frame with aluminium framed, glazed entrance doors and level threshold to allow access for all
 Natural stone basecourse to be constructed below zinc panel infill using stonework which has been salvaged from adjacent doughtaking and dressed for re-use
- Existing windows which are to be replaced are to receive new aluminium framed double glazed units having fixed / opening casements as indicated
- Existing windows which are to be infilled are to utilise timber panels (close boarded)
- New conservation type roof light windows
- Existing doors which are to be replaced are to receive new timber framed close boarded timber doors
- New lettered signage to contemporary addition (1)
- Fix new 113mm Alumasc Half Round cast aluminium gutter on rise & fall brackets (black)
- Fix new 75mm diameter Alumasc Heritage cast aluminium rainwater pipe (black) to locations identified within drainage strategy prepared by Topping Engineers Ltd

Building Surveyor Notes:
 Gate & Bar Ltd have inspected the external fabric of the building and identified a number of items which are identified using notes (* prefix) / arrows

Rev 5
 2024.01.19 Rooflights updated to reflect the conservation type unit specified, opening functions indicated

Rev 4
 2023.07.14 Gate & Bar Ltd notes added, Drawing updated to 'Building Regulations' status

Rev 3
 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)

Rev 2
 2022.09.26 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building

Rev 1
 2022.06.21 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA

C1096 201 Rev 5

TITLE PROPOSED DRAWING
ELEVATIONS
 Sheet 1 of 2

SCALE 1:50 @ A1 / 1:100 @ A3

BUILDING REGULATIONS

PROJECT REFURBISHMENT OF NETHER MILL BARN (GRADE II LISTED BUILDING) TO FORM NEW VETERINARY SURGERY
 BARNSELEY ROAD
 PENISTONE
 S36

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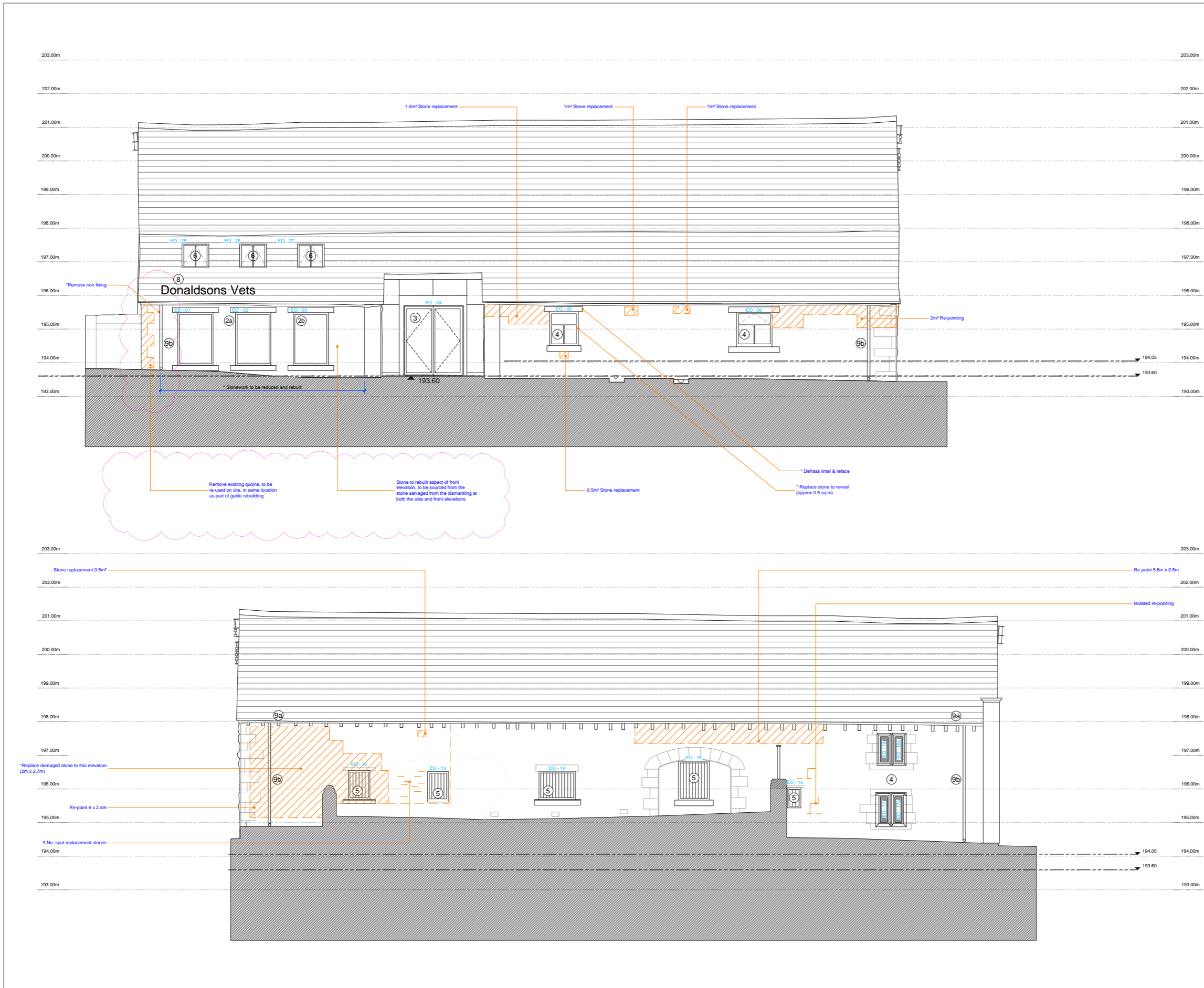
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Drawing developed at Tender Stage



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Drawing Notes:

- Existing stone walling to be taken down (see Dawson Williamson Ltd drawing ref: C1096 050, 051, 052,053), retained on site, dressed for re-use and re-built in the recessed panels to the arrangement shown (2c)
 New natural stonework is to be used to form the higher, intermediate panels between the new openings
 New natural stone sills & heads to be fixed to form openings
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Building Surveyor Notes:
 Gate & Bar Ltd have inspected the external fabric of the building and identified a number of items which are identified using notes (* prefix) / arrows

Rev 9
 2024.03.10 Brickwork buttressing removed as per demolition scope updates. Proposed works to existing stone updated

Rev 8
 2024.02.27 Stonework repair / replace annotations added, as per Gate & Bar comments

Rev 7
 2024.02.15 Rooflights to light shafts omitted. Stone Cills indicated to EO-01, 02 & 03. Obscure glazing to EO-17, 17a, 18 & 18a

Rev 6
 2024.01.26 Drawing updated to 'Construction' status

Rev 5
 2024.01.19 Rooflights updated to reflect the conservation type unit specified, opening functions indicated

Rev 4
 2023.07.14 Gate & Bar Ltd notes added. Drawing updated to 'Building Regulations' status

Rev 3
 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)

Rev 2
 2022.09.26 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building

Rev 1
 2022.06.21 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA

C1096 201 Rev 9

TITLE PROPOSED DRAWING
ELEVATIONS
 Sheet 1 of 2

SCALE 1:50 @ A1 / 1:100 @ A3

CONSTRUCTION

PROJECT REFURBISHMENT OF NETHER MILL BARN
 (GRADE II LISTED BUILDING)
 TO FORM NEW VETERINARY SURGERY
 BARNSELY ROAD
 PENISTONE
 S16

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Drawing submitted as part of the application to vary Planning Condition 2 i.e the approved drawings

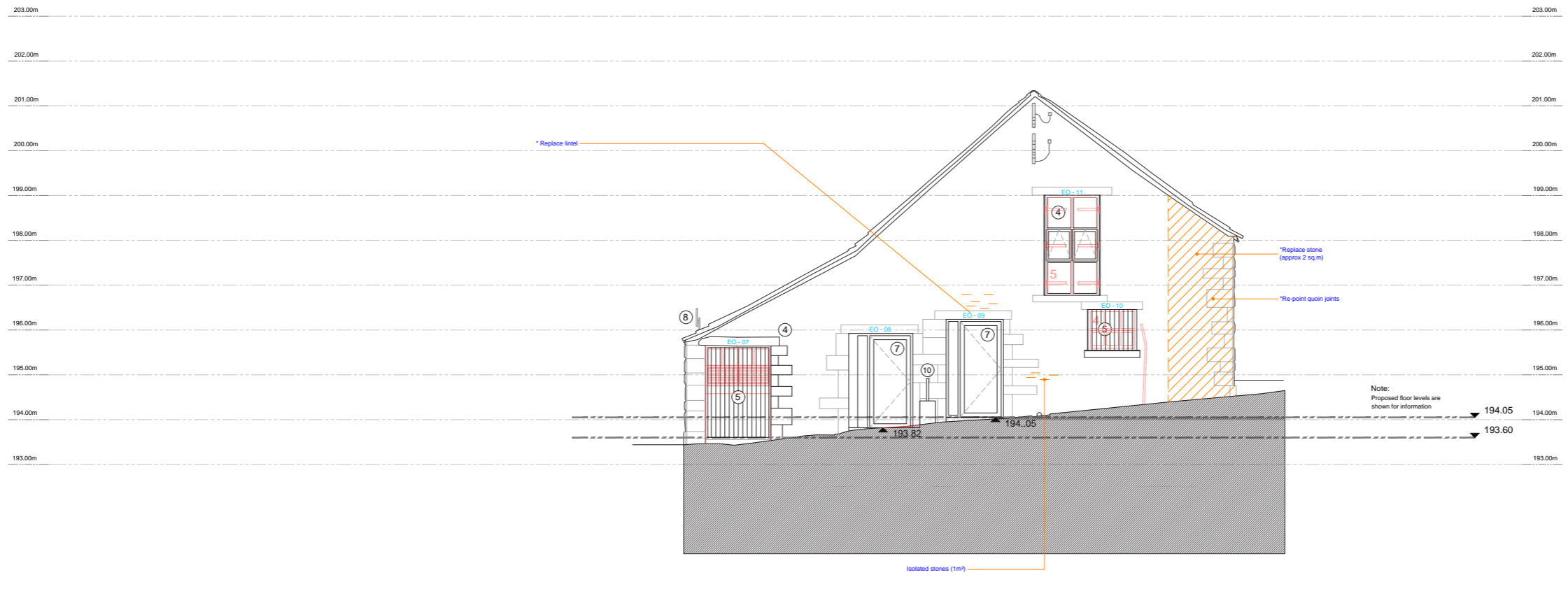
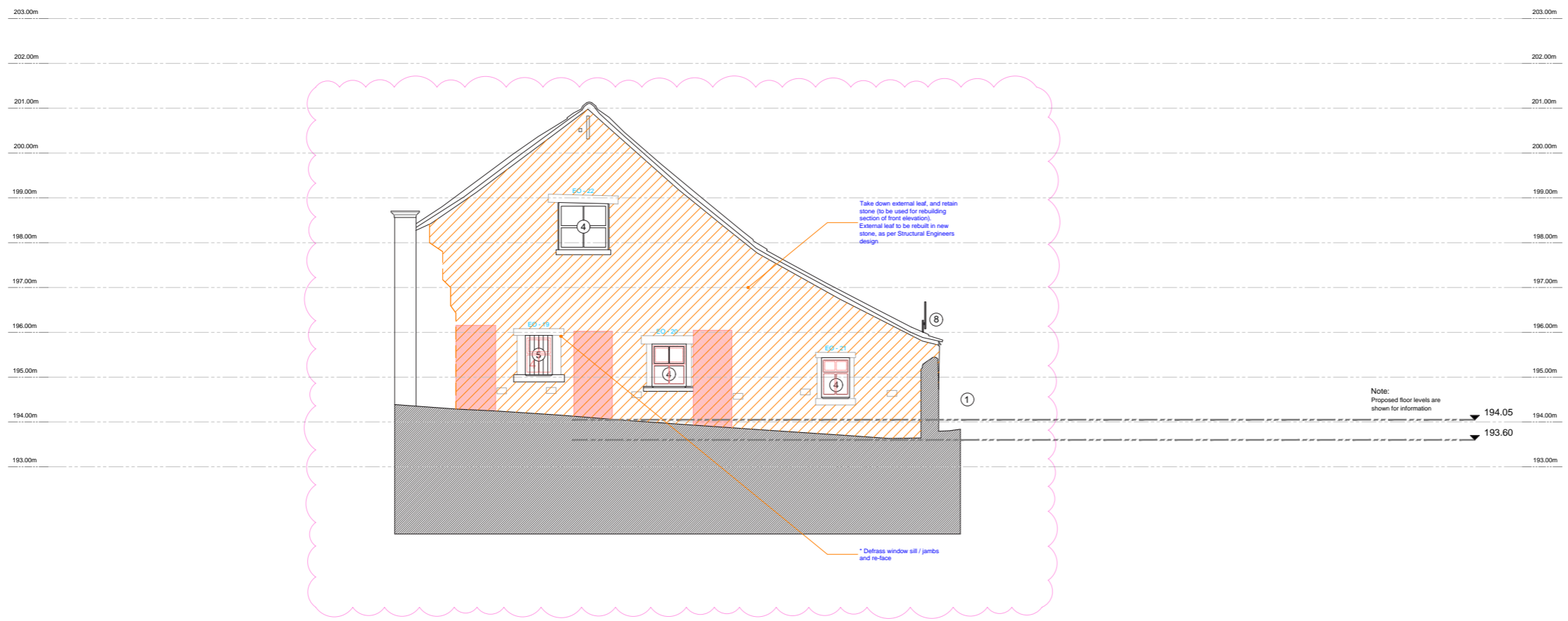
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- Drawing Notes:**
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 - 6 New roof light windows
 - 7 Existing doors which are to be replaced are to receive new timber framed close boarded timber doors
 - 8 New lettered signage to contemporary addition (1)
 - 9a Fix new 113mm Alumasc Half Round cast aluminium gutter on rise & fall brackets (black)
 - 9b Fix new 75mm diameter Alumasc Heritage cast aluminium rainwater pipe (black) to locations identified within drainage strategy prepared by Topping Engineers Ltd
 - 10 External levels to be altered around existing door openings with new dwarf retaining wall (600mm minimum height measured from new external ground level) constructed to suit details provided by the project Structural / Civil Engineer and faced in natural stonework reclaimed from dismantlings
 New MS balustrading to be fixed to form guarding (1,100mm min height in total, 500mm off top of retaining wall)

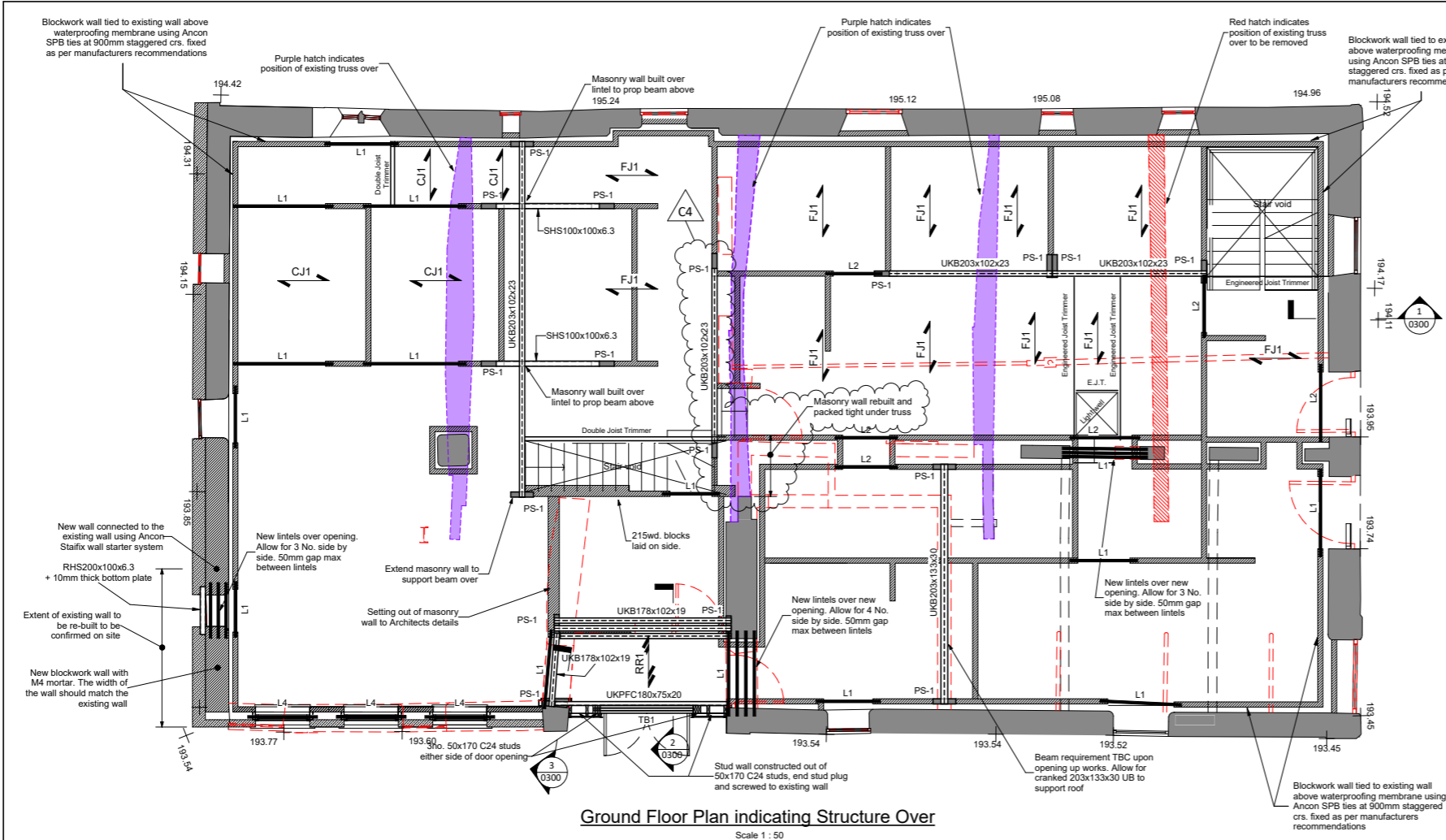
- Building Surveyor Notes:**
 Gate & Bar Ltd have inspected the external fabric of the building and identified a number of items which are identified using notes (" prefix) / arrows
- Rev 8 2024.03.10 Brickwork buttressing removed as per demolition scope updates. Proposed works to existing stone updated
 - Rev 7 2024.02.27 Stonework repair / replace annotations added, as per Gate & Bar Ltd comments
 - Rev 6 2024.01.26 Drawing updated to 'Construction' status
 - Rev 5 2024.01.19 Opening functions indicated
 - Rev 4 2023.07.14 Gate & Bar Ltd notes added. Drawing updated to 'Building Regulations' status
 - Rev 3 2022.11.09 Principal elevation updated to suit comments from LA (Conservation Officer)
 - Rev 2 2022.09.26 New contemporary addition to principal elevation (1) updated to express the left hand corner of the building
 - Rev 1 2022.06.21 Entrance area / glazed panel design updated following Pre-application Enquiry comments from LA

C1096_202_Rev 8
TITLE PROPOSED DRAWING ELEVATIONS
Sheet 2 of 2
SCALE 1:50 @ A1 / 1:100 @ A3
CONSTRUCTION
PROJECT REFURBISHMENT OF NETHER MILL BARN (GRADE II LISTED BUILDING) TO FORM NEW VETERINARY SURGERY BARNLEY ROAD PENISTONE S19
CLIENT DONALDSONS VETS LTD
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3.3 Structural Design Information

3.3.1 The project Structural Engineer (Topping Engineers Ltd) have prepared a number of technical drawings and details in response to the issues which have been raised on site. These drawings are included on the following pages for reference.



Ground Floor Plan indicating Structure Over
Scale 1 : 50

Timber Notes:

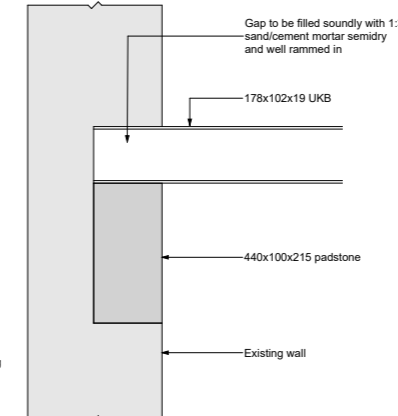
- Notching of joists is to be undertaken only where specified on the drawing. Where notching is specified notches are to be formed by drilling 12mm diameter holes at corners and cutting.
- All timber to be Grade C16 unless otherwise noted.
- All timber members are to be graded as indicated on drawings to BS EN 1995-1-1.
- All bolting to beams noted, in 2mm maximum clearance holes. Provide washers of appropriate size and thickness in accordance with BS EN 1995-1-1.
- Where openings are to be formed in the roof/floors timber members should be doubled up, and adequate trimming inserted to support the ends of the cut timber UNO.
- Double up floor joists below new stud walls.
- Vertical restraint straps to wall plates are to be 30x5x1000 long, 'L' shaped, (100 leg) galvanised mild steel fixed to masonry with a minimum of 6No. - No. 12x50 wood screws and plugs and fixed to wallplate with 2 No. 3.35 diameter x 50 nails. Straps to be provided at 1200mm centres.
- Horizontal lateral restraint straps are to be 30x5x1050 long 'L' shaped (150 leg) galvanised mild steel fixed to timber with 6-No. 8x50 wood screws or 6No. 4 diameter x 75 nails. Straps to be provided at 1200mm (or 1800mm to suit the Engineer) centres.

Notes:

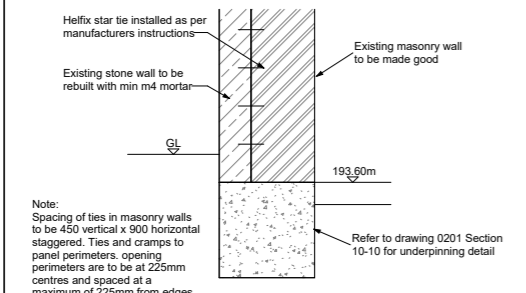
- This drawing is to be read in conjunction with all relevant Architects and Engineers drawings.
 - It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement.
- Steelwork Notes:**
- All steelwork is to be as grades specified on the drawings to EN 10025 for hot rolled sections and EN 10210 for hot finished structural hollow sections.
 - Fire protection to steelwork is to be as specified on the Architect's drawings as required.
 - All steelwork to be grade S355 JR U.N.O.
 - Internal steelwork to be shot blasted to SA2½ & painted with 2 shopcoats of high build zinc phosphate (80 microns dft) U.N.O.
 - External steelwork to be shot blasted to SA2½ & painted with 2 shopcoats of high build epoxy primer (100 microns dft) and re-coatable polyurethane finish (60 microns dft) U.N.O. and isolated from direct contact with masonry (except where covered under notes 6 and 7).
 - Any steelwork within external cavity walls to be shot blasted & shop primed with 2 coats pitch epoxy.
 - All steel in contact with outer leaf or within the cavities to be given 2 coats of Bitumen based paint on site.
 - All steelwork below ground level to be encased with min 100mm concrete surround by General Contractor - area to be unpainted.
 - All bolts are to be galvanised or sherardised, grade 8.8, M20 unless noted otherwise. A minimum of two bolts is to be used for each bolted connection.
 - Bolts in direct tension are to be secured with lock-nuts.
 - On site alterations to steelwork are to be agreed with the Engineer prior to action. A full record of alterations is to be made and handed to the Engineer on completion of the works.
 - All steel to steel connections are to be designed for a minimum reaction of 100 kN unless noted otherwise and a minimum factored tension of 75 kN.

Masonry Notes:

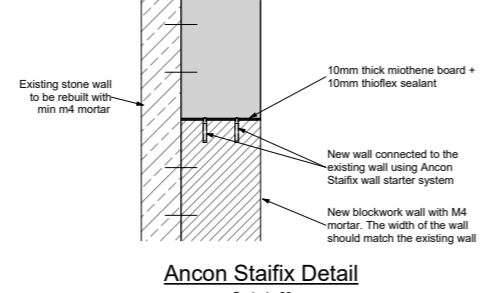
- For details and setting out of all masonry and DPC's etc. see Architects drawings.
- For details of expansion and movement joints in masonry see Architects details.
- All blocks to have a minimum compressive strength of 7.3N/mm².
- All mortar used above DPM is to be M4 and all mortar below DPM is to be M6 in accordance with BS EN 1996-2.
- Wall ties and frame cramps are to be selected to suit cavity widths and exposure conditions. Spacing of ties and cramps in panels is to be 450 vertical x 900 horizontal staggered. Ties and cramps to panel perimeters, opening perimeters are to be at 225mm centres and spaced a maximum of 225mm from edges. All ties and cramps are to be of stainless steel. Isolation washers are to be used where ties and frame cramps are fixed to structural steel. Ties are to be BS1243 and/or DD140.
- Wall ties to be embedded 50mm minimum into masonry or as per manufacturers recommendations.



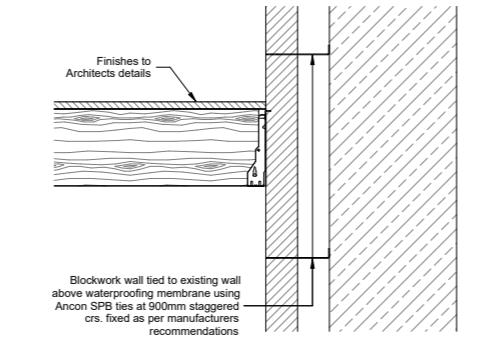
Section 3-3
Scale 1 : 10



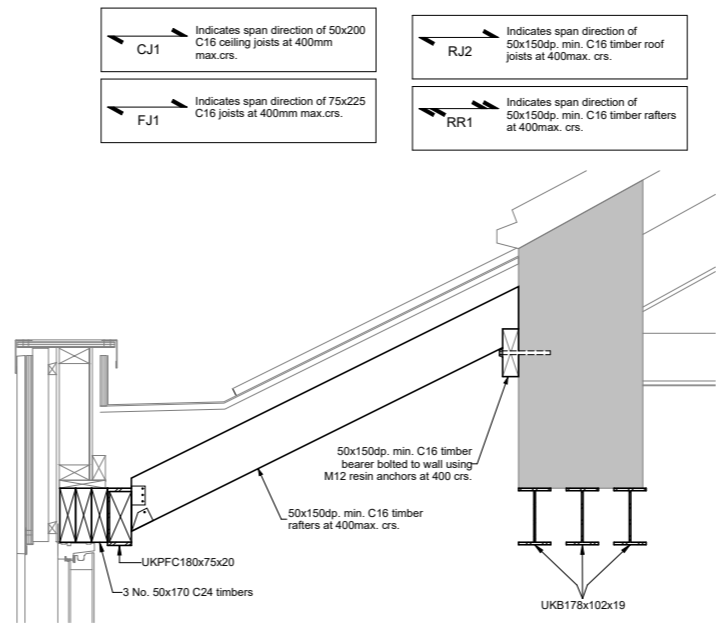
Wall Repair Details
Scale 1 : 25



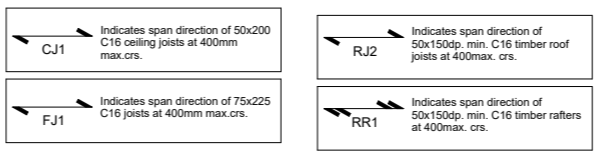
Ancon Staifix Detail
Scale 1 : 20



Section 1-1
Scale 1 : 10



Section 2-2
Scale 1 : 10



Beam schedule	
Mark	Type
TB1	3 No. 50x170 C24 timbers

Lintel Schedule		
Ref	Type	Comments
L1	Naylor R6	
L2	Naylor R9	
L4	Birtley CB125/150/100	

Padstone Schedule			
Ref	Padstone Length	Padstone Width	Padstone Depth
PS-1	440	100	215
PS-2	300	100	150

CONSTRUCTION

All propping & temporary support remains the responsibility of the contractor. Any propping / supports to be adequately designed by temporary works designer & submitted to the Engineer for comments. If in doubt ask.

No.	Revision	Date	Chk	Drwn
P1	Approval issue	31.08.23	ABa	GH
P2	Amended to suit Site visit	07.07.23	ABa	GH
P3	Front elevation and entrance amended to suit Architects drawings	21.08.23	ABa	GH
P4	Updated to suit latest Architects drawings	31.08.23	ABa	GH
PS	Ceiling joists added	10.10.23	ABa	GH
C2	Existing pier rebuilt. Proposed structure amended to suit	05.02.24	ABa	GH
C3	Upstand omitted, slab reinforcement amended. Gable wall repair details added. Sections 2, 11 & 12 amended. Section 15-13 added.	23.02.24	ABa	GH
C4	Steelbeam added to support floor joists where existing wall is demolished. Pier rebuilt under existing truss.	14.03.24	ABa	GH

Construction

Client: Donaldson's Vets Ltd.

Project: Donaldson's Vets, The Cruck Barn, Penistone

Drawing title: Ground Floor GA indicating Structure Over

Sheet Size: A1 | Drawing No: 21642-DR-S-0300 | Revision: C4

4.0 Summary

- 4.0.1 The proposal to amend the approved drawings in relation to planning application (Ref: 2022/0744) and application for listed building consent (Ref: 2022/0848) is necessary as a response to conditions encountered on site in the period since the granting of the original permissions.
- 4.0.2 The proposals have been developed through collaboration between the Principal Contractor and Design Team who are working on behalf of the Client. The Local Authority Planning & Conservation Officers have been kept informed on issues / progress and have taken an active part by passing comment on the proposed solutions.