

### M4(2) Clearance Zones



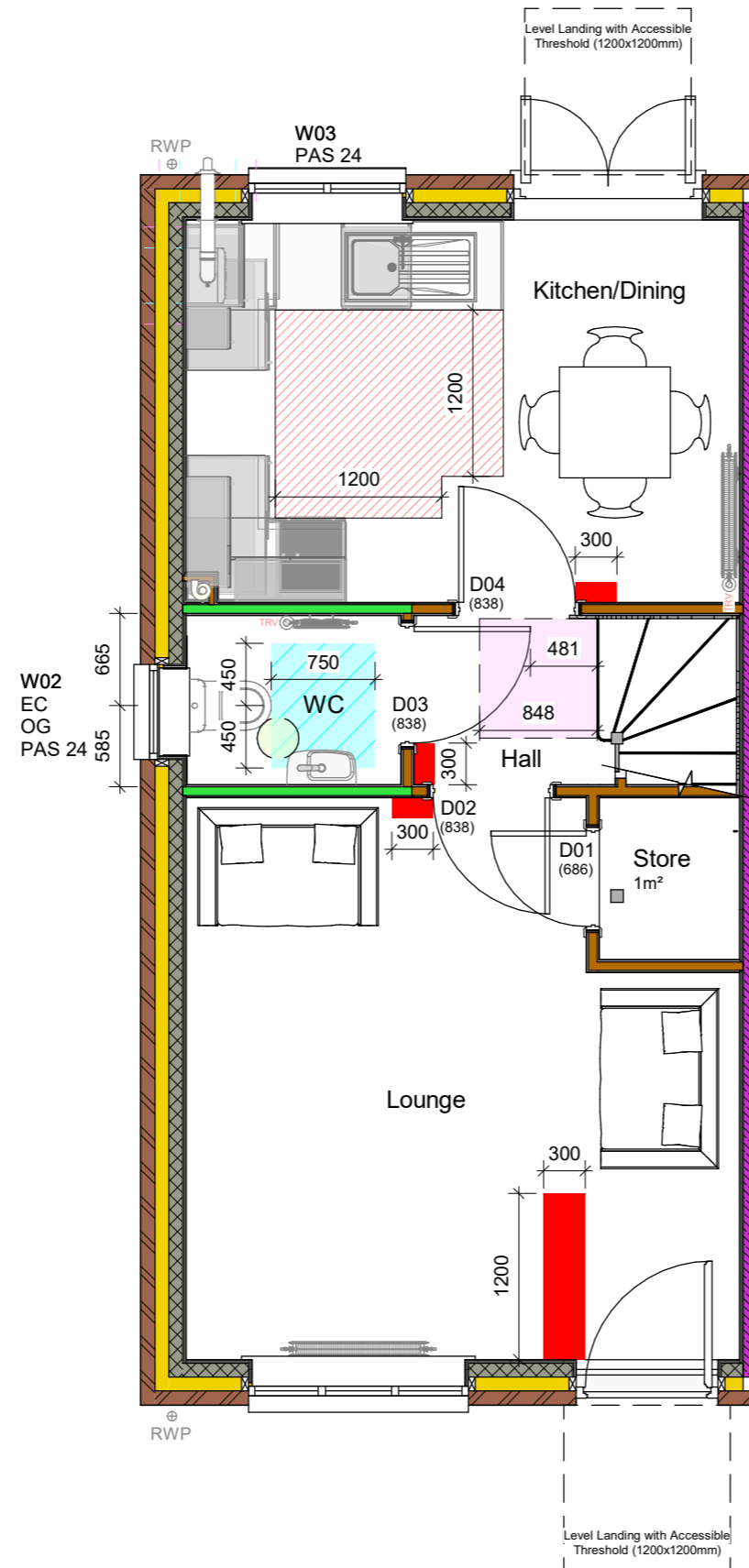
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
C	22/07/2024	JM	M4(2) Compliance stamp added to drawing border. M4(2) access annotations added.
B	22/09/2023	BLK	M4(1) ramp added to principal entrance. 300mm dia. max access zone shown between WC and HRB
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**A1.1 - End**

COINS REFERENCE:

DRWG No:  
**A1.1/END/6-001**

REV:  
**C**

NDSS AUDIT - A1.1		
1 bed 2 person (2 storey)		Min.
Gross Area	65.67 m <sup>2</sup>	58 m <sup>2</sup>
Bed 1 Area	12.4 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.22m	2.75m
Storage	2.1 m <sup>2</sup>	1.5 m <sup>2</sup>

### Ground Floor Compliance Plan

1 : 50

22/07/2024 15:30:48

## M4(2) Clearance Zones



### Clear Access Zone Requirements.

- 1500 dia to Bathroom (Potential Level Access Shower Only)



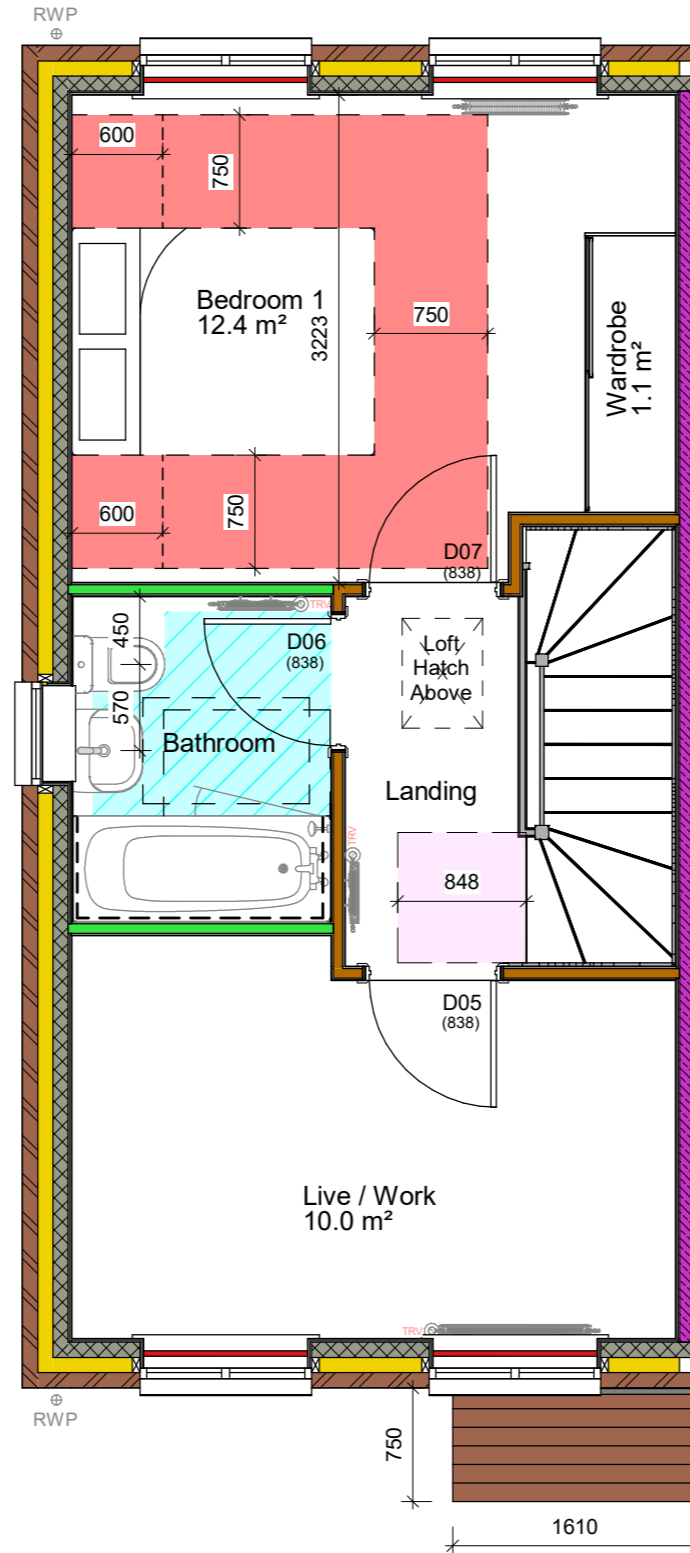
### AD Part M4(2) Sanitary Access Zone.

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



### AD Part M4(2) General Access Zone.

- Principal entrance 1200 x 300
- Leading edge nib 300 (GF only)
- Kitchen units 1200 deep
- Bedrooms 750 to beds



## First Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
C	22/07/2024	JM	M4(2) Compliance stamp added to drawing border. M4(2) access annotations added.
B	22/09/2023	BLK	NDSS storage note added
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
A1.1 - End

COINS REFERENCE:

DRWG No:  
A1.1/END/6-002

REV:  
C

Fitted Wardrobes Required for NDSS Storage Compliance

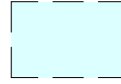
NDSS AUDIT - A1.1		
1 bed 2 person (2 storey)		Min.
Gross Area	65.67 m <sup>2</sup>	58 m <sup>2</sup>
Bed 1 Area	12.4 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.22m	2.75m
Storage	2.1 m <sup>2</sup>	1.5 m <sup>2</sup>

22/07/2024 15:30:49

## M4(2) Clearance Zones



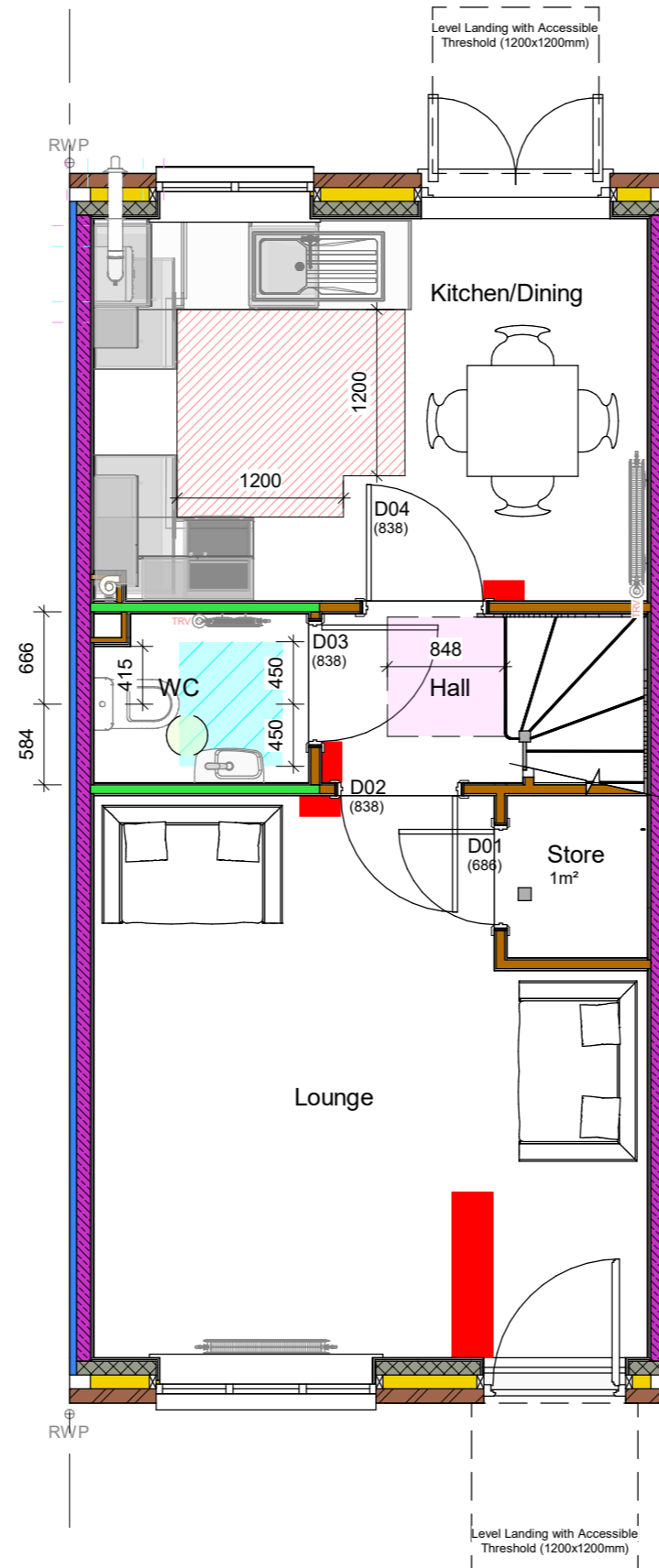
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



## Ground Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	22/07/2024	JM	M4(2) Compliance note added. Clearance zones added to doors. Level landing annotation added to front & rear external doors. 300mm dia. max access zone shown between WC and WHB. Storage area increased within NDSS audit table.
A	17/07/2023	BLK	First Issue

# AVANT homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
Ground Floor Compliance Plan

HOUSE TYPE:  
A1.1 - Mid

COINS REFERENCE:

DRWG No:  
A1.1/MID/6-001

REV:  
B

NDSS AUDIT - A1.1		
1 bed 2 person (2 storey)	Min.	
Gross Area	65.67 m <sup>2</sup>	58 m <sup>2</sup>
Bed 1 Area	12.4 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.22m	2.75m
Storage	2.1 m <sup>2</sup>	1.5 m <sup>2</sup>

22/07/2024 16:18:21

## M4(2) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom (Potential Level Access Shower Only)



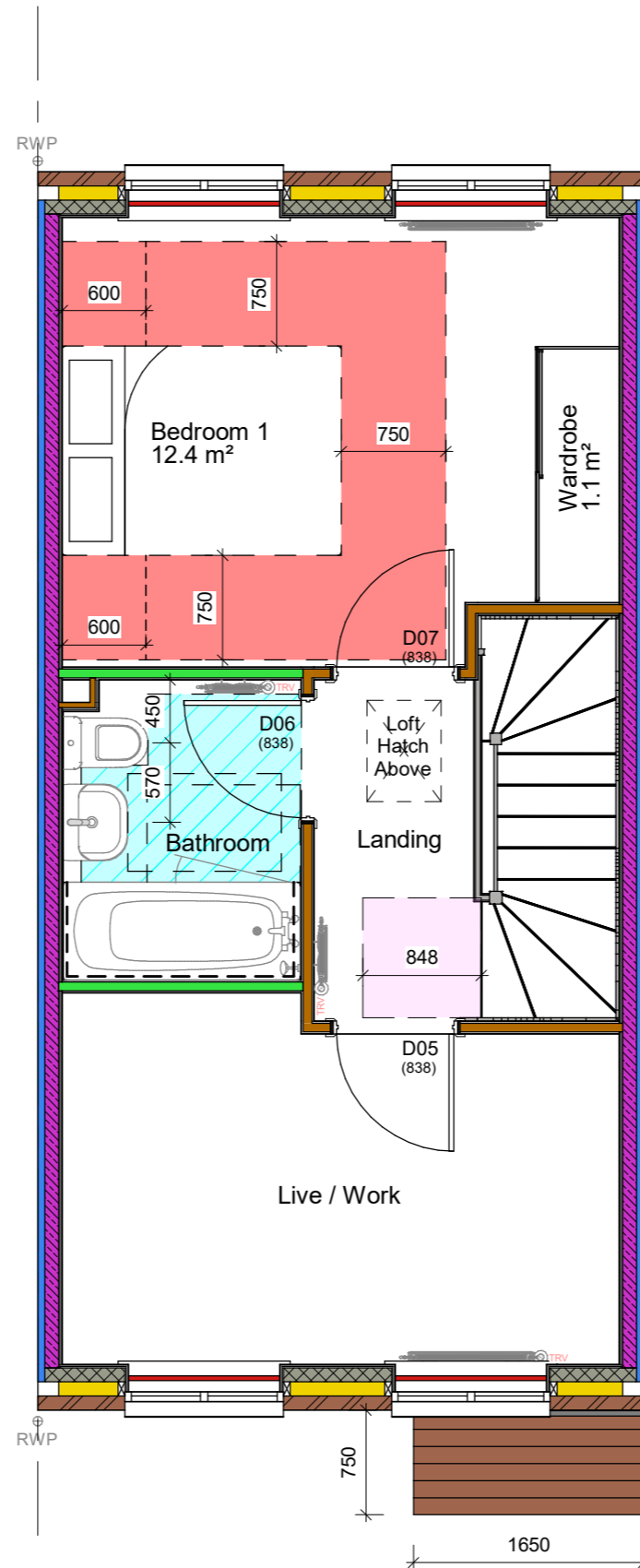
AD Part M4(2) Sanitary Access Zone.

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.

- Principal entrance 1200 x 300
- Leading edge nib 300 (GF only)
- Kitchen units 1200 deep
- Bedrooms 750 to beds



## First Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	22/07/2024	JM	M4(2) Compliance note added. Clearance zone around Bed space now shown. Bath Flipped. Storage area increased in NDSS audit table.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
A1.1 - Mid

COINS REFERENCE:

DRWG No:  
A1.1/MID/6-002

REV:  
B

Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - A1.1		
1 bed 2 person (2 storey)		Min.
Gross Area	65.67 m²	58 m²
Bed 1 Area	12.4 m²	11.5 m²
Bed 1 Width	3.22m	2.75m
Storage	2.1 m²	1.5 m²

## M4(2) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom (Potential Level Access Shower Only)



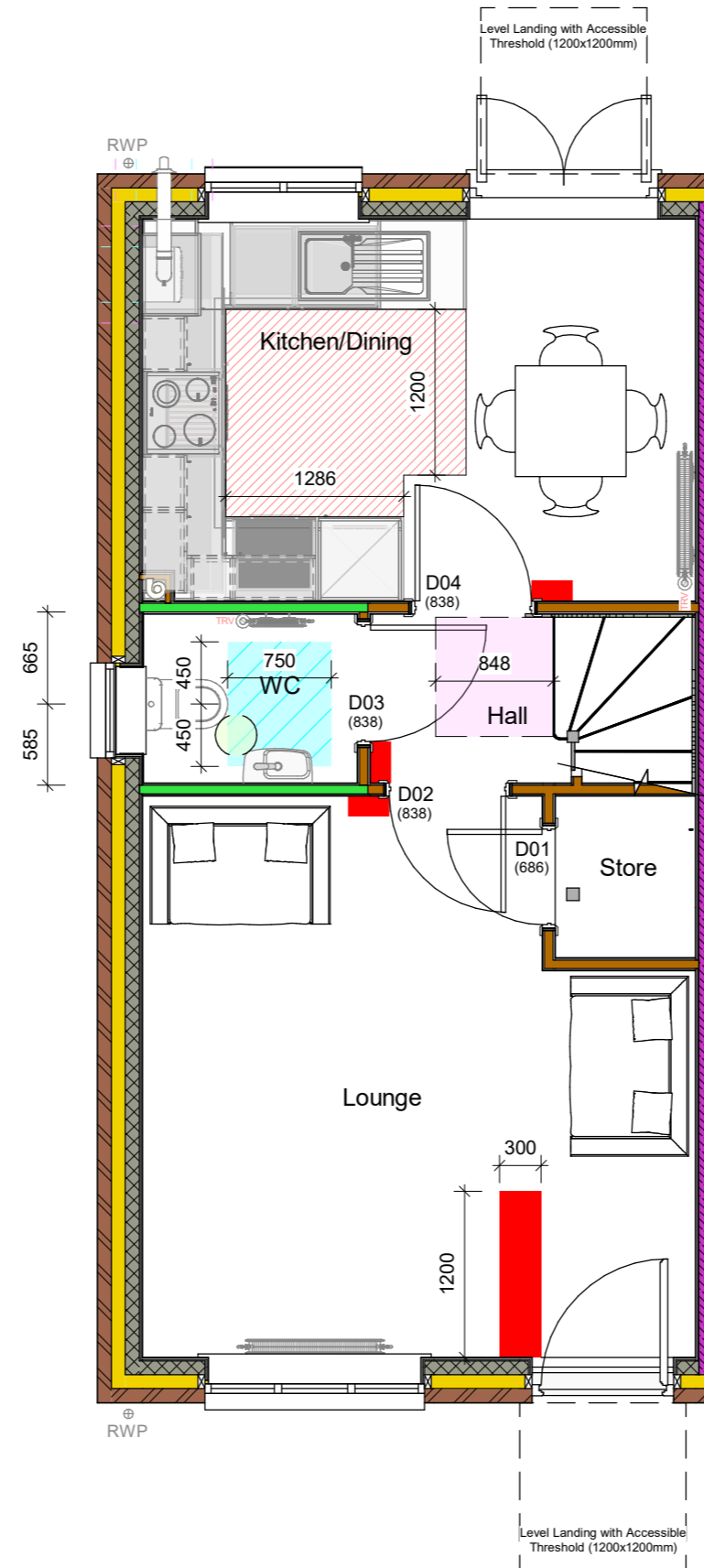
AD Part M4(2) Sanitary Access Zone.

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.

- Principal entrance 1200 x 300
- Leading edge nib 300 (GF only)
- Kitchen units 1200 deep
- Bedrooms 750 to beds



This Housetype is compliant with Part M4 Category 2.

A		22/07/2024	JM	First Issue
REV	DATE	BY	AMENDMENTS	
<b>AVANT</b> homes				
<b>AV23 SPECIFICATION</b>				
<b>CONSTRUCTION</b>				
DATE:	22/07/2024	SCALE @ A3:	1 : 50	DRAWN BY:
DWG TITLE:	Ground Floor Compliance Plan			
HOUSE TYPE:	Askern - End			
COINS REFERENCE:				
DRWG No:	ASK/END/6-001.1			REV:
				A

## Ground Floor Compliance Plan

1 : 50

22/07/2024 13:39:11

## M4(2) Clearance Zones



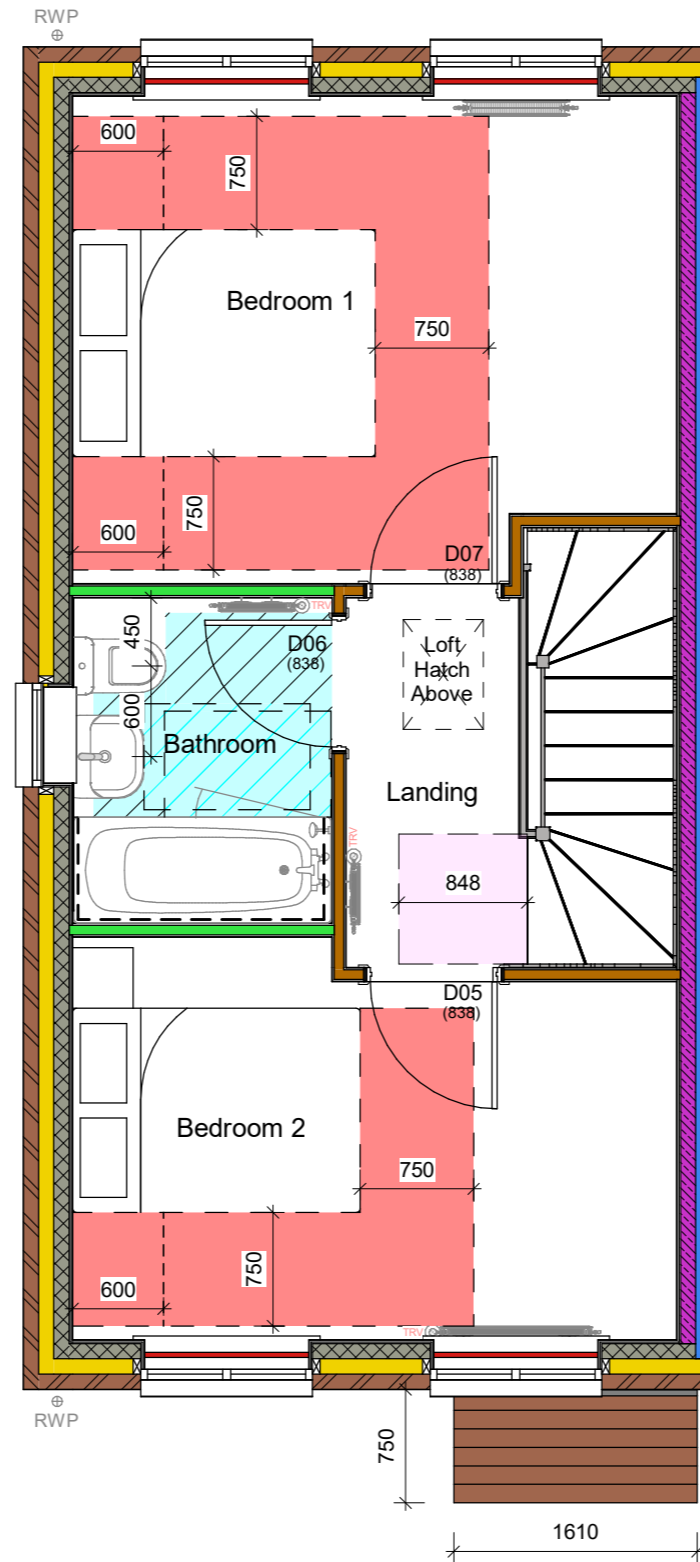
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



## First Floor Compliance Plan

1 : 50

This Housetype is compliant with Part M4 Category 2.

A		22/07/2024	JM	First Issue
REV	DATE	BY	AMENDMENTS	
<b>AVANT</b> homes				
<b>AV23 SPECIFICATION</b>				
<b>CONSTRUCTION</b>				
DATE:	25/04/2024	SCALE @ A3:	1 : 50	DRAWN BY:
DWG TITLE:	First Floor Compliance Plan			
HOUSE TYPE:	Askern - End			
COINS REFERENCE:				
DRWG No:	ASK/END/6-002.1			REV:
				A

22/07/2024 13:39:13

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

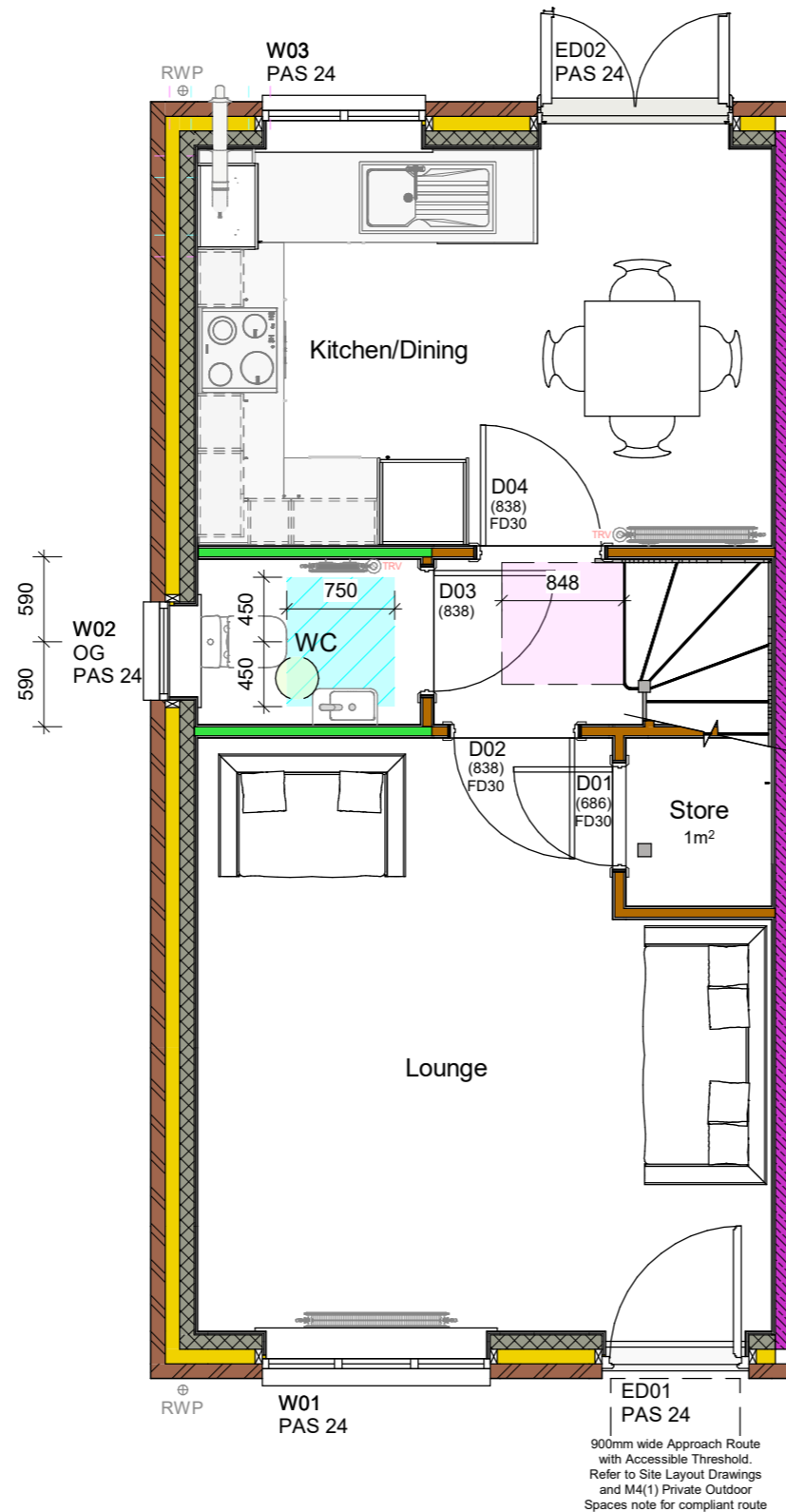
## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail to one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.



## Ground Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	02/05/2025	JM	Staircase opening width amended to 1053. Store width increased! Store door D01 changed to fire rated and increased to 838mm. Hatch and colour change for wall legend. WWHR & boxing moved into kitchen. Party wall cavity stop now shown. Radiator sizes updated following IDEAL heating design. M4(1) Clearance zone note expanded detailing clear opening zones. AD(K1) clearance note added. Wall colours changed to new key.

**AVANT**  
homes

**AV23 SPECIFICATION**

**CONSTRUCTION**

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Baildon - End**

COINS REFERENCE:

DRWG No:  
**BAI/6-001**

REV:  
**C**

NDSS AUDIT - Baildon End		
3 bed 4 person (3 storey)		Min.
Gross Area	90.28 m <sup>2</sup>	90 m <sup>2</sup>
Bed 1 Area	13.51 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.85m	2.75m
Bed 2 Area	11.78 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	3.22m	2.15m
Bed 3 Area	10.04 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.36m	2.15m
Storage	2.51 m <sup>2</sup>	2.5 m <sup>2</sup>

02/05/2025 10:28:56

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

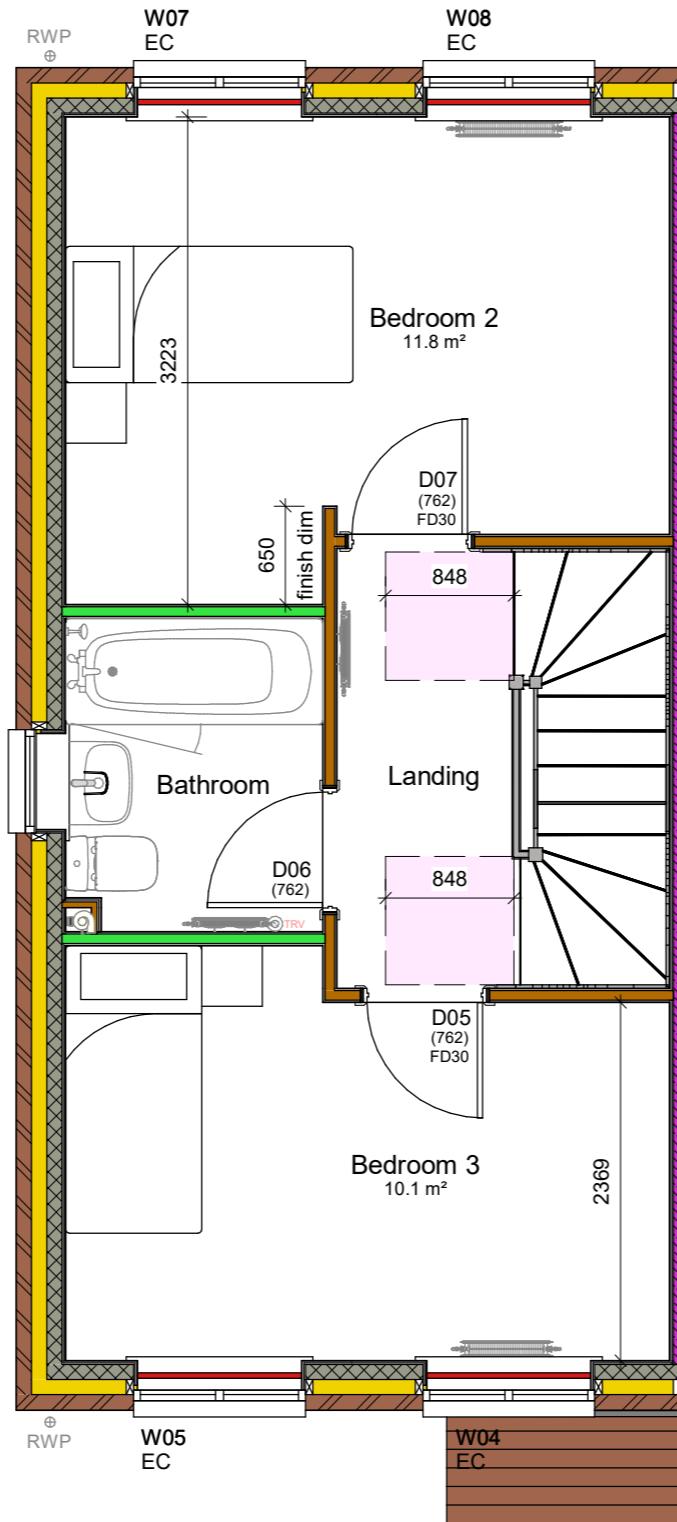
## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail to one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.



## First Floor Compliance Plan

1 : 50

NDSS AUDIT - Baildon End		
3 bed 4 person (3 storey)		Min.
Gross Area	90.28 m <sup>2</sup>	90 m <sup>2</sup>
Bed 1 Area	13.51 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.85m	2.75m
Bed 2 Area	11.78 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	3.22m	2.15m
Bed 3 Area	10.04 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.36m	2.15m
Storage	2.51 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	02/05/2025	JM	M4(1) Clearance zone note expanded detailing clear opening zones. AD(K1) clearance note added. Wall colours changed to new key.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
Baildon - End

COINS REFERENCE:

DRWG No:  
BAI/6-002

REV:  
B

02/05/2025 10:26:58

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

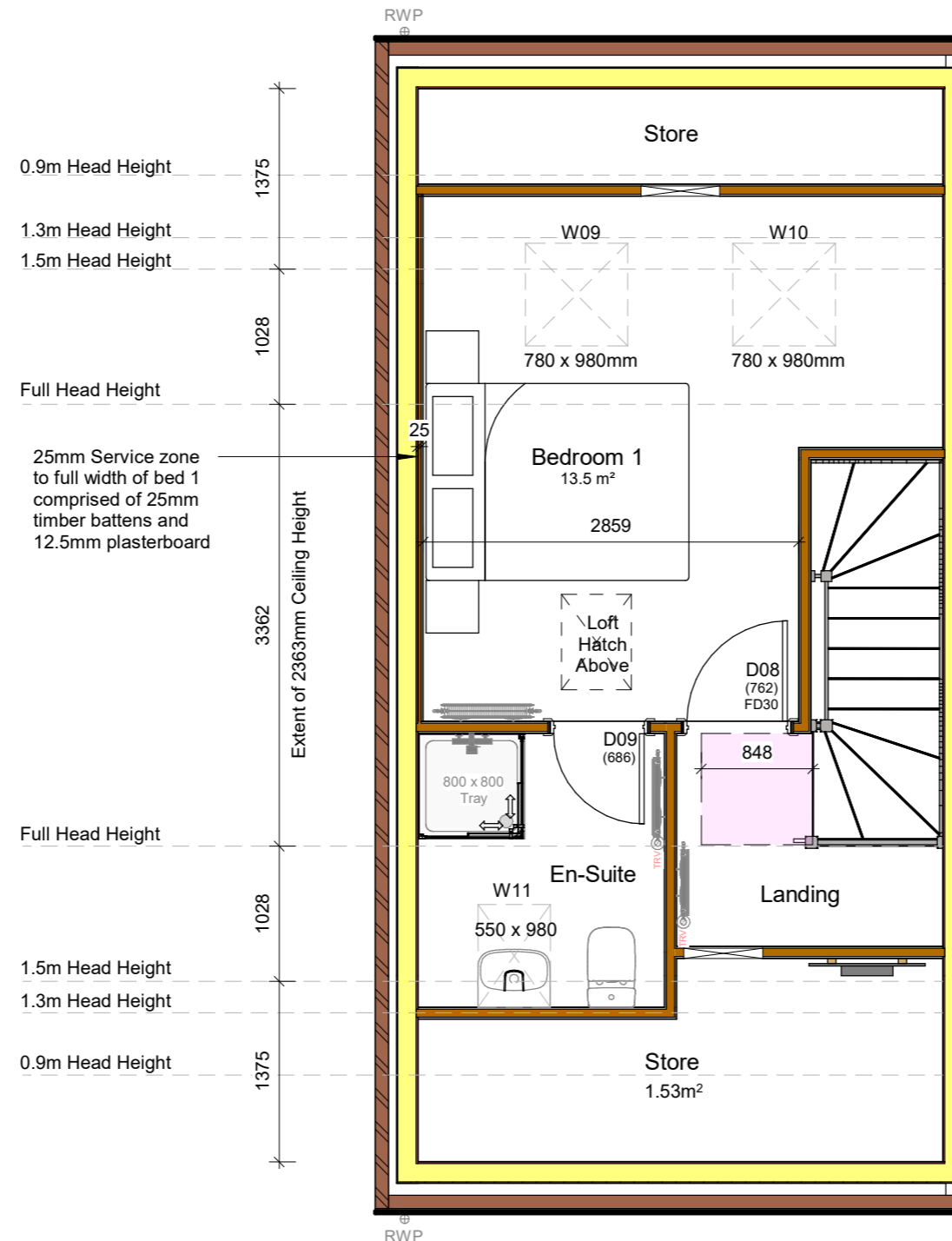
- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail on one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.

## Second Floor Compliance Plan

1 : 50



NDSS AUDIT - Baildon		
3 bed 4 person (3 storey)		Min.
Gross Area	90.28 m <sup>2</sup>	90 m <sup>2</sup>
Bed 1 Area	13.51 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.85m	2.75m
Bed 2 Area	11.78 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	3.22m	2.15m
Bed 3 Area	10.04 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.36m	2.15m
Storage	2.53 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	02/05/2025	JM	Floor amended to show NTS roof layout. M4(1) Clearance zone note expanded detailing clear opening zones. AD(K1) clearance note added. Radiator sizes updated following IDEAL heating design. Wall colours changed to new key.
A	17/07/2023	BLK	First Issue

**AV23 SPECIFICATION**

**CONSTRUCTION**

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
DWG TITLE: <b>Second Floor Compliance Plan</b>		
HOUSE TYPE: <b>Baildon - End</b>		
COINS REFERENCE:		
DRWG No: <b>BAI/6-003</b>	REV: <b>B</b>	

02/05/2025 10:26:58

## M4(2) Clearance Zones



### Clear Access Zone Requirements

- 1500 dia to Bathroom (Potential Level Access Shower Only)
- 650 dia to WHB
- 300 dia knee room to HWB



### Sanitary Access Zone

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



### General Access Zone

- Principal Entrance & Other External Doors:
  - Leading edge nib 300 wide x 1200 deep
  - 200 maximum reveal depth to leading side
- Internal Doors:
  - Leading edge nib 300 wide (GF Only)
- Other
  - Kitchen units 1200 deep
  - Bedrooms 750 wide to beds

### Clear Opening Widths

- All external doors to have 850 minimum clear opening width and accessible threshold (reduced to 750 for double doors\*)
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 900 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.
- All bedrooms to provide a 750 minimum clear access route from the doorway to the window.

\*Reduced to 750 clear opening for double doors to one or both leaves when approach is head-on for non-principal or alternative entrances ONLY. In accordance with AD(M) "Access to and use of Buildings" Frequently Asked Questions - Double Doors into a Rear Garden Category 2 - Paragraph 2.20e.

### Strengthened Walls

Denotes 1.5kN/m<sup>2</sup> min wall load requirement located between 300-1500mm above finished floor level in accordance with M4(2) paragraph 2.26 and AD(M) "Access to and use of Buildings" Frequently Asked Questions - Fixing WC Supports.

- Stud Walls
  - 11mm OSB3 or 12.5mm Class 2 plywood panels fixed between studs via 25x38mm timber battens.
- Masonry Walls
  - 9mm OSB3 or 9mm Class 2 plywood panels fixed between blockwork and plasterboard.

## AD(K1) Clearance Zones



### Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

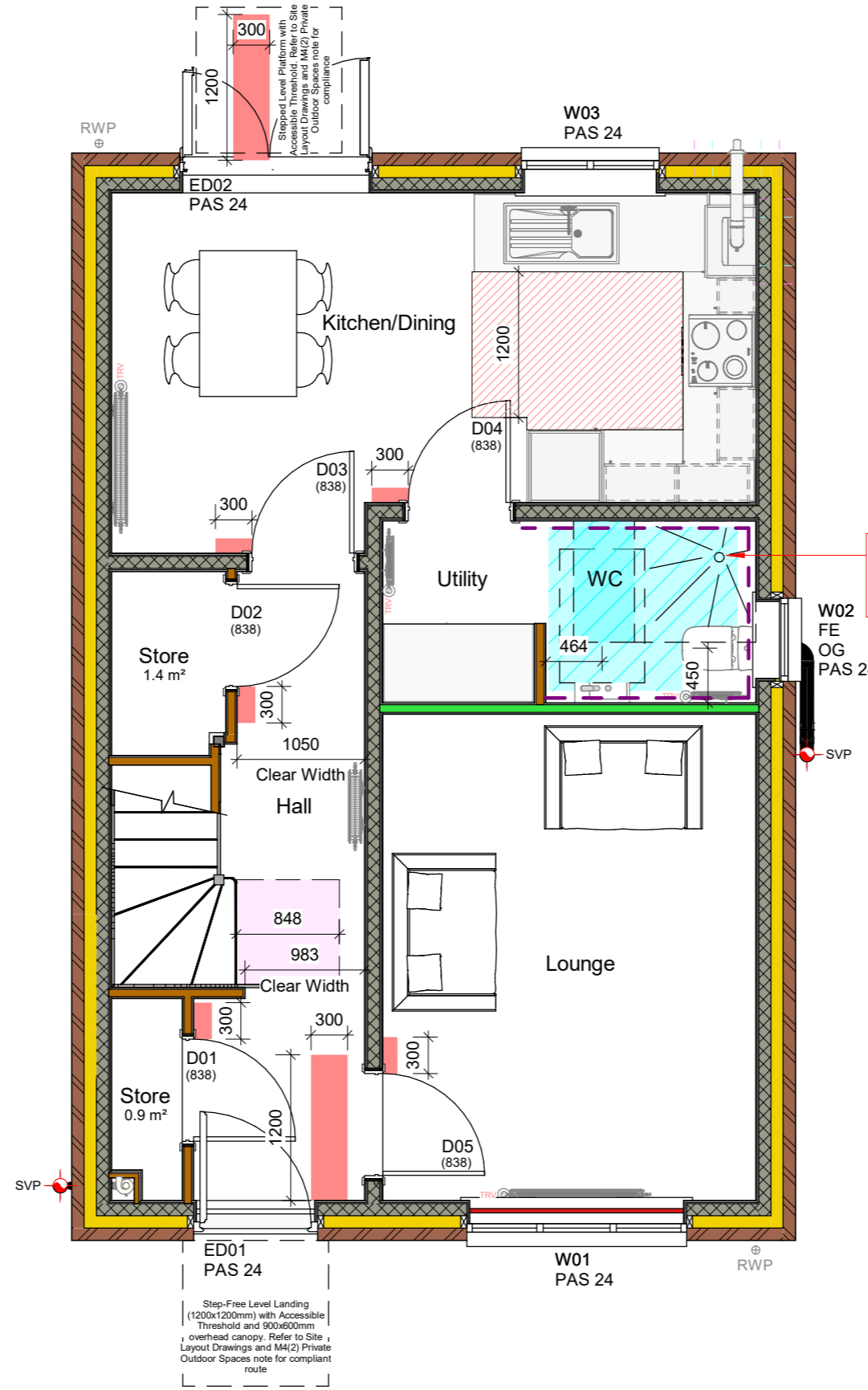
### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

## M4(2) Services & Controls

- Consumer units mounted to ensure switches are between 1350 and 1450mm above floor level.
- All switches, sockets, stopcocks and controls centre lines between 450 - 1200mm above floor level and 300mm min (horizontally) from inside corners.
- Handle to at least one window in the principal living area is located between 450 and 1400mm above floor level.
- Handles to all other windows to be located between 450 and 1400mm above floor level.
- Boiler time controls and thermostats to be mounted between 900 and 1200mm above finished floor level on the boiler or as separate controls mounted in an accessible location at the same height range.

Note: Radiator and cooker hood controls are exempt.



## M4(2) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 1200x1200mm step-free level (<1:60 gradient) external landing with accessible threshold.
- 900mm min (1200mm min for communal) wide step free approach route to external landing (reduced to 750mm (1050mm for communal, excluding stairs) for local obstructions).
- Localised obstructions to be max 2m in length and not permitted opposite or close to a doorway or at a change of direction.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20) or where necessary ramped (gradient between 1:20 - 1:12).
- Approach route to have max 1:40 crossfall.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- Principal/alternative entrance covered by min 900mm wide by 600mm deep canopy.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).
- Fully diffused lighting with dusk to dawn or motion detector provided to private/alternative private entrance.
- External gates along the approach route to have 850mm minimum clear opening width with a 300mm minimum nib to the leading edge.

### External Doors to Outside Spaces (Garden, Balcony)

The Ministry of Housing Communities and Local Government (MHCLG) clarifies in its response to M4(2) paragraph 2.21 (Other External Doors) that compliance does not necessitate an external step-free access platform (Option A). Such accessibility may instead be achieved through reasonable adaption by the homeowner (Option B).

### Option A - Step Free Access Platform (Paved Area)

- Platform approach route (900mm min) or platform itself to be either level (<1:60 gradient) gently sloping (between 1:60-1:20) or where necessary ramped (gradient between 1:20 - 1:12) with a max 1:40 crossfall.
- All external ramps have min 1200mm long landings to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Option B - Stepped Platform (Paved Area)

- Provide a schedule to confirm how step-free access could be added later through feasible and reasonable adaptations by the homeowner. It must outline future access arrangements, show compliance with the Building Regulations without substantial alterations being required to the existing building fabric, and explain how the homeowner will be informed about the adaption requirements.

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.
- Parking space min 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- Parking space to be level (<1:60 gradient) or where unavoidable, gently sloping (gradient between 1:60 - 1:20).
- Parking space to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

C	02/05/2025	BLK	M4(2) Services & controls and M4(2) Private Outdoor Spaces notes added. M4(2) Uplift note removed. Amended stepped level platform shown to rear French doors. Amended Step-free level landing note to principal entrance D02 (Store) amended from 686 to 838 for accessibility.
REV	DATE	BY	AMENDMENTS



### AV23 SPECIFICATION

### CONSTRUCTION

DATE:	SCALE @ A3:	DRAWN BY:
13/07/2023	1 : 50	GROUP

### Ground Floor Compliance Plan

HOUSE TYPE:  
**Cadeby - Det**

COINS REFERENCE:	DRWG No:	REV:
	CAD/6-001	C

NDSS AUDIT - Cadeby		
3 bed 4 person (2 storey)		Min.
Gross Area	88.1m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	11.5m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.29m	2.75m
Bed 2 Area	8.3m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.46m	2.15m
Bed 3 Area	8.2m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.33m	2.15m
Storage	3.2 m <sup>2</sup>	2.5 m <sup>2</sup>

## Ground Floor Compliance Plan

1 : 50

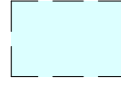
02/05/2025 14:28:15

## M4(2) Clearance Zones



### Clear Access Zone Requirements

- 1500 dia to Bathroom (Potential Level Access Shower Only)
- 650 dia to WHB
- 300 dia knee room to HWB



### Sanitary Access Zone

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



### General Access Zone

- Principal Entrance & Other External Doors:
  - Leading edge nib 300 wide x 1200 deep
  - 200 maximum reveal depth to leading side
- Internal Doors:
  - Leading edge nib 300 wide (GF Only)
- Other
  - Kitchen units 1200 deep
  - Bedrooms 750 wide to beds

### Clear Opening Widths

- All external doors to have 850 minimum clear opening width and accessible threshold (reduced to 750 for double doors\*)
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 900 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.
- All bedrooms to provide a 750 minimum clear access route from the doorway to the window.

\*Reduced to 750 clear opening for double doors to one or both leaves when approach is head-on for non-principal or alternative entrances ONLY. In accordance with AD(M) "Access to and use of Buildings" Frequently Asked Questions - Double Doors into a Rear Garden Category 2 - Paragraph 2.20e.

### Strengthened Walls

Denotes 1.5kN/m<sup>2</sup> min wall load requirement located between 300-1500mm above finished floor level in accordance with M4(2) paragraph 2.26 and AD(M) "Access to and use of Buildings" Frequently Asked Questions - Fixing WC Supports.

- Stud Walls  
11mm OSB3 or 12.5mm Class 2 plywood panels fixed between studs via 25x38mm timber battens.
- Masonry Walls  
9mm OSB3 or 9mm Class 2 plywood panels fixed between blockwork and plasterboard.

## AD(K1) Clearance Zones



### Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

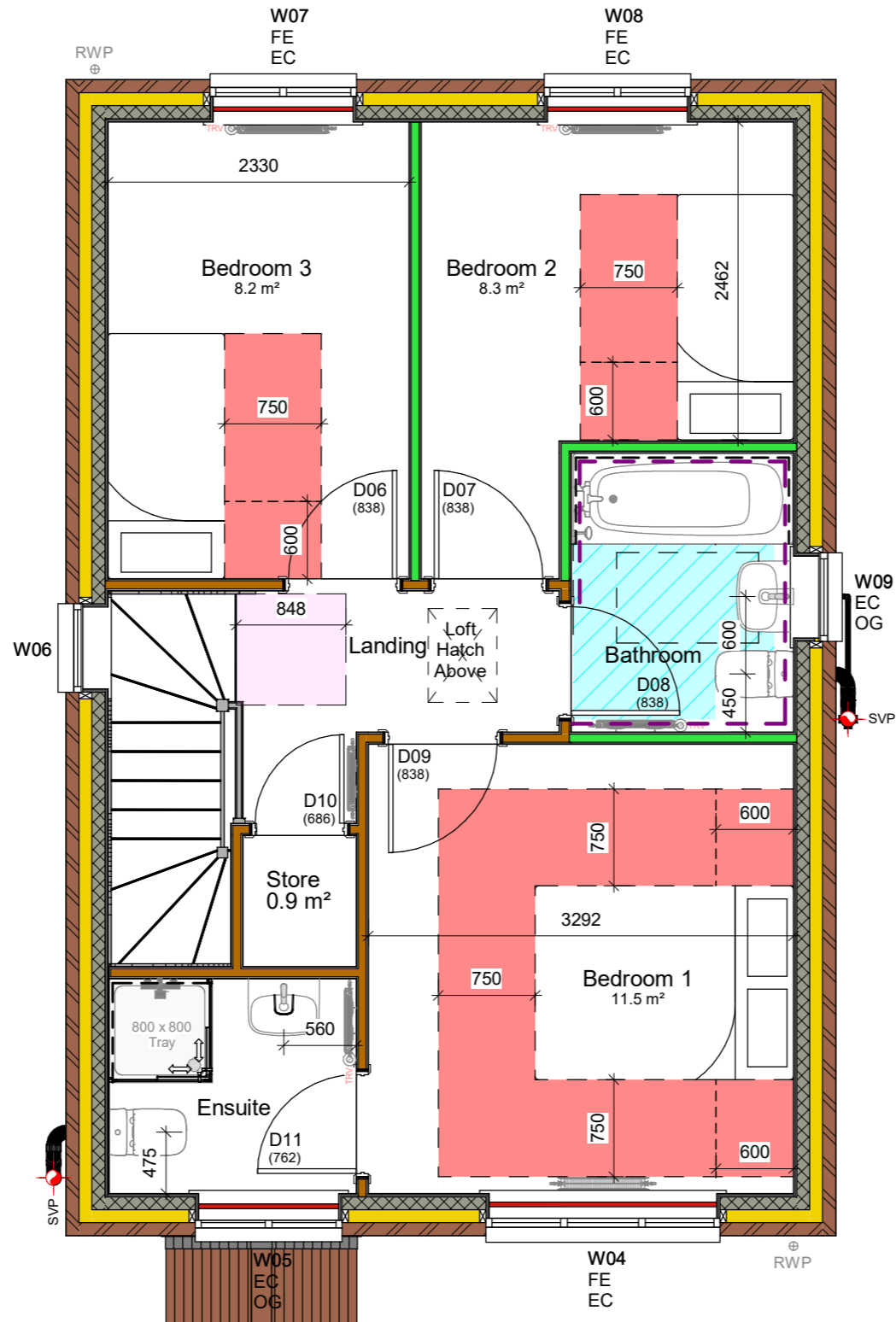
### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

## M4(2) Services & Controls

- Consumer units mounted to ensure switches are between 1350 and 1450mm above floor level.
- All switches, sockets, stopcocks and controls centre lines between 450 - 1200mm above floor level and 300mm min (horizontally) from inside corners.
- Handle to at least one window in the principal living area is located between 450 and 1400mm above floor level.
- Handles to all other windows to be located between 450 and 1400mm above floor level.
- Boiler time controls and thermostats to be mounted between 900 and 1200mm above finished floor level on the boiler or as separate controls mounted in an accessible location at the same height range.

Note: Radiator and cooker hood controls are exempt.



## M4(2) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 1200x1200mm step-free level (<1:60 gradient) external landing with accessible threshold.
- 900mm min (1200mm min for communal) wide step free approach route to external landing (reduced to 750mm (1050mm for communal, excluding stairs) for local obstructions).
- Localised obstructions to be max 2m in length and not permitted opposite or close to a doorway or at a change of direction.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20) or where necessary ramped (gradient between 1:20 - 1:12).
- Approach route to have max 1:40 crossfall.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- Principal/alternative entrance covered by min 900mm wide by 600mm deep canopy.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).
- Fully diffused lighting with dusk to dawn or motion detector provided to private/alternative private entrance.
- External gates along the approach route to have 850mm minimum clear opening width with a 300mm minimum nib to the leading edge.

### External Doors to Outside Spaces (Garden, Balcony)

The Ministry of Housing Communities and Local Government (MHCLG) clarifies in its response to M4(2) paragraph 2.21 (Other External Doors) that compliance does not necessitate an external step-free access platform (Option A). Such accessibility may instead be achieved through reasonable adaption by the homeowner (Option B).

### Option A - Step Free Access Platform (Paved Area)

- Platform approach route (900mm min) or platform itself to be either level (<1:60 gradient) gently sloping (between 1:60-1:20) or where necessary ramped (gradient between 1:20 - 1:12) with a max 1:40 crossfall.
- All external ramps have min 1200mm long landings to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Option B - Stepped Platform (Paved Area)

- Provide a schedule to confirm how step-free access could be added later through feasible and reasonable adaptations by the homeowner. It must outline future access arrangements, show compliance with the Building Regulations without substantial alterations being required to the existing building fabric, and explain how the homeowner will be informed about the adaption requirements.

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.
- Parking space min 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- Parking space to be level (<1:60 gradient) or where unavoidable, gently sloping (gradient between 1:60 - 1:20).
- Parking space to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
C	02/05/2025	BLK	M4(2) Services & controls and M4(2) Private Outdoor Spaces notes added. M4(2) Uplift note removed.
B	13/12/2024	BLK	M4(2) Clearance Zone note amended to include clear opening widths, strengthened walls and AD(K1) clearance zones. Strengthened wall shown to Bathroom. Shower tray rotated in Ensuite.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

### AV22 SPECIFICATION

### CONSTRUCTION

DATE: 13/02/2023 SCALE @ A3: 1:50 DRAWN BY: JM

DWG TITLE: First Floor Compliance Plan

HOUSE TYPE: Cadeby - Det

COINS REFERENCE:

DRWG No: CAD/6-002

REV: C

NDSS AUDIT - Cadeby		
3 bed 4 person (2 storey)		Min.
Gross Area	88.1m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	11.5m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.29m	2.75m
Bed 2 Area	8.3m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.46m	2.15m
Bed 3 Area	8.2m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.33m	2.15m
Storage	3.2 m <sup>2</sup>	2.5 m <sup>2</sup>

## First Floor Compliance Plan

1 : 50

02/05/2025 14:28:17

## M4(1) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones

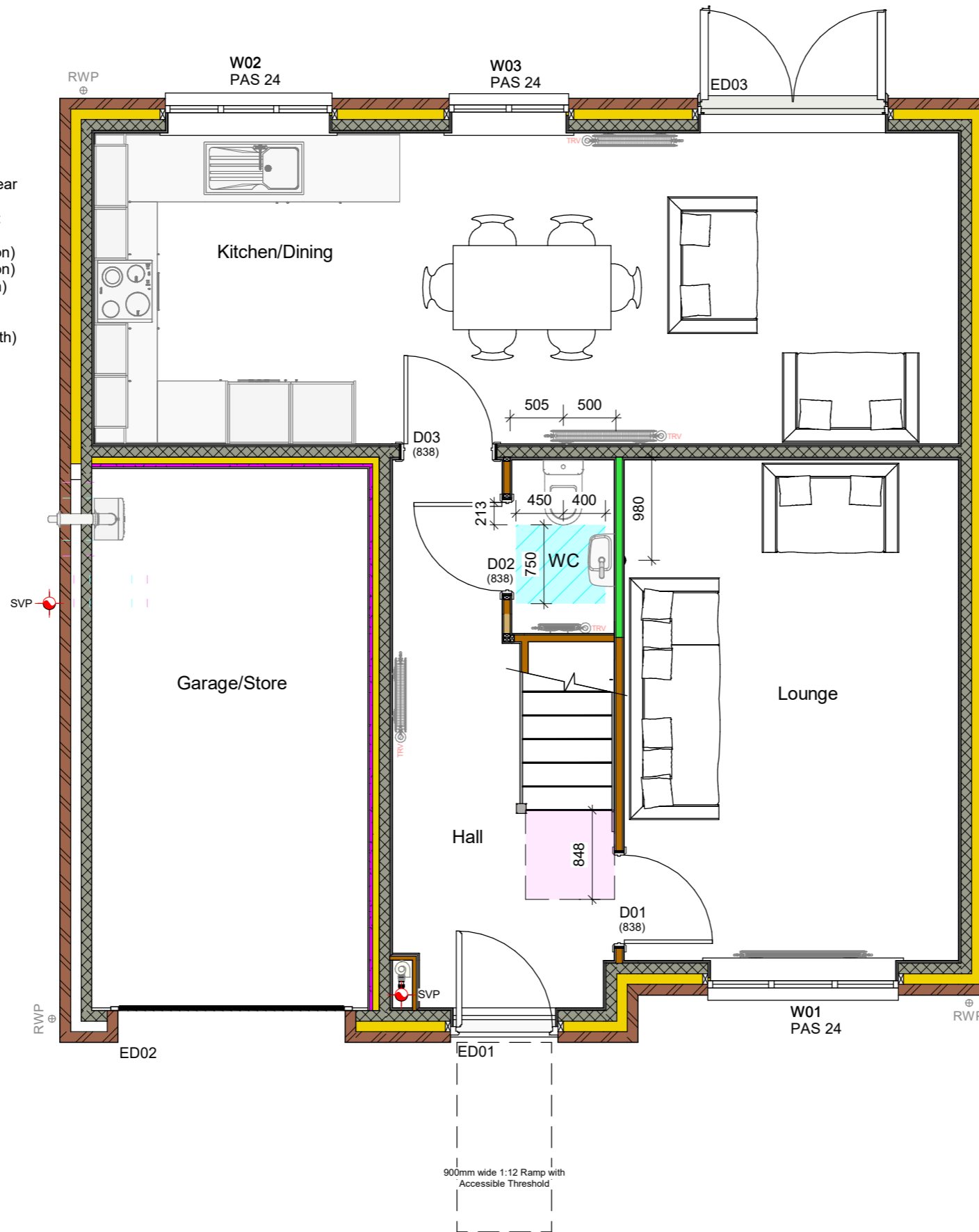


Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## Ground Floor Compliance Plan

1 : 50

NDSS AUDIT - Cookbury		
4 bed 6 person (2 storey)		Min.
Gross Area	118.44 m <sup>2</sup>	106 m <sup>2</sup>
Bed 1 Area	12.6 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.18m	2.75m
Bed 2 Area	12.1 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	3.25m	2.15m
Bed 3 Area	8.9 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.19m	2.15m
Bed 4 Area	8.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 4 Width	2.76m	2.15m
Storage	3.7 m <sup>2</sup>	3 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	01/11/2024	BLK	Bedroom 4 area reduced to 8.5m <sup>2</sup> . Bed 2 width amended to 3.25. Bed 3 width amended to 2.19. M4(1) clearance zone note expanded. AD(K1) compliance note added.
B	22/09/2023	BLK	ramp added to principal entrance
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Cookbury - Det**

COINS REFERENCE:

DRWG No:  
**COO/DET/6-001**

REV:  
**C**

01/11/2024 16:57:57

## M4(1) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones

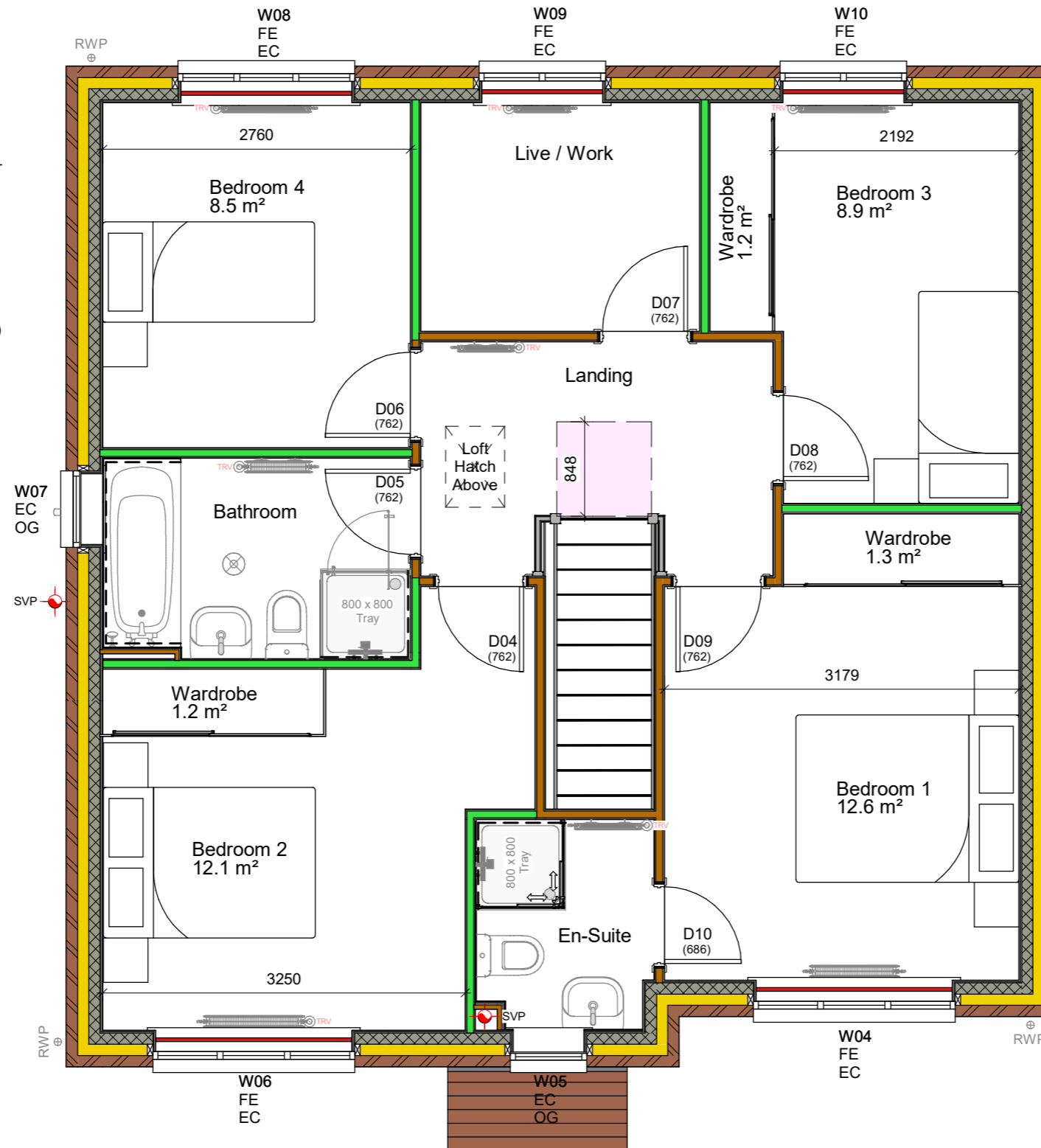


Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Cookbury		
4 bed 6 person (2 storey)		Min.
Gross Area	118.44 m <sup>2</sup>	106 m <sup>2</sup>
Bed 1 Area	12.6 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.18m	2.75m
Bed 2 Area	12.1 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	3.25m	2.15m
Bed 3 Area	8.9 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.19m	2.15m
Bed 4 Area	8.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 4 Width	2.76m	2.15m
Storage	3.7 m <sup>2</sup>	3 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	01/11/2024	BLK	Bed 2 wardrobe relocated adjacent Ensuite wall to Bathroom wall to allow TV customer upgrade. Bedroom 4 area reduced to 8.5m <sup>2</sup> . Bed 2 width amended to 3.25. Bed 3 width amended to 2.19. M4(1) clearance zone note expanded. AD(K) compliance note added.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
Cookbury - Det

COINS REFERENCE:

DRWG No: COO/DET/6-002	REV: B
---------------------------	-----------

## First Floor Compliance Plan

1 : 50

01/11/2024 16:57:59

### M4(1) Clearance Zones



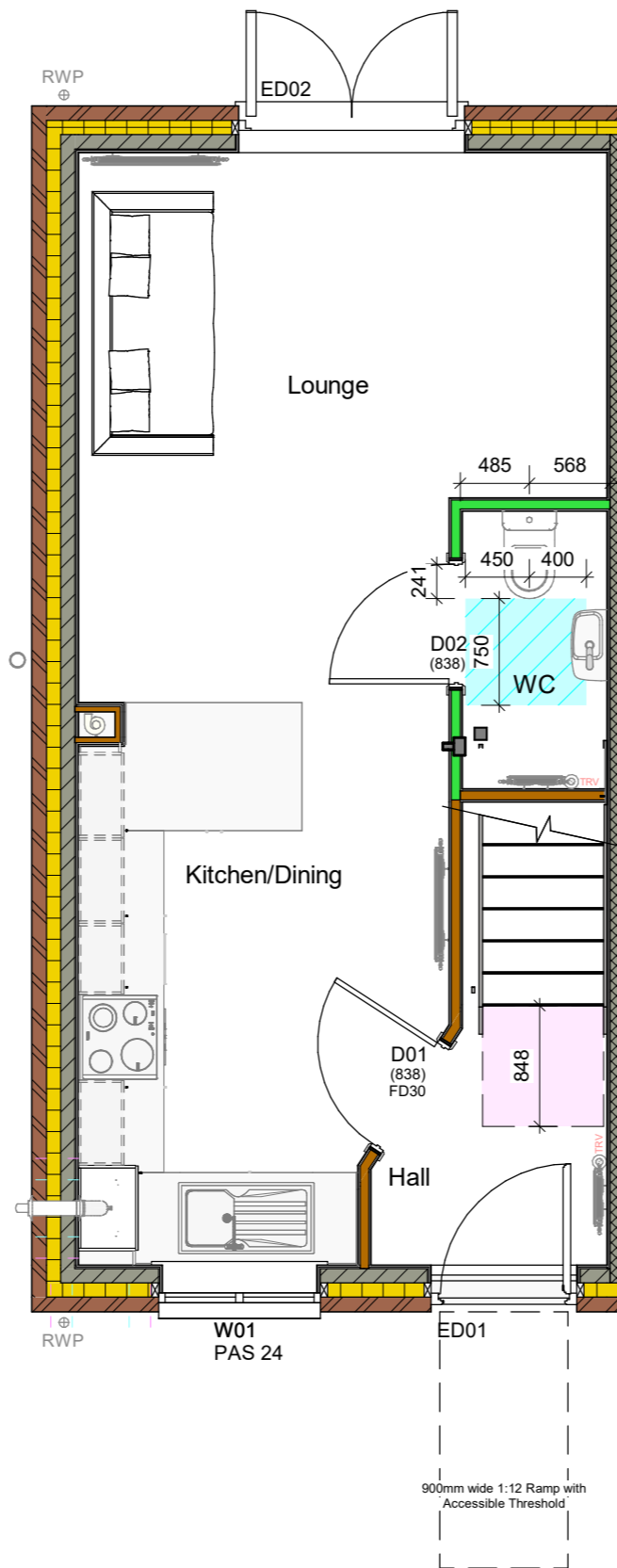
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### Ground Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	22/09/2023	BLK	M4(1) ramp added to principal entrance
A	17/07/2023	BLK	First Issue



AV23 SPECIFICATION

CONSTRUCTION

NDSS AUDIT - Eastbeck		
		Min.
Gross Area	86.9 m <sup>2</sup>	79 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	14.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.6m	2.55m
Storage	2.63 m <sup>2</sup>	2 m <sup>2</sup>

DATE:	12/07/2023	SCALE @ A3:	1 : 50	DRAWN BY:	GROUP
DWG TITLE:	Ground Floor Compliance Plan				
HOUSE TYPE:	Eastbeck - End				
COINS REFERENCE:					
DRWG No:	EAS/END/6-001			REV:	B

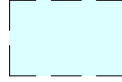
22/09/2023 14:57:20

### M4(1) Clearance Zones



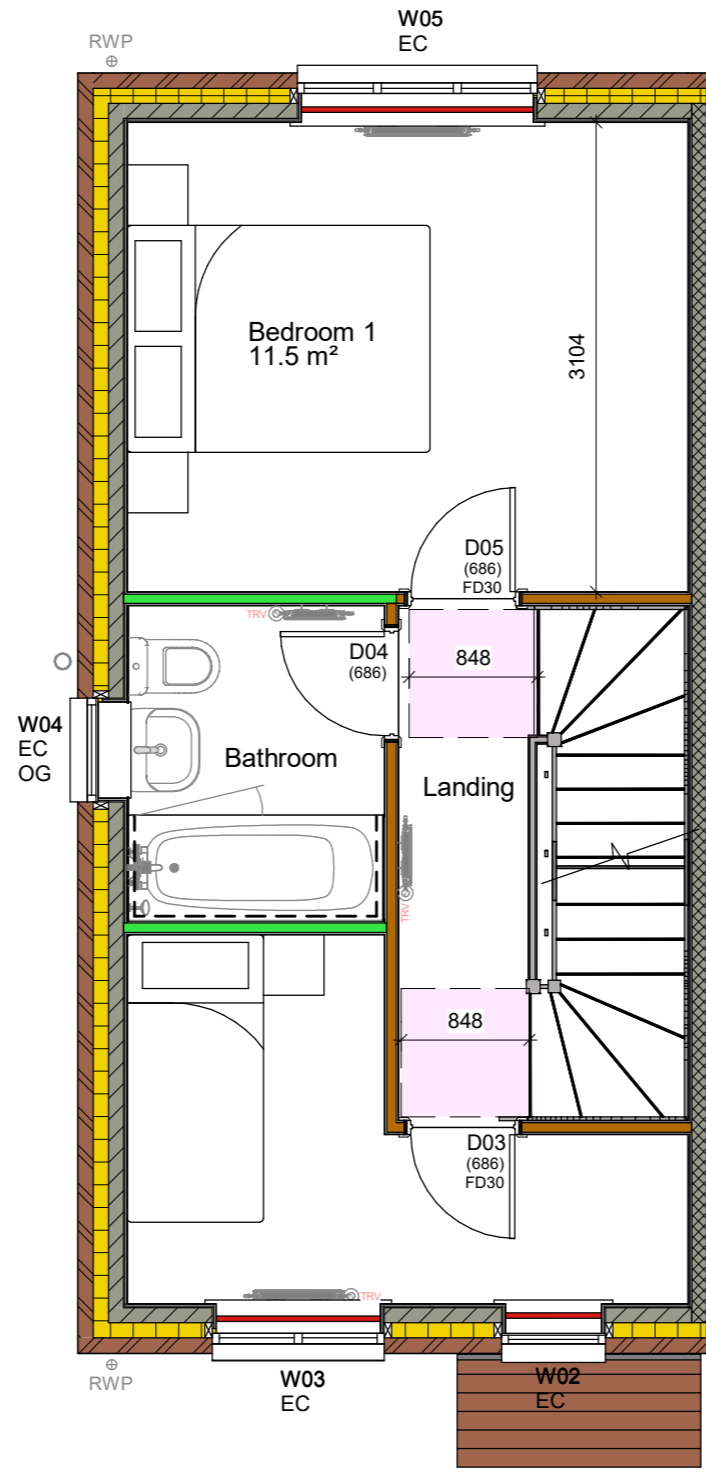
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### First Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

A		17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS	
<b>AVANT</b> homes				
<b>AV23 SPECIFICATION</b>				
<b>CONSTRUCTION</b>				
DATE:	12/07/2023	SCALE @ A3:	1 : 50	DRAWN BY:
DWG TITLE:	First Floor Compliance Plan			
HOUSE TYPE:	Eastbeck - End			
COINS REFERENCE:				
DRWG No:	EAS/END/6-002			REV:
				A

NDSS AUDIT - Eastbeck		
2 bed 4 person (3 storey)		Min.
Gross Area	86.9 m <sup>2</sup>	79 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	14.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.6m	2.55m
Storage	2.63 m <sup>2</sup>	2 m <sup>2</sup>

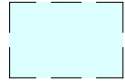
22/09/2023 14:57:21

### M4(1) Clearance Zones



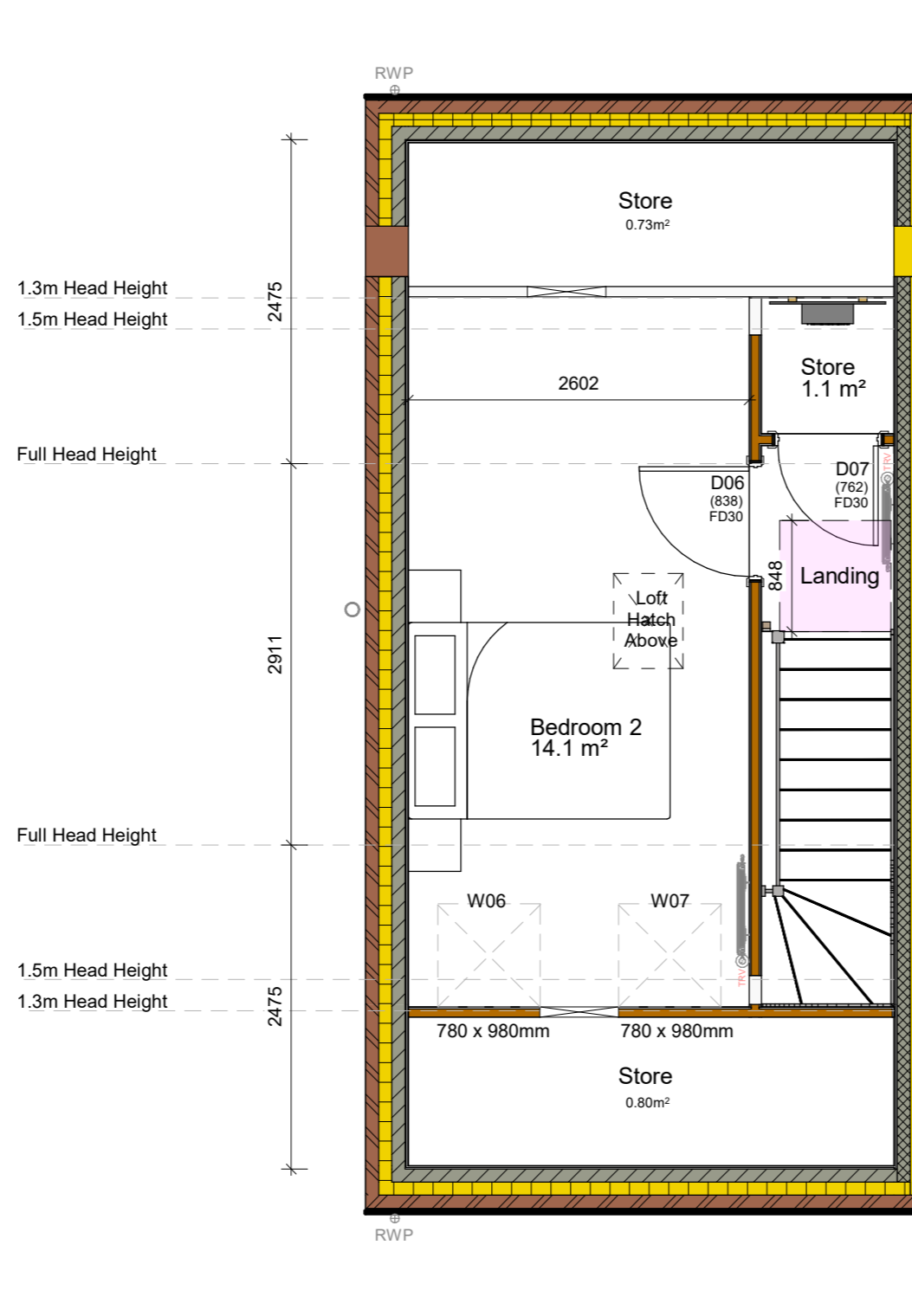
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### Second Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
A	17/07/2023	BLK	First Issue
<b>AVANT homes</b>			
<b>AV23 SPECIFICATION</b>			
<b>CONSTRUCTION</b>			
DATE:	SCALE @ A3:	DRAWN BY:	
12/07/2023	1 : 50	GROUP	
DWG TITLE:			
Second Floor Compliance Plan			
HOUSE TYPE:			
Eastbeck - End			
COINS REFERENCE:			
DRWG No:	REV:		
EAS/END/6-003	A		

NDSS AUDIT - Eastbeck		
2 bed 3 person (3 storey)		Min.
Gross Area	86.9 m <sup>2</sup>	79 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1 m	2.75m
Bed 2 Area	14.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.6m	2.15m
Storage	2.63 m <sup>2</sup>	2 m <sup>2</sup>

22/09/2023 14:57:21

## M4(1) Clearance Zones



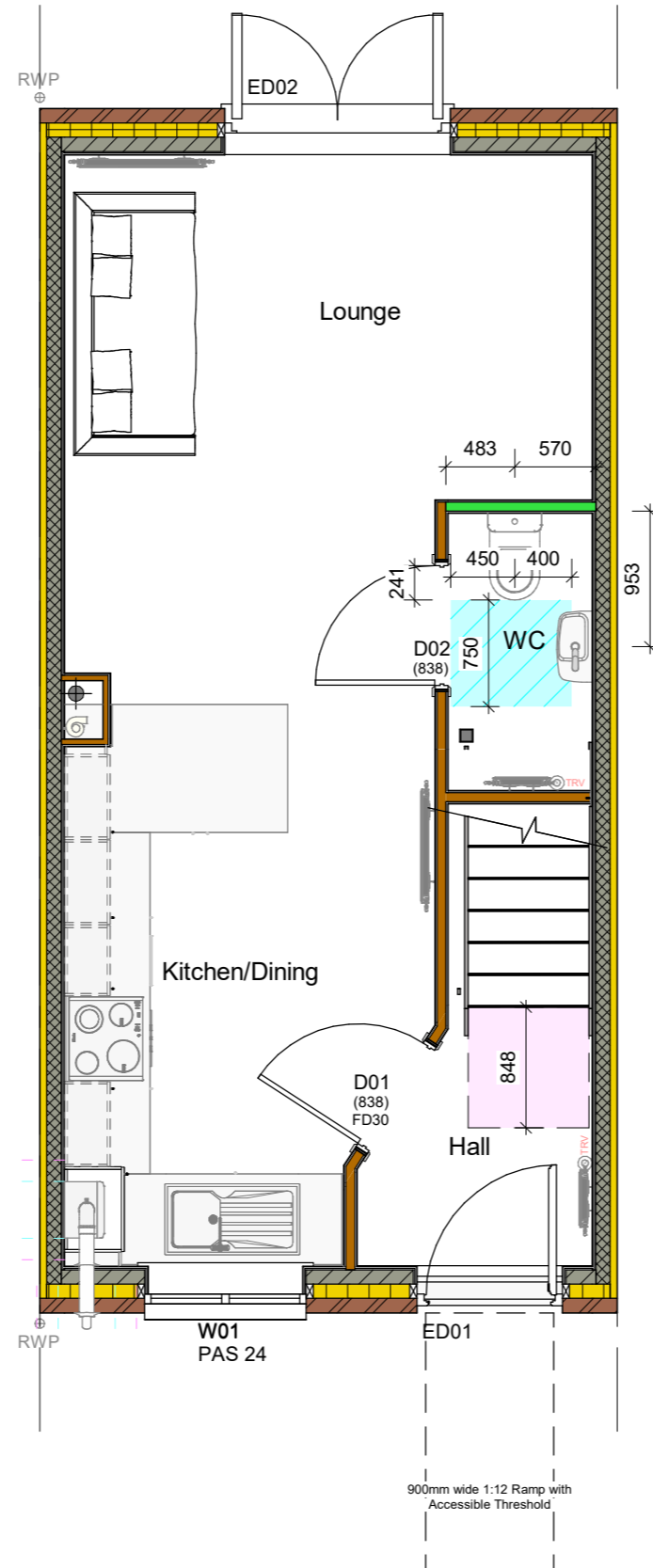
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



## Ground Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

B	22/09/2023	BLK	M4(1) ramp added to principal entrance
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE:	12/07/2023	SCALE @ A3:	1 : 50	DRAWN BY:	GROUP
-------	------------	-------------	--------	-----------	-------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Eastbeck - Mid**

COINS REFERENCE:

DRWG No:  
**EAS/MID/6-001**

REV:  
**B**

NDSS AUDIT - Eastbeck		
2 bed 3 person (3 storey)		Min.
Gross Area	86.9 m <sup>2</sup>	79 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	14.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.6m	2.15m
Storage	2.63 m <sup>2</sup>	2 m <sup>2</sup>

22/09/2023 15:28:53

### M4(1) Clearance Zones



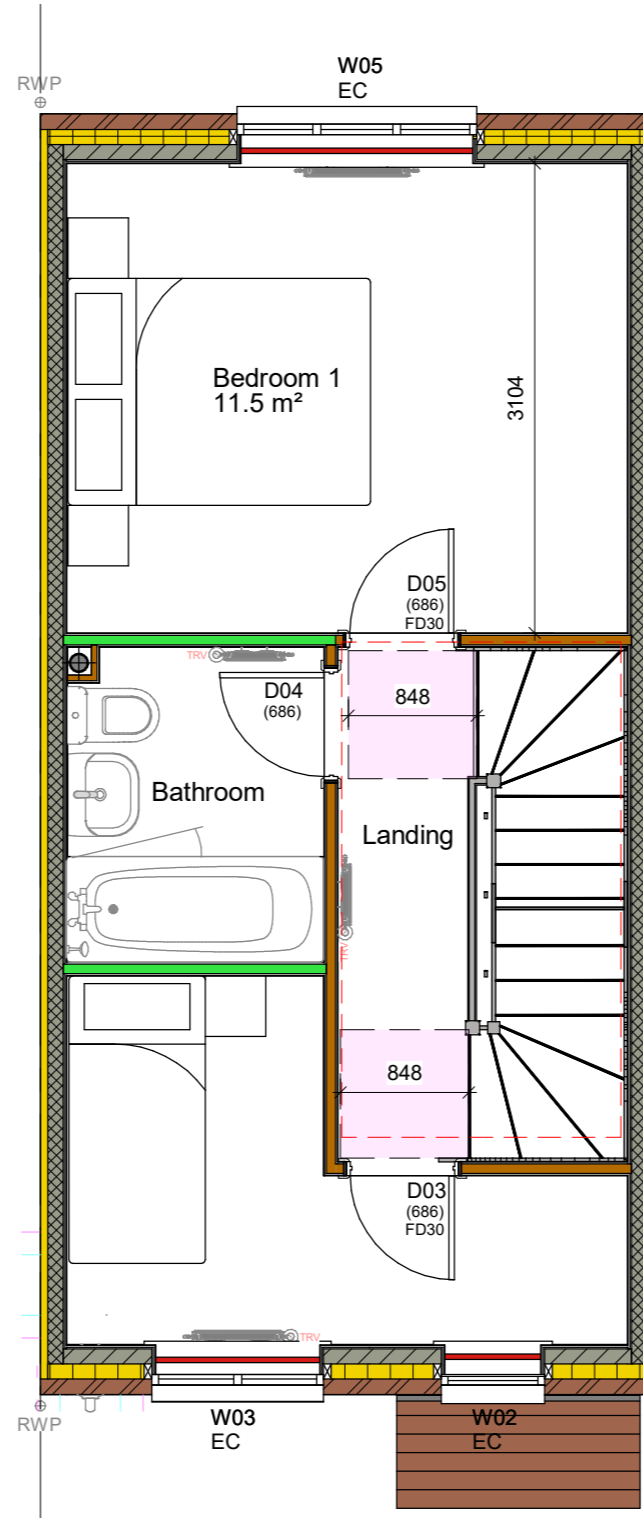
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



First Floor Compliance Plan  
1 : 50

NDSS AUDIT - Eastbeck		
		Min.
Gross Area	86.09 m <sup>2</sup>	79 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	14.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.6m	2.15m
Storage	2.63 m <sup>2</sup>	2 m <sup>2</sup>

This Housetype is compliant with NDSS

A 17/07/2023 BLK First Issue	
REV	DATE BY AMENDMENTS
<b>AVANT</b> homes	
<b>AV23 SPECIFICATION</b>	
<b>CONSTRUCTION</b>	
DATE: 12/07/2023	SCALE @ A3: 1 : 50
DRAWN BY: GROUP	
DWG TITLE: <b>First Floor Compliance Plan</b>	
HOUSE TYPE: <b>Eastbeck - Mid</b>	
COINS REFERENCE:	
DRWG No: <b>EAS/MID/6-002</b>	REV: <b>A</b>

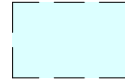
22/09/2023 15:28:54

### M4(1) Clearance Zones



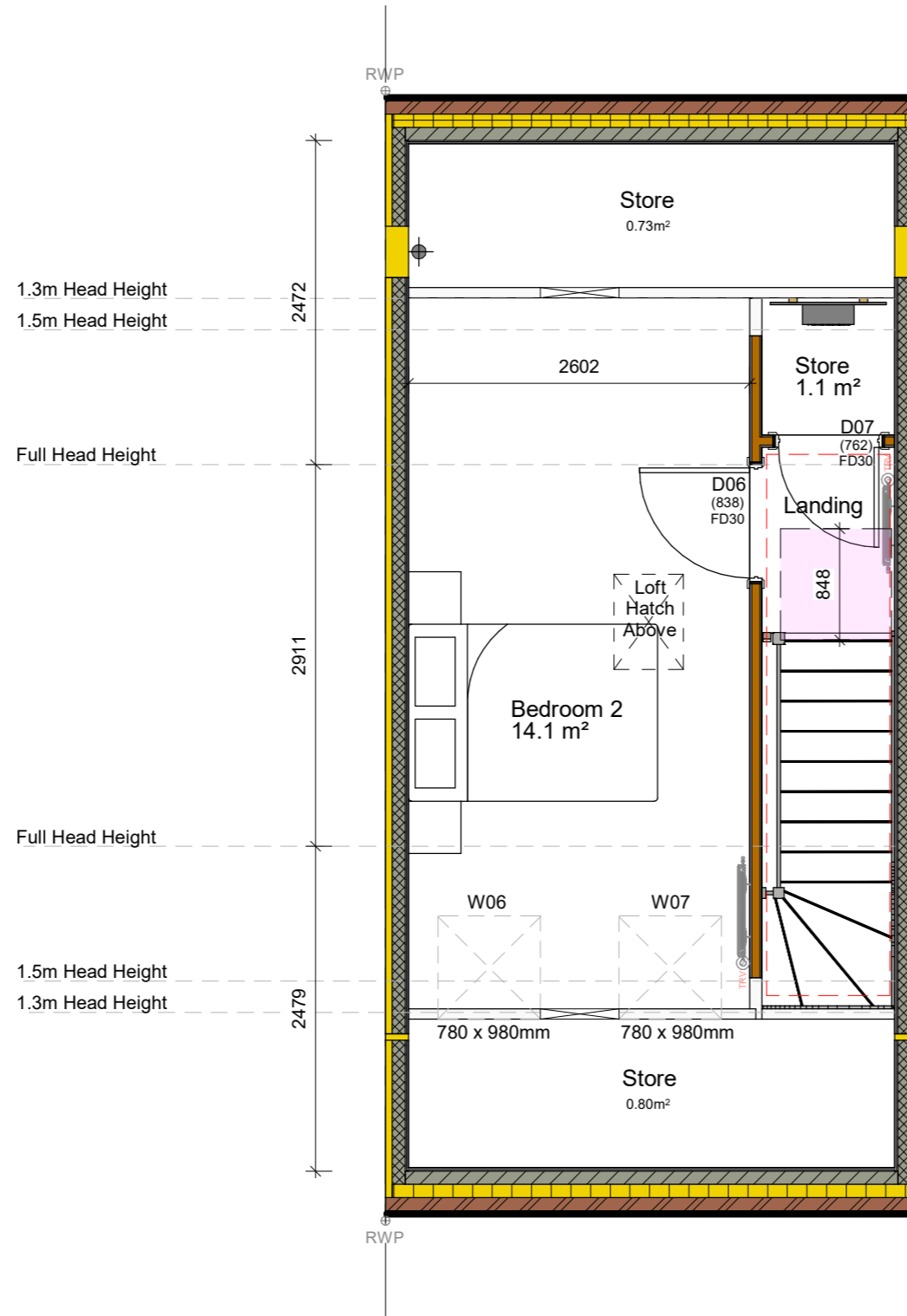
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### Second Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

NDSS AUDIT - Eastbeck		
		Min.
Gross Area	86.09 m <sup>2</sup>	79 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	14.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.6m	2.15m
Storage	2.62 m <sup>2</sup>	2 m <sup>2</sup>

A 17/07/2023 BLK First Issue		
REV	DATE	BY AMENDMENTS
<b>AVANT</b> homes		
<b>AV23 SPECIFICATION</b>		
<b>CONSTRUCTION</b>		
DATE:	SCALE @ A3:	DRAWN BY:
12/07/2023	1 : 50	GROUP
DWG TITLE:		
Second Floor Compliance Plan		
HOUSE TYPE:		
Eastbeck - Mid		
COINS REFERENCE:		
DRWG No:		REV:
EAS/MID/6-003		A

22/09/2023 15:28:54

### M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

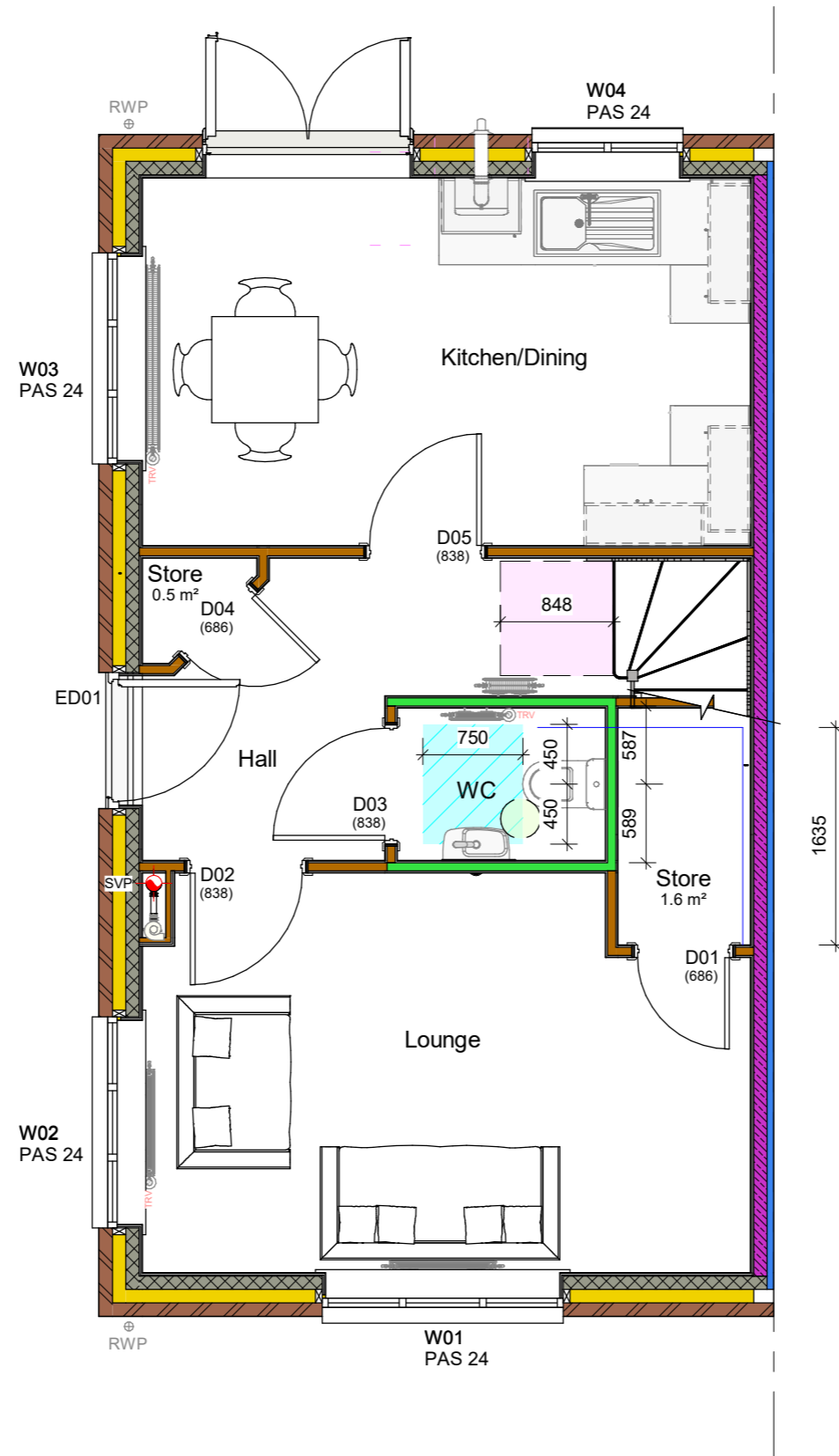
### AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



Ground Floor Compliance Plan  
1 : 50

NDSS AUDIT - F2.1		
		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	14.7 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.76m	2.75m
Bed 2 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.61m	2.15m
Storage	2.1 m <sup>2</sup>	2 m <sup>2</sup>

This Housetype is compliant with NDSS

01/11/2024 BLK First Issue		
REV	DATE	BY AMENDMENTS
<b>AVANT</b> homes		
<b>AV23 SPECIFICATION</b>		
<b>CONSTRUCTION</b>		
DATE:	SCALE @ A3:	DRAWN BY:
01/11/2024	1 : 50	GROUP
DWG TITLE:		
Ground Floor Compliance Plan		
HOUSE TYPE:		
F2.1 - End		
COINS REFERENCE:		
DRWG No:	REV:	
F2.1/END/6-001	-	

01/11/2024 14:09:38

## M4(1) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones

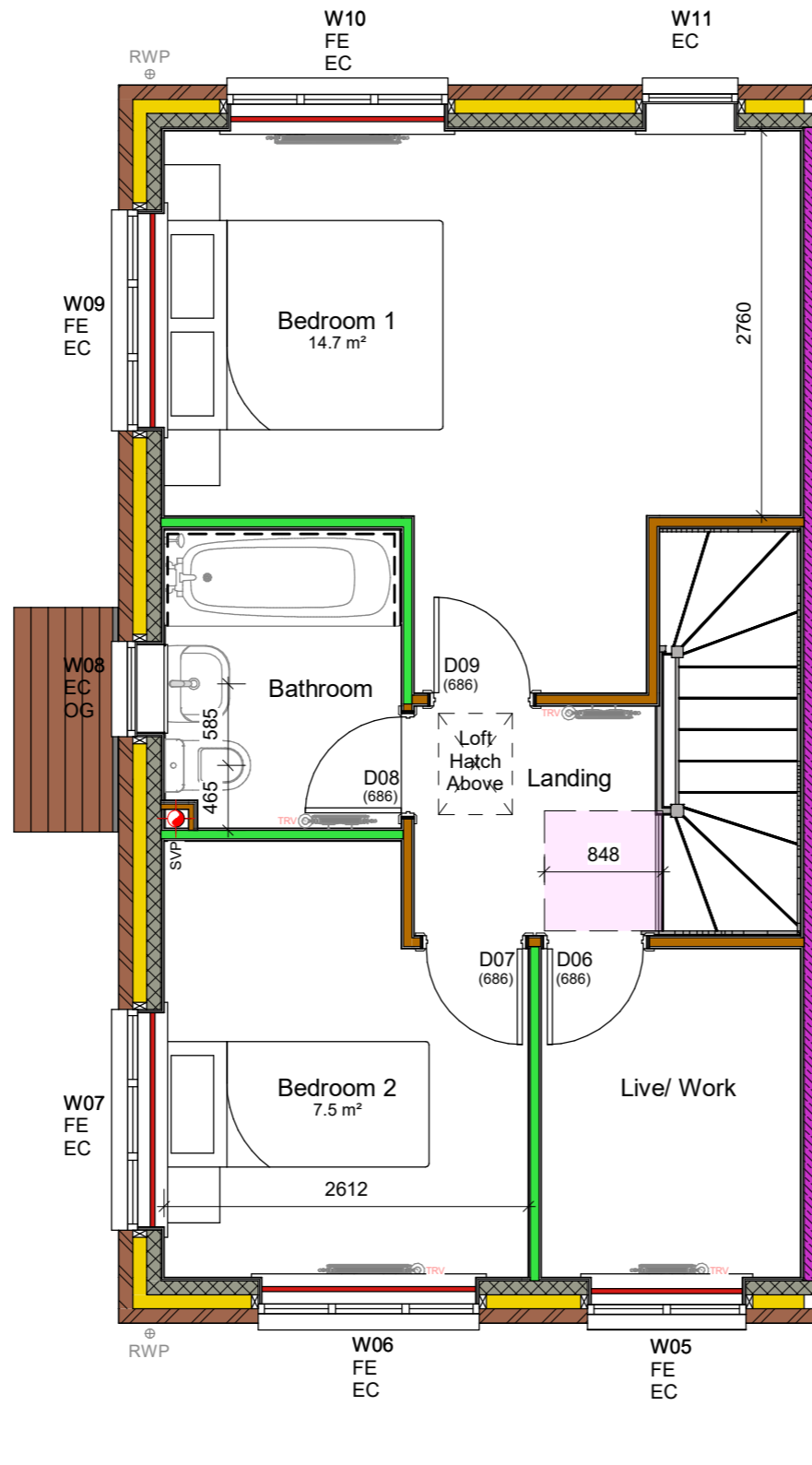


Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## First Floor Compliance Plan

1 : 50

NDSS AUDIT - F2.1		
2 bed 3 person (2 storey)		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	14.7 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.76m	2.75m
Bed 2 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.61m	2.15m
Storage	2.1 m <sup>2</sup>	2 m <sup>2</sup>

This Housetype is compliant with NDSS

01/11/2024 BLK First Issue		
REV	DATE	BY AMENDMENTS
<b>AVANT</b> homes		
<b>AV23 SPECIFICATION</b>		
<b>CONSTRUCTION</b>		
DATE:	SCALE @ A3:	DRAWN BY:
01/11/2024	1 : 50	GROUP
DWG TITLE: <b>First Floor Compliance Plan</b>		
HOUSE TYPE: <b>F2.1 - End</b>		
COINS REFERENCE:		
DRWG No:	REV:	
<b>F2.1/END/6-002</b>	-	

01/11/2024 14:09:40

### M4(1) Clearance Zones



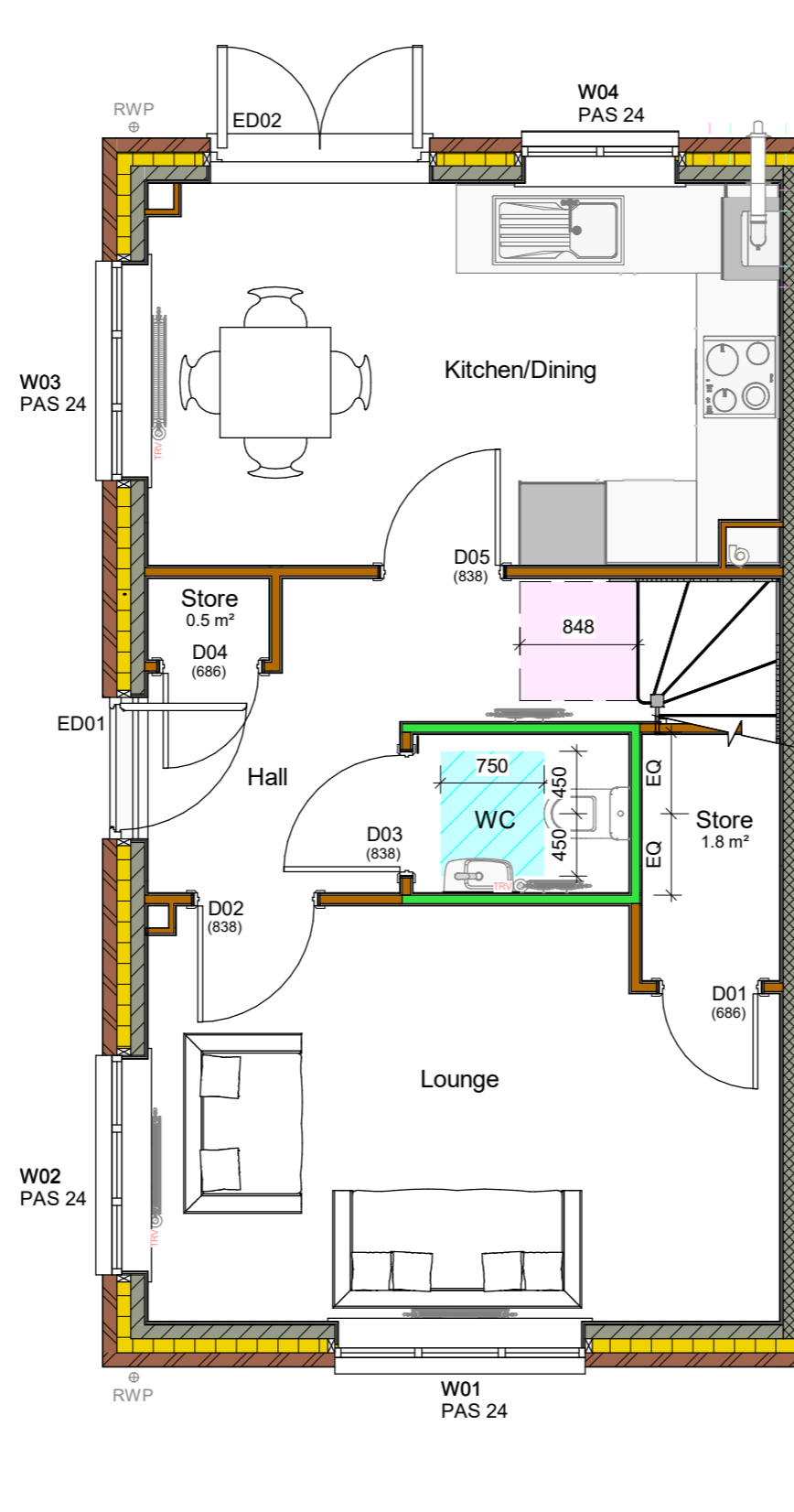
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



Ground Floor Compliance Plan  
1 : 50

NDSS AUDIT - Ferndale		
2 bed 3 person (2 storey)		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.76m	2.75m
Bed 2 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.61m	2.15m
Storage	2.3 m <sup>2</sup>	2 m <sup>2</sup>

This Housetype is compliant with NDSS

A 17/07/2023 BLK First Issue			
REV	DATE	BY	AMENDMENTS
<b>AVANT</b> homes			
<b>AV23 SPECIFICATION</b>			
<b>CONSTRUCTION</b>			
DATE:	SCALE @ A3:	DRAWN BY:	
12/07/2023	1 : 50	GROUP	
DWG TITLE:			
Ground Floor Compliance Plan			
HOUSE TYPE:			
Ferndale - End			
COINS REFERENCE:			
DRWG No:	REV:		
FER/END/6-001	A		

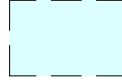
17/07/2023 20:57:24

### M4(1) Clearance Zones



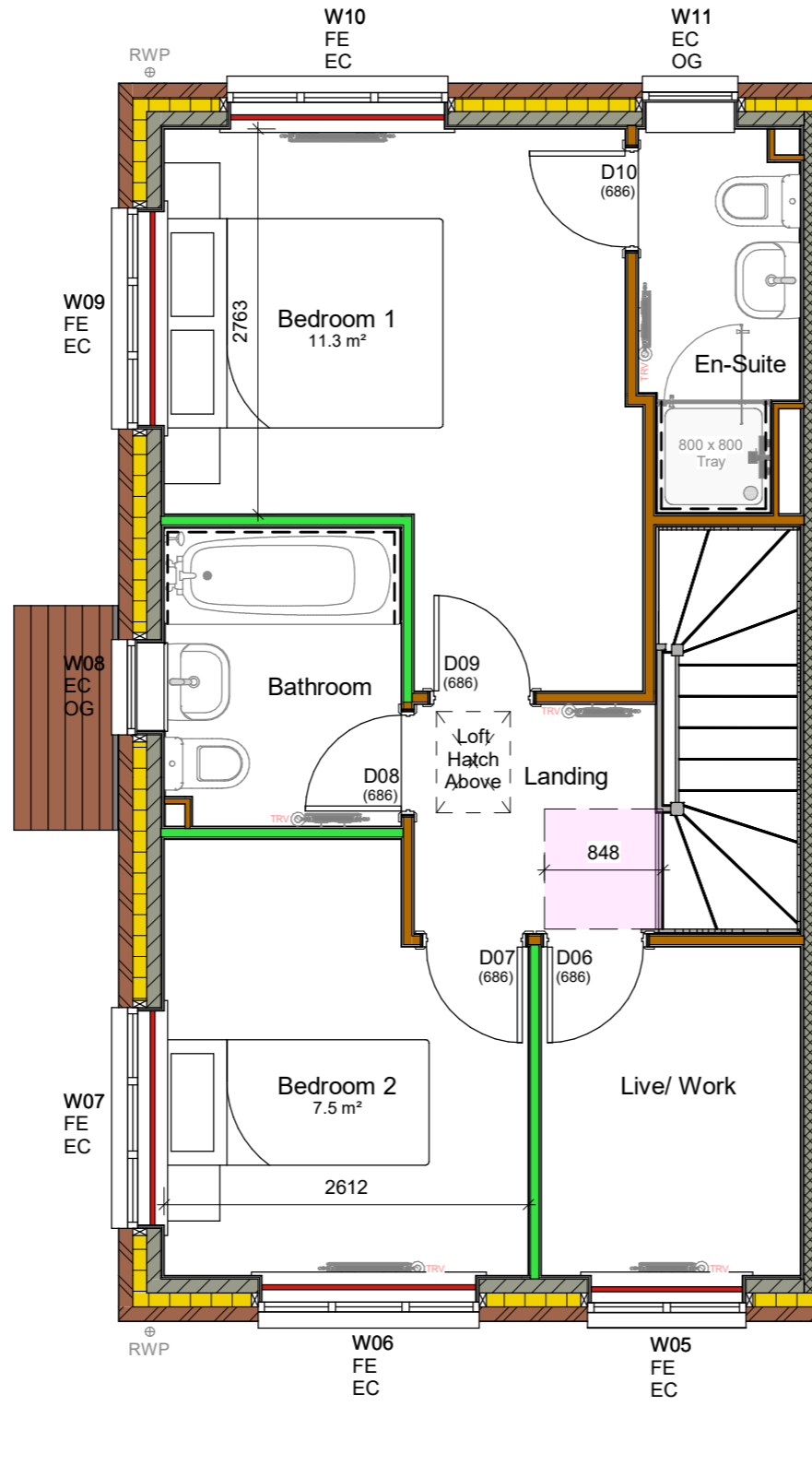
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### First Floor Compliance Plan

1 : 50

NDSS AUDIT - Ferdale		
2 bed 3 person (2 storey)		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.76m	2.75m
Bed 2 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.61m	2.15m
Storage	2.3 m <sup>2</sup>	2 m <sup>2</sup>

This Housetype is compliant with NDSS

A 17/07/2023 BLK First Issue		
REV	DATE	BY AMENDMENTS
<b>AVANT</b> homes		
<b>AV23 SPECIFICATION</b>		
<b>CONSTRUCTION</b>		
DATE: 12/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
DWG TITLE: <b>First Floor Compliance Plan</b>		
HOUSE TYPE: <b>Ferndale - End</b>		
COINS REFERENCE:		
DRWG No: <b>FER/END/6-002</b>	REV: <b>A</b>	

17/07/2023 20:57:25

## M4(2) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom (Potential Level Access Shower Only)



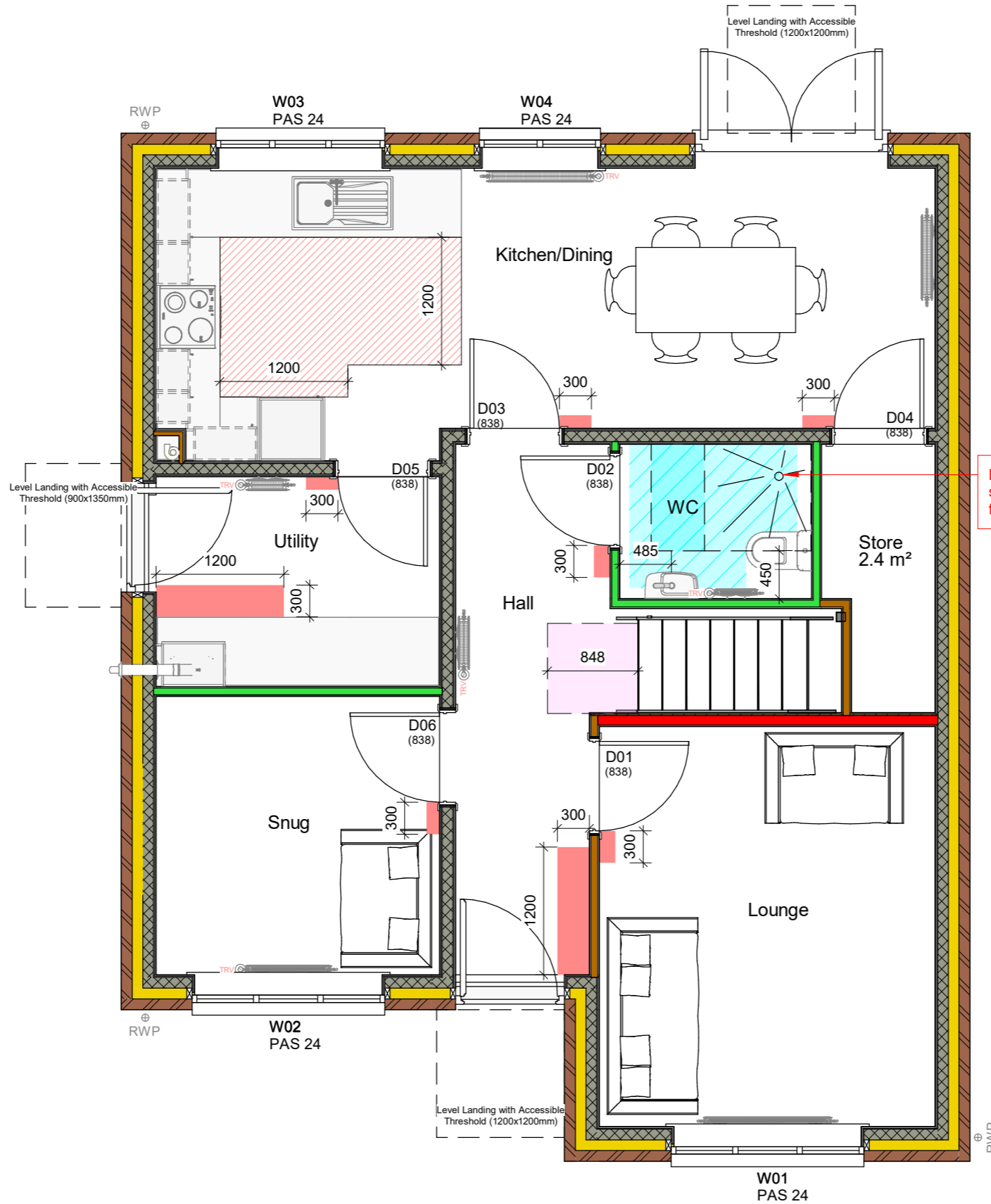
AD Part M4(2) Sanitary Access Zone.

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.

- Principal entrance 1200 x 300
- Leading edge nib 300 (GF only)
- Kitchen units 1200 deep
- Bedrooms 750 to beds



### Uplift items required on plots to comply with Category M4(2)

- Level step free access to principal entrance to the dwelling and any associated parking spaces
- Parking space min. 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- ALL external doors to be 850mm clear opening width with Accessible Threshold (Max 15mm rise), 300mm nib to leading edge clear for 1200mm
- Window to main living space to have opening handle between 450mm and 1200mm above FFL. All other windows to be no higher than 1400mm
- ALL switches, sockets and controls to be minimum 300mm horizontally from an inside corner (including kitchens)
- 1 or 2 bed houses to have future shower provision in bathroom
- 3 bed and above to have future shower provision in Ground Floor WC
- ALL walls, ducts and boxings to WC and Bathroom to be lined with 12.5mm Plywood between 450 and 1600mm +FFL to accept future adaptations

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	10/09/2024	BLK	Stairwell opening offset 3900 from front elevation, stair opening width amended to 1045mm. Lounge increased 34mm in length. WWHR & Boxing moved into Kitchen.
A	17/07/2023	BLK	First Issue

# AVANT homes

AV23 SPECIFICATION

CONSTRUCTION

DATE:	SCALE @ A3:	DRAWN BY:
19/05/2023	1 : 50	GROUP

DWG TITLE:  
Ground Floor Compliance Plan

HOUSE TYPE:  
Horbury - Det

COINS REFERENCE:

DRWG No:  
HOR/6-001

REV:  
B

NDSS AUDIT - Horbury		
4 bed 6 person (2 storey)		Min.
Gross Area	119.92 m <sup>2</sup>	106 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	13.2 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	3.15m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.43m	2.15m
Bed 4 Area	9.0 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 4 Width	2.53m	2.15m
Storage	3.2 m <sup>2</sup>	3.0 m <sup>2</sup>

## Ground Floor Compliance Plan

1 : 50

## M4(2) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom (Potential Level Access Shower Only)



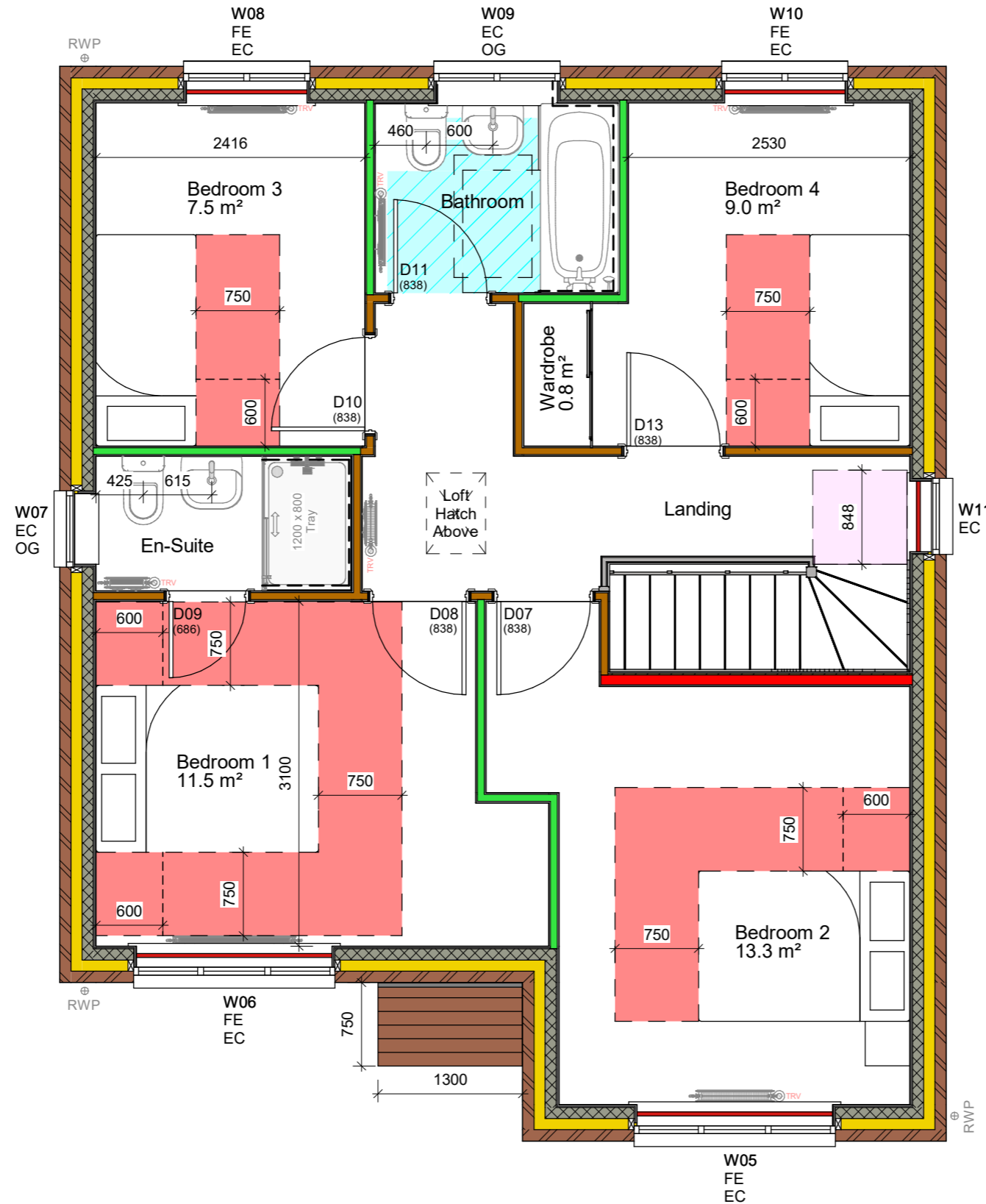
AD Part M4(2) Sanitary Access Zone.

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.

- Principal entrance 1200 x 300
- Leading edge nib 300 (GF only)
- Kitchen units 1200 deep
- Bedrooms 750 to beds



### Uplift items required on plots to comply with Category M4(2)

- Level step free access to principal entrance to the dwelling and any associated parking spaces
- Parking space min. 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- ALL external doors to be 850mm clear opening width with Accessible Threshold (Max 15mm rise), 300mm nib to leading edge clear for 1200mm
- Window to main living space to have opening handle between 450mm and 1200mm above FFL. All other windows to be no higher than 1400mm
- ALL switches, sockets and controls to be minimum 300mm horizontally from an inside corner (including kitchens)
- 1 or 2 bed houses to have future shower provision in bathroom
- 3 bed and above to have future shower provision in Ground Floor WC
- ALL walls, ducts and boxings to WC and Bathroom to be lined with 12.5mm Plywood between 450 and 1600mm +FFL to accept future adaptations

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

### Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Horbury		
4 bed 6 person (2 storey)		Min.
Gross Area	119.92 m <sup>2</sup>	106 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.09m	2.75m
Bed 2 Area	13.2 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	3.1m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.43m	2.15m
Bed 4 Area	9.0 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 4 Width	2.53m	2.15m
Storage	3.2 m <sup>2</sup>	3.0 m <sup>2</sup>

## First Floor Compliance Plan

1 : 50

B	10/09/2024	BLK	Stairwell opening offset 3900 from front elevation, stair opening width amended to 1045mm. Bedroom 2 increased 34mm in length. External Bath SVP relocated 200mm West
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
<b>AVANT homes</b>			
<b>AV23 SPECIFICATION</b>			
<b>CONSTRUCTION</b>			
DATE:	19/05/2023	SCALE @ A3:	1 : 50
DRAWN BY:	GROUP		
DWG TITLE: <b>First Floor Compliance Plan</b>			
HOUSE TYPE: <b>Horbury - Det</b>			
COINS REFERENCE:			
DRWG No:	<b>HOR/6-002</b>		REV:
			<b>B</b>

## M4(2) Clearance Zones



### Clear Access Zone Requirements

- 1500 dia to Bathroom (Potential Level Access Shower Only)
- 650 dia to WHB
- 300 dia knee room to HWB



### Sanitary Access Zone

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



### General Access Zone

- Principal Entrance & Other External Doors:
  - Leading edge nib 300 wide x 1200 deep
  - 200 maximum reveal depth to leading side
- Internal Doors:
  - Leading edge nib 300 wide (GF Only)
- Other
  - Kitchen units 1200 deep
  - Bedrooms 750 wide to beds

### Clear Opening Widths

- All external doors to have 850 minimum clear opening width and accessible threshold (reduced to 750 for double doors\*)
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 900 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.
- All bedrooms to provide a 750 minimum clear access route from the doorway to the window.

\*Reduced to 750 clear opening for double doors to one or both leaves when approach is head-on for non-principal or alternative entrances ONLY. In accordance with AD(M) "Access to and use of Buildings" Frequently Asked Questions - Double Doors into a Rear Garden Category 2 - Paragraph 2.20e.

### Strengthened Walls

Denotes 1.5kN/m<sup>2</sup> min wall load requirement located between 300-1500mm above finished floor level in accordance with M4(2) paragraph 2.26 and AD(M) "Access to and use of Buildings" Frequently Asked Questions - Fixing WC Supports.

- Stud Walls
  - 11mm OSB3 or 12.5mm Class 2 plywood panels fixed between studs via 25x38mm timber battens.
- Masonry Walls
  - 9mm OSB3 or 9mm Class 2 plywood panels fixed between blockwork and plasterboard.

## AD(K1) Clearance Zones

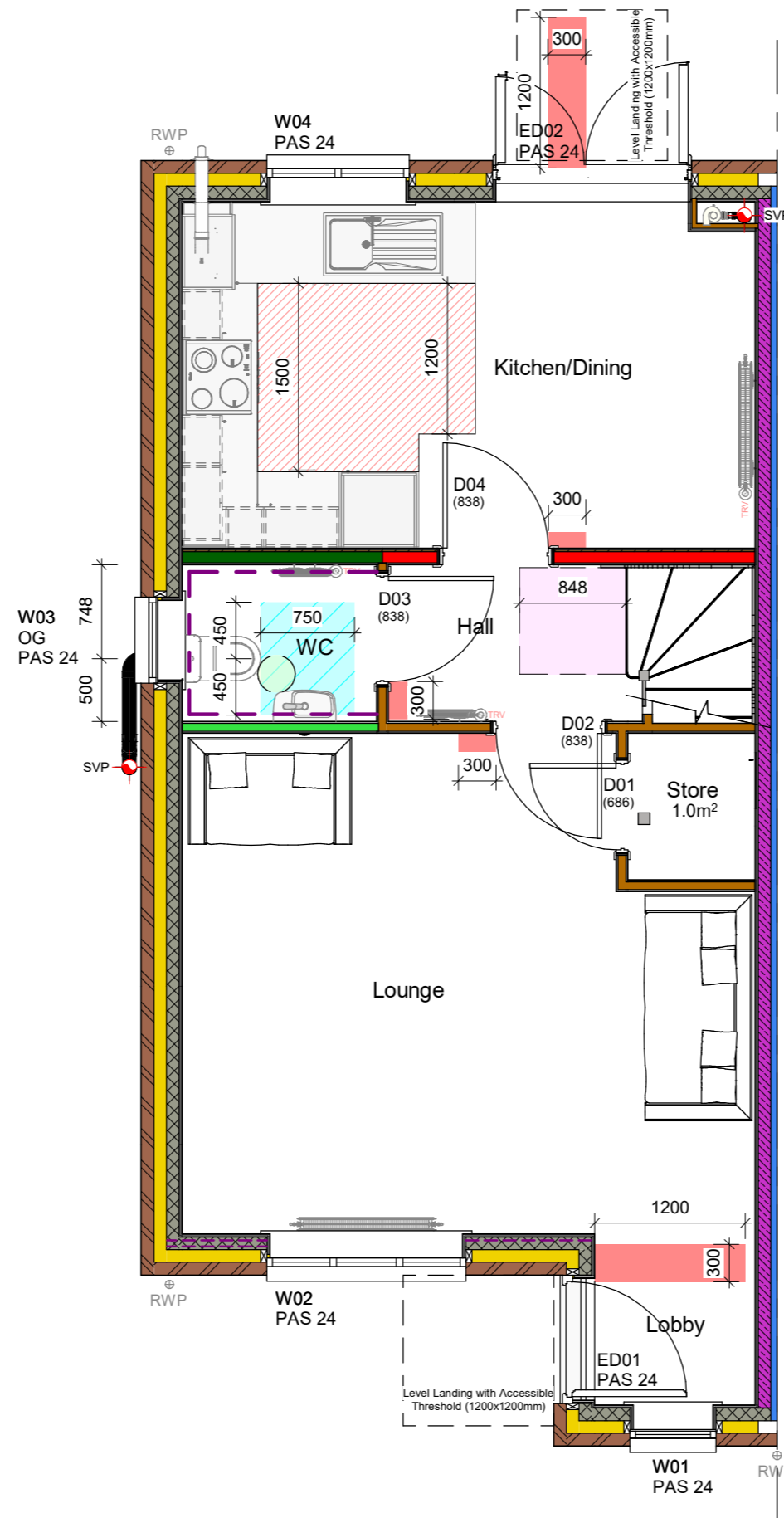


### Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## M4(2) Services & Controls

- Consumer units mounted to ensure switches are between 1350 and 1450mm above floor level.
- All switches, sockets, stopcocks and controls centre lines between 450 - 1200mm above floor level and a 300mm min (horizontally) from inside corners.
- Handle to at least one window in the principal living area is located between 450 and 1400mm above floor level.
- Handles to all other windows to be located between 450 and 1400mm above floor level.
- Boiler time controls and thermostats to be mounted between 900 and 1200mm above finished floor level on the boiler or as separate controls mounted in an accessible location at the same height range.

Note: Radiator and cooker hood controls are exempt.

## M4(2) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route to accessible threshold (reduced to 750mm for local obstructions).
- Localised obstructions to be max 2m in length and not permitted opposite or close to a doorway or at a change of direction.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20) or where necessary ramped (gradient between 1:20 - 1:12).
- Approach route to have max 1:40 crossfall.
- 1200x1200mm min level (<1:60 gradient) external landing to principal entrance (or alternative private entrance where step free access cannot be achieved) covered by min 900mm wide by 600mm deep canopy.
- All external ramps to have landing to top and bottom of each flight with an intermediate landing provided to any change of direction (all landings to be min 1200mm and clear of any door/gate swing)
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).
- Fully diffused lighting with dusk to dawn or motion detector provided to private/alternative private entrance.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.
- External gates along the approach route to have 850mm minimum clear opening width with a 300mm minimum nib to the leading edge.

### External Doors to Outside Spaces (Garden, Balcony)

- 1200x1200mm min level (<1:60 gradient) external landing to at least one external doorway with accessible threshold
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Parking space min 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- Parking space to be level (<1:60 gradient) or where unavoidable, gently sloping (gradient between 1:60 - 1:20).
- Parking space to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

17/01/2025	BLK	First Issue
REV	DATE	BY AMENDMENTS
<b>AVANT homes</b>		
<b>AV23 SPECIFICATION</b>		
<b>CONSTRUCTION</b>		
DATE:	SCALE @ A3:	DRAWN BY:
20/12/2024	1 : 50	GROUP
DWG TITLE:		
Ground Floor Compliance Plan		
HOUSE TYPE:		
Knaresborough - End		
COINS REFERENCE:		
DRWG No:		
KNA/END/6-001		
REV:		
-		

NDSS AUDIT - Knaresborough End		
2 bed 3 person (2 storey)		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	13.2 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.31m	2.75m
Bed 2 Area	9.8 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.33m	2.15m
Storage	2 m <sup>2</sup>	2 m <sup>2</sup>

## Ground Floor Compliance Plan

1 : 50

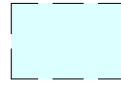
14/01/2025 11:36:16

## M4(2) Clearance Zones



### Clear Access Zone Requirements

- 1500 dia to Bathroom (Potential Level Access Shower Only)
- 650 dia to WHB
- 300 dia knee room to HWB



### Sanitary Access Zone

- WC 1350 wide x (1100+WC depth)
- WHB 700 wide x 1100 deep
- Bath 1100 wide x 700 deep
- Shower 1000 wide x 500 deep



### General Access Zone

- Principal Entrance & Other External Doors:
  - Leading edge nib 300 wide x 1200 deep
  - 200 maximum reveal depth to leading side
- Internal Doors:
  - Leading edge nib 300 wide (GF Only)
- Other
  - Kitchen units 1200 deep
  - Bedrooms 750 wide to beds

### Clear Opening Widths

- All external doors to have 850 minimum clear opening width and accessible threshold (reduced to 750 for double doors\*)
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 900 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.
- All bedrooms to provide a 750 minimum clear access route from the doorway to the window.

\*Reduced to 750 clear opening for double doors to one or both leaves when approach is head-on for non-principal or alternative entrances ONLY. In accordance with AD(M) "Access to and use of Buildings" Frequently Asked Questions - Double Doors into a Rear Garden Category 2 – Paragraph 2.20e.

### Strengthened Walls

Denotes 1.5kN/m<sup>2</sup> min wall load requirement located between 300-1500mm above finished floor level in accordance with M4(2) paragraph 2.26 and AD(M) "Access to and use of Buildings" Frequently Asked Questions - Fixing WC Supports.

- Stud Walls
  - 11mm OSB3 or 12.5mm Class 2 plywood panels fixed between studs via 25x38mm timber battens.
- Masonry Walls
  - 9mm OSB3 or 9mm Class 2 plywood panels fixed between blockwork and plasterboard.

## AD(K1) Clearance Zones



### Landing Clear Access Zone.

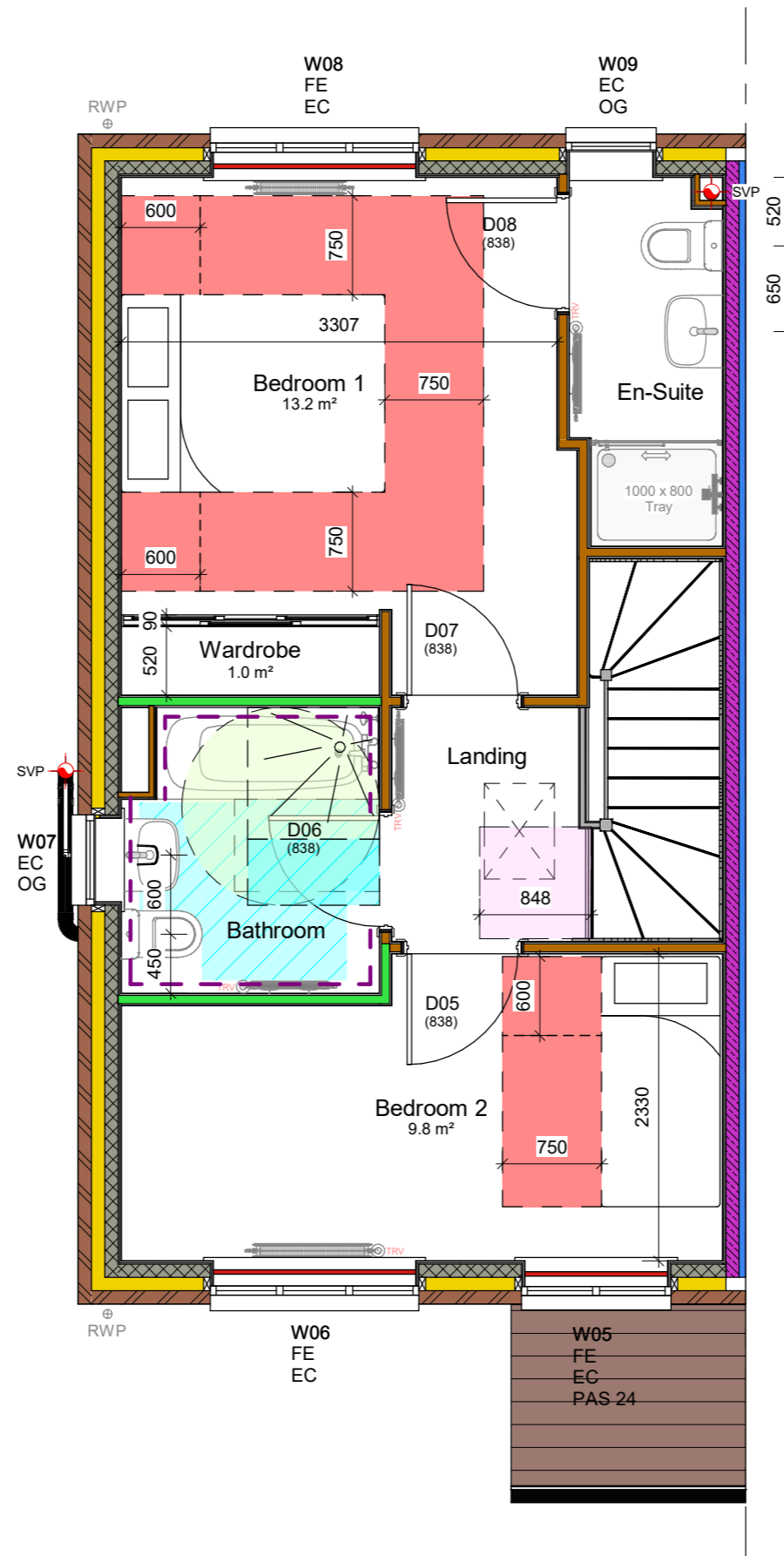
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

# First Floor Compliance Plan

1 : 50



## M4(2) Services & Controls

- Consumer units mounted to ensure switches are between 1350 and 1450mm above floor level.
- All switches, sockets, stopcocks and controls centre lines between 450 - 1200mm above floor level and a 300mm min (horizontally) from inside corners.
- Handle to at least one window in the principal living area is located between 450 and 1400mm above floor level.
- Handles to all other windows to be located between 450 and 1400mm above floor level.
- Boiler time controls and thermostats to be mounted between 900 and 1200mm above finished floor level on the boiler or as separate controls mounted in an accessible location at the same height range.

Note: Radiator and cooker hood controls are exempt.

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Knaresborough End		
2 bed 3 person (2 storey)		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	13.2 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.31m	2.75m
Bed 2 Area	9.8 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.33m	2.15m
Storage	2 m <sup>2</sup>	2 m <sup>2</sup>

17/01/2025 BLK First Issue			
REV	DATE	BY	AMENDMENTS
<b>AVANT homes</b>			
<b>AV23 SPECIFICATION</b>			
<b>CONSTRUCTION</b>			
DATE:	SCALE @ A3:	DRAWN BY:	
20/12/2024	1 : 50	GROUP	
DWG TITLE:			
<b>First Floor Compliance Plan</b>			
HOUSE TYPE:			
<b>Knaresborough - End</b>			
COINS REFERENCE:			
DRWG No:			
<b>KNA/END/6-002</b>			REV:
			-

14/01/2025 11:36:17

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

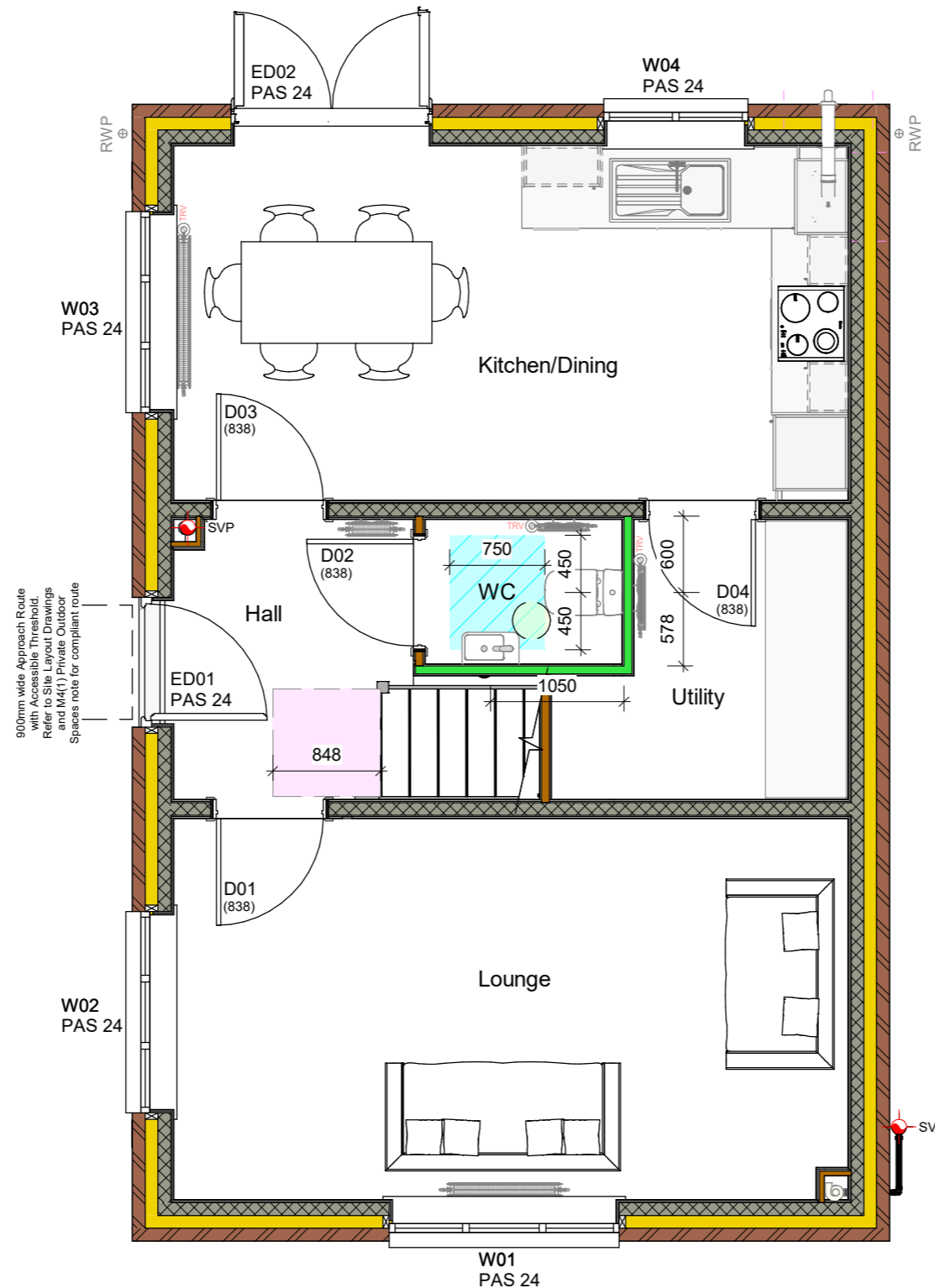
## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail to one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.



## Ground Floor Compliance Plan

1 : 50

Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Leyburn		
3 bed 4 person (2 storey)		Min.
Gross Area	88 m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	13.00 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.05m	2.75m
Bed 2 Area	8.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.71m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.49m	2.15m
Storage	2.5 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	02/05/2025	GK	M4(1) Private Outdoor Spaces note added. 900mm wide 1:12 ramp replaced with 900mm wide approach route. New sanitaryware fittings shown.
B	14/10/2024	GK	M4(1) Clearance zone note expanded detailing clear opening zones. AD(K1) clearance zone note added. Wall colours changed to new key. NDSS Audit updated.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 18/05/2023	SCALE @ A3: 1 : 50	DRAWN BY: EA
---------------------	-----------------------	-----------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Leyburn - Det**

COINS REFERENCE:

DRWG No:  
**LEY/DET/6-001**

REV:  
**C**

02/05/2025 14:42:09

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

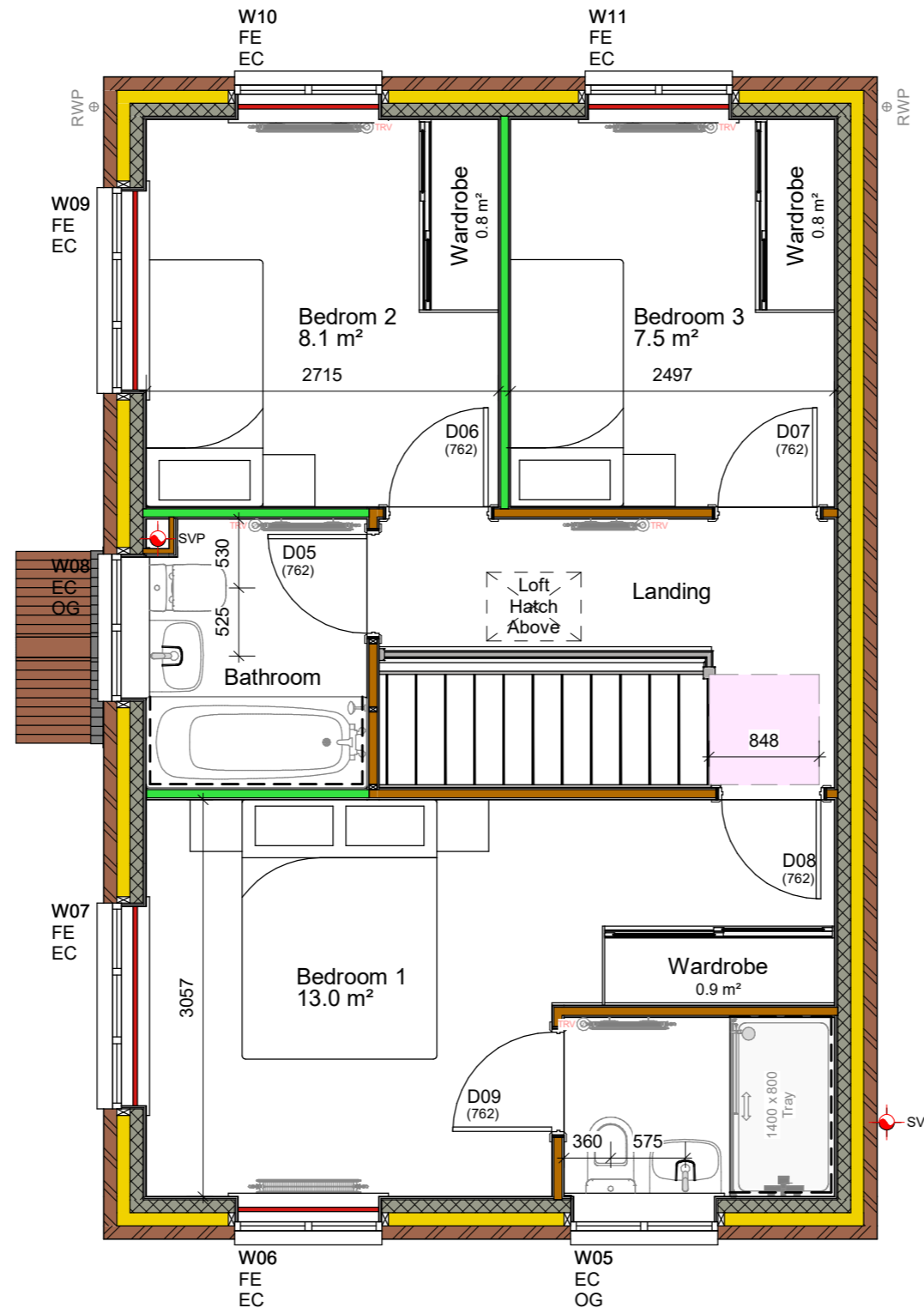
## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail to one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.



Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Leyburn		
3 bed 4 person (2 storey)		Min.
Gross Area	88 m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	13.00 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.05m	2.75m
Bed 2 Area	8.1 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.71m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.49m	2.15m
Storage	2.5 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	02/05/2025	GK	GF Bedroom 1 ensuite width amended to allow for shower tray. Bed 1 wardrobe size reduced in line with Spacepro designs. NDSS audit updated to suit. M4(1) Private Outdoor Spaces note added. New sanitaryware fittings shown.

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 18/05/2023	SCALE @ A3: 1 : 50	DRAWN BY: EA
---------------------	-----------------------	-----------------

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
Leyburn - Det

COINS REFERENCE:

DRWG No: LEY/DET/6-002	REV: C
---------------------------	-----------

## First Floor Compliance Plan

1 : 50

02/05/2025 14:42:11

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

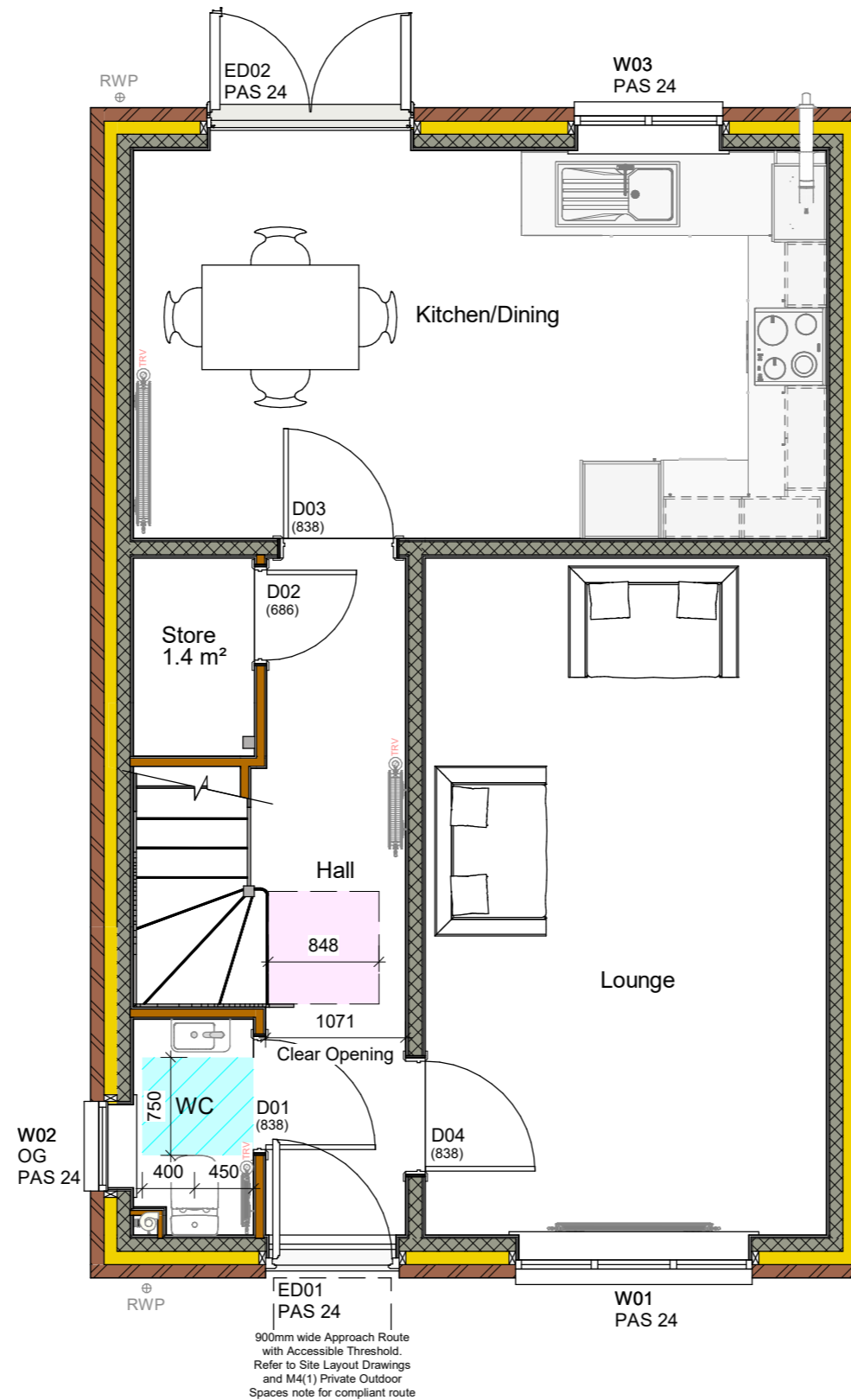
## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail on one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.



## Ground Floor Compliance Plan

1 : 50

NDSS AUDIT - Maltby		
3 bed 4 person (2 storey)		Min.
Gross Area	88.04 m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	11.6 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.27m	2.75m
Bed 2 Area	8.4 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.52m	2.15m
Bed 3 Area	8.3 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.33m	2.15m
Storage	2.5 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
D	02/05/2025	GK	Recup boing depth within WC amended. M4(1) Private Outdoor Spaces note added. 900mm wide 1:12 ramp replaced with 900mm wide approach route.
C	22/11/2024	GK	NDSS audit amended. M4(1) clearance zone note expanded. AD(K) compliance note added.
B	22/09/2023	BLK	M4(1) ramp added to principal entrance
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 18/05/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Maltby - Det**

COINS REFERENCE:

DRWG No:  
**MAL/6-001**

REV:  
**D**

30/04/2025 11:43:10

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)

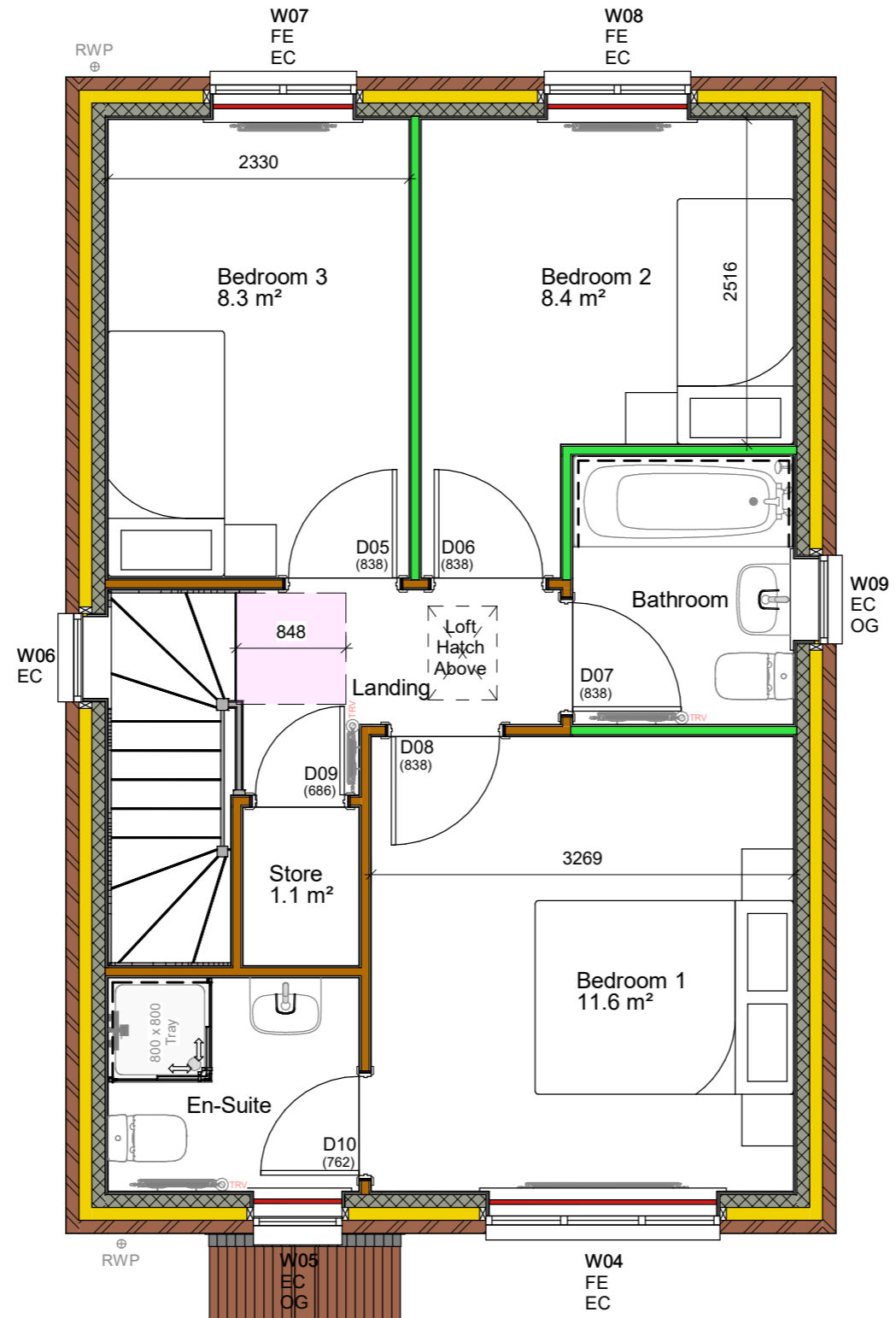
## M4(1) Private Outdoor Spaces

### Private / Alternative Entrance Approach Route

- 900mm min wide step free approach route with accessible threshold and a max 1:40 crossfall.
- Approach route to either be level (<1:60 gradient) gently sloping (between 1:60-1:20), ramped (gradient between 1:20 - 1:12) or externally stepped where unavoidable (site constraints).
- Externally stepped approach to have a rise between 75-150mm and a minimum going of 280mm (1800mm max flight rise between landings) with 900mm minimum landing to top and bottom, between flights and to any change in direction. Steps to be uniform with suitable tread nosings (refer to AD(K) Diagram 1.2). Flight with three or more risers to have suitable handrail to one side measuring 850-1000mm above the pitch line of the flight and extending 300mm beyond the top and bottom nosings.
- Ramped approach to have 5m max length with a gradient up to 1:12 and 10m max length with a gradient up to 1:15.
- All external ramps have min 1200mm long landing to top and bottom of each flight with an intermediate landing provided to any change of direction and clear of any door/gate swing.
- All paved areas to have suitable ground surface (e.g. firm, even smooth enough to be wheeled over).

### Car Parking Space

- Step free access between principal/alternative private entrance and associated parking spaces.
- Where driveway forms all, or part of the approach route, an additional 900mm min width is to be provided.



## First Floor Compliance Plan

1 : 50

NDSS AUDIT - Maltby		
3 bed 4 person (2 storey)		Min.
Gross Area	88.04 m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	11.6 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.27m	2.75m
Bed 2 Area	8.4 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.52m	2.15m
Bed 3 Area	8.3 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.33m	2.15m
Storage	2.5 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	02/05/2025	GK	M4(1) Private Outdoor Spaces note added.
B	22/11/2024	GK	NDSS audit amended. M4(1) clearance zone note expanded. AD(K) compliance note added.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 18/05/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**First Floor Compliance Plan**

HOUSE TYPE:  
**Maltby - Det**

COINS REFERENCE:

DRWG No:  
**MAL/6-002**

REV:  
**C**

30/04/2025 11:43:12

## M4(2) Clearance Zones



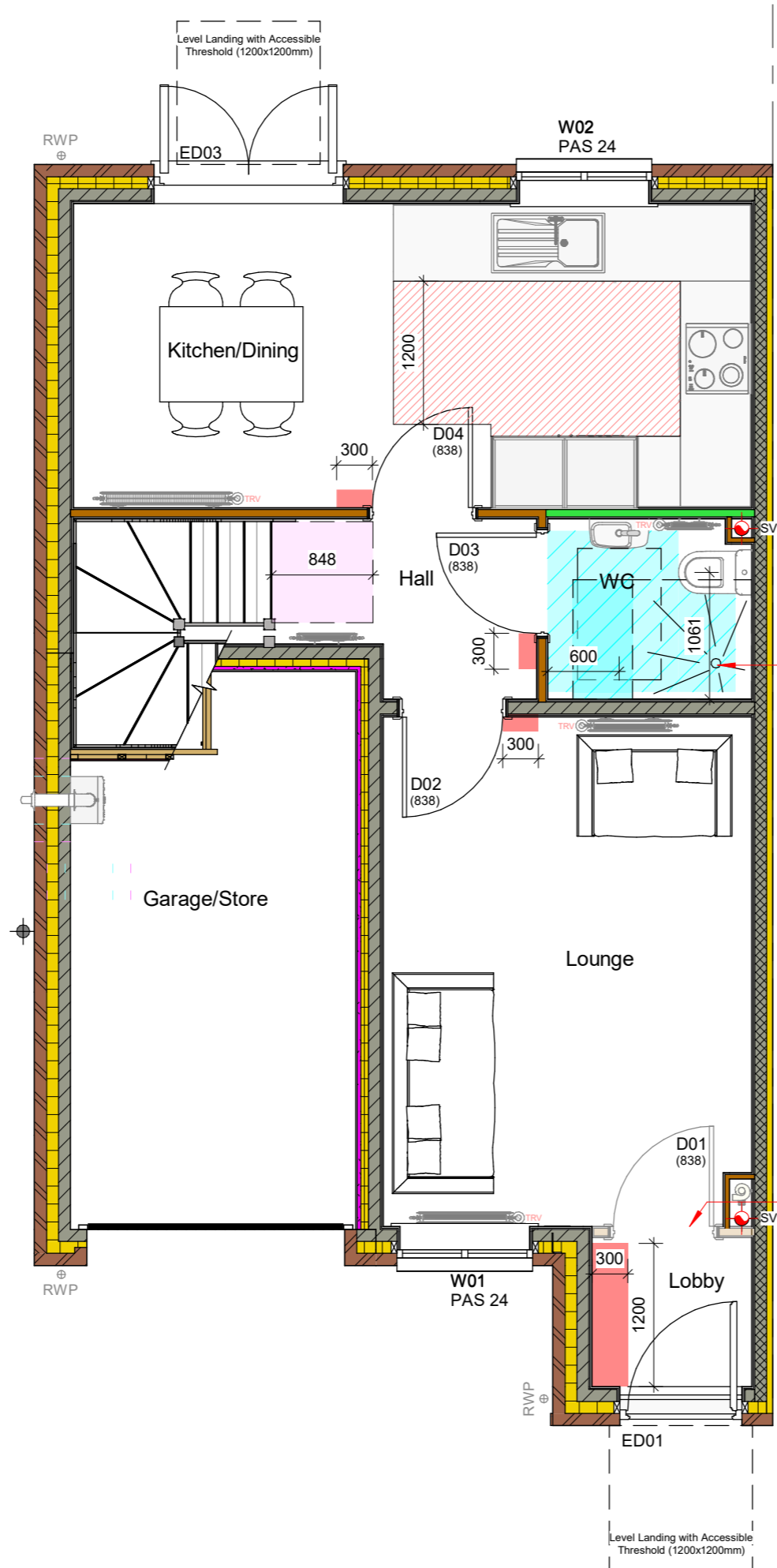
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



Denotes location of future shower. Capped off gully at floor level

For M4(2) Compliance Lobby stud wall and D01 are to be removed

### Uplift items required on plots to comply with Category M4(2)

- Level step free access to principal entrance to the dwelling and any associated parking spaces
- Parking space min. 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- ALL external doors to be 850mm clear opening width with Accessible Threshold (Max 15mm rise), 300mm nib to leading edge clear for 1200mm
- Window to main living space to have opening handle between 450mm and 1200mm above FFL. All other windows to be no higher than 1400mm
- ALL switches, sockets and controls to be minimum 300mm horizontally from an inside corner (including kitchens)
- 1 or 2 bed houses to have future shower provision in bathroom
- 3 bed and above to have future shower provision in Ground Floor WC
- ALL walls, ducts and boxings to WC and Bathroom to be lined with 12.5mm Plywood between 450 and 1600mm +FFL to accept future adaptations

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

### Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Oakwood		
3 bed 4 person (2 storey)	Min.	
Gross Area	99.26 m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	15.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.9m	2.75m
Bed 2 Area	8.6 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.49m	2.15m
Bed 3 Area	7.9 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.55m	2.15m
Storage	2.5 m <sup>2</sup>	2.5 m <sup>2</sup>

## Ground Floor Compliance Plan

1 : 50

A 17/07/2023 BLK First Issue		REV DATE BY AMENDMENTS	
<b>AVANT homes</b>			
<b>AV23 SPECIFICATION</b>			
<b>CONSTRUCTION</b>			
DATE: 14/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP	
DWG TITLE: <b>Ground Floor Compliance Plan</b>			
HOUSE TYPE: <b>Oakwood - Semi</b>			
COINS REFERENCE:			
DRWG No: <b>OAK/6-001</b>			REV: <b>A</b>

17/07/2023 21:43:31

### M4(2) Clearance Zones



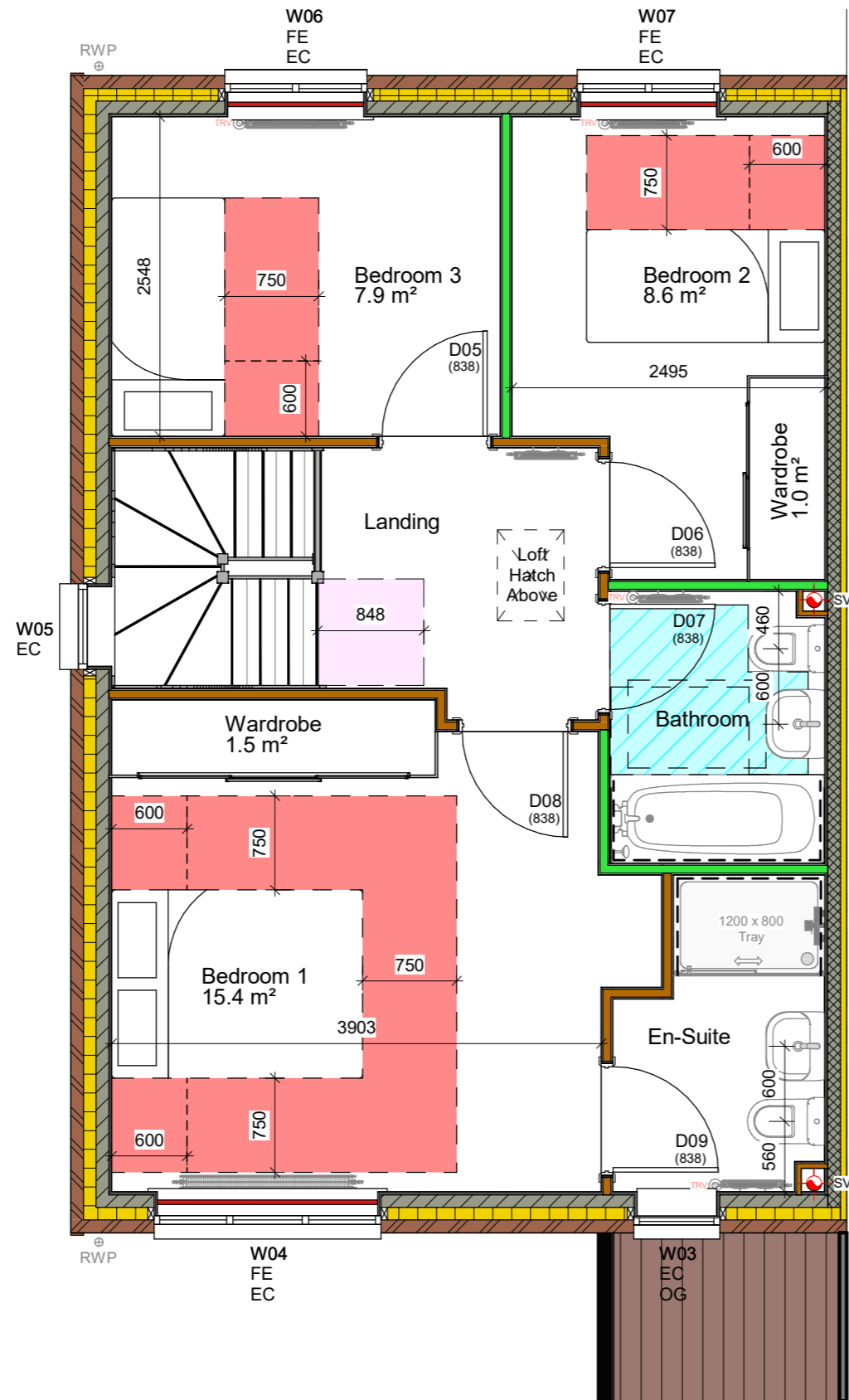
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



### Uplift items required on plots to comply with Category M4(2)

- Level step free access to principal entrance to the dwelling and any associated parking spaces
- Parking space min. 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- ALL external doors to be 850mm clear opening width with Accessible Threshold (Max 15mm rise), 300mm nib to leading edge clear for 1200mm
- Window to main living space to have opening handle between 450mm and 1200mm above FFL. All other windows to be no higher than 1400mm
- ALL switches, sockets and controls to be minimum 300mm horizontally from an inside corner (including kitchens)
- 1 or 2 bed houses to have future shower provision in bathroom
- 3 bed and above to have future shower provision in Ground Floor WC
- ALL walls, ducts and boxings to WC and Bathroom to be lined with 12.5mm Plywood between 450 and 1600mm +FFL to accept future adaptations

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

### Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Oakwood		
3 bed 4 person (2 storey)		Min.
Gross Area	99.26 m <sup>2</sup>	84 m <sup>2</sup>
Bed 1 Area	15.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.9m	2.75m
Bed 2 Area	8.6 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.49m	2.15m
Bed 3 Area	7.9 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.55m	2.15m
Storage	2.5 m <sup>2</sup>	2.5 m <sup>2</sup>

AVANT  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 14/07/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
First Floor Compliance Plan		
HOUSE TYPE: Oakwood - Semi		
COINS REFERENCE:		
DRWG No: OAK/6-002	REV: A	

## First Floor Compliance Plan

1 : 50

17/07/2023 21:43:33

## M4(1) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones

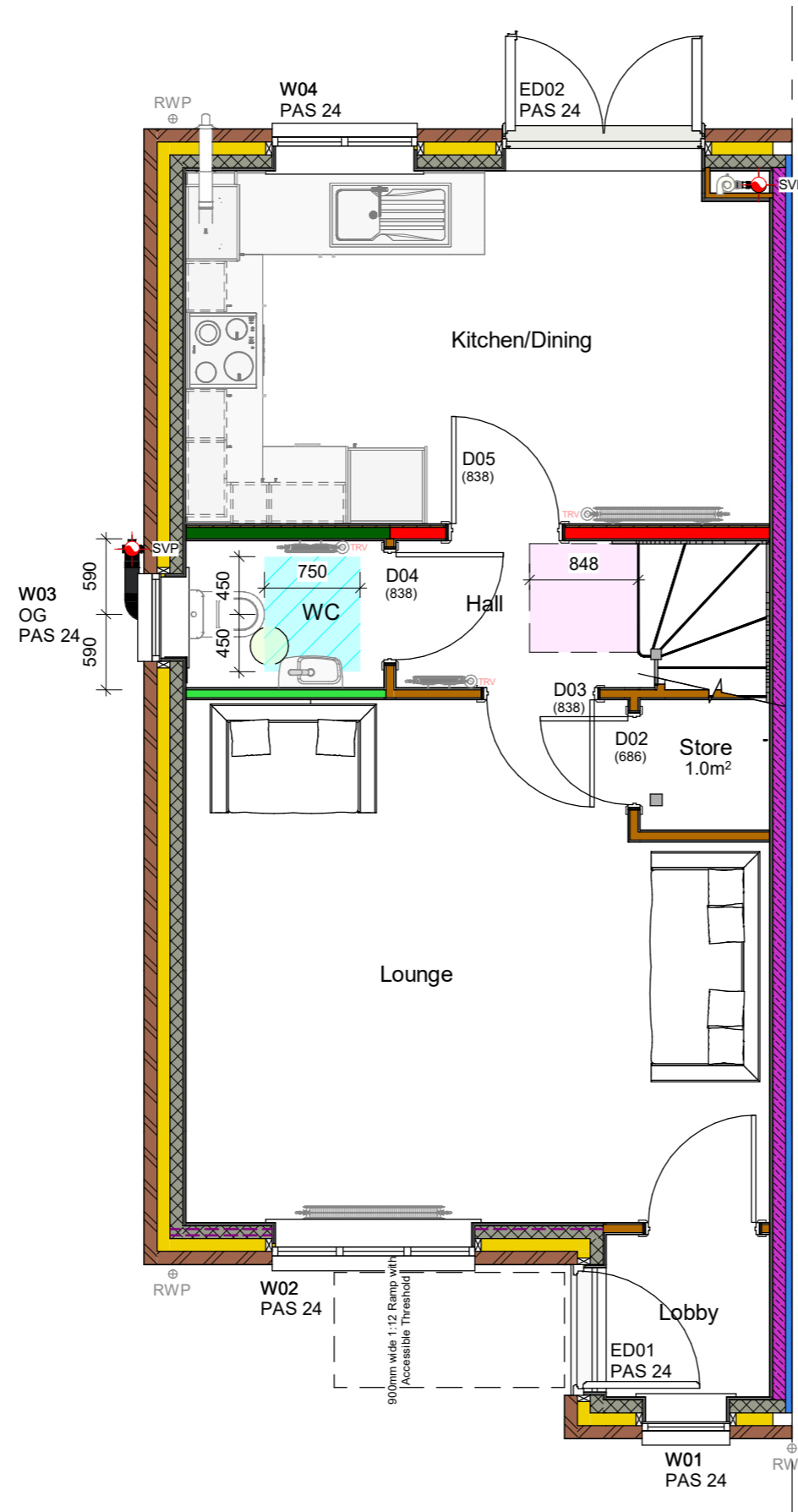


Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## Ground Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
D	17/01/2025	GK	Lobby now partitioned. NDSS audit Bed 1 width amended from 3.31m to 2.92m. NDSS audit Bed 2 width amended from 2.65m to 2.39m. W04 (Kitchen) window relocated 113mm East.
C	01/11/2024	GK	Wall colours changed to new key. NDSS Audit updated. Approved Document part K: Landings for Stairs note added.

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 23/06/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Ripley - End**

COINS REFERENCE:

DRWG No:  
**RIP/END/6-001**

REV:  
**D**

NDSS AUDIT - Ripley End		
		Min.
<b>2 bed 3 person (2 storey)</b>		
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.92m	2.75m
Bed 2 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.39m	2.15m
Storage	2 m <sup>2</sup>	2 m <sup>2</sup>

17/01/2025 10:48:06

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

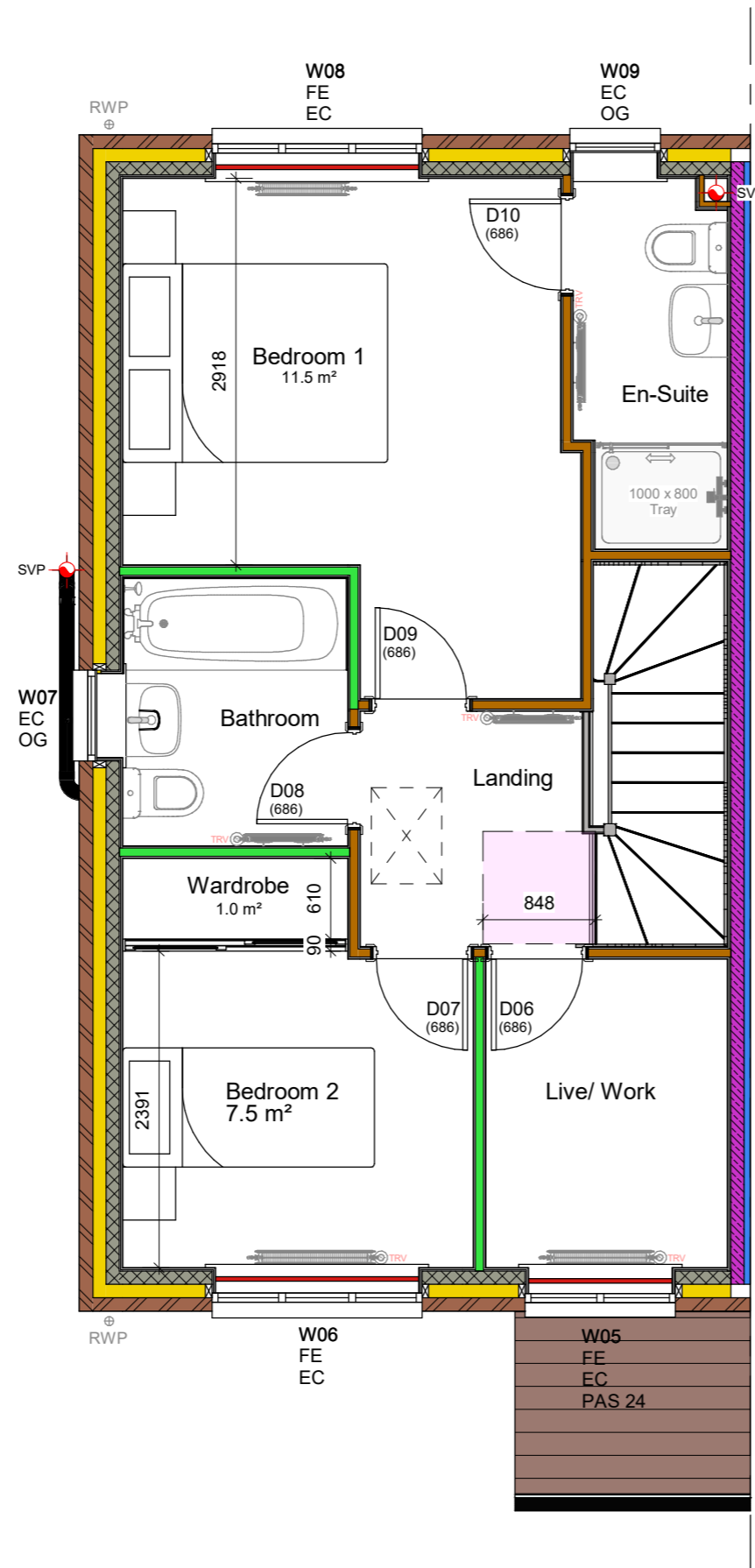
## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## First Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
D	17/01/2025	GK	NDSS audit Bed 1 width amended from 3.31m to 2.92m. NDSS audit Bed 2 width amended from 2.65m to 2.39m. Bed 2 Wardrobe now shown correctly with internal finish width dimensioned. W08 (Bedroom 1) window relocated 113mm East.
C	01/11/2024	GK	Wall colours changed to new key. NDSS Audit updated. Approved Document part K: Landings for Stairs note added.

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE:	SCALE @ A3:	DRAWN BY:
23/06/2023	1 : 50	GROUP

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
Ripley - End

COINS REFERENCE:

DRWG No:  
RIP/END/6-002

REV:  
D

Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Ripley End		
2 bed 3 person (2 storey)		Min.
Gross Area	75.08 m <sup>2</sup>	70 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	2.92m	2.75m
Bed 2 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.39m	2.15m
Storage	2 m <sup>2</sup>	2 m <sup>2</sup>

17/01/2025 10:48:08

### M4(1) Clearance Zones



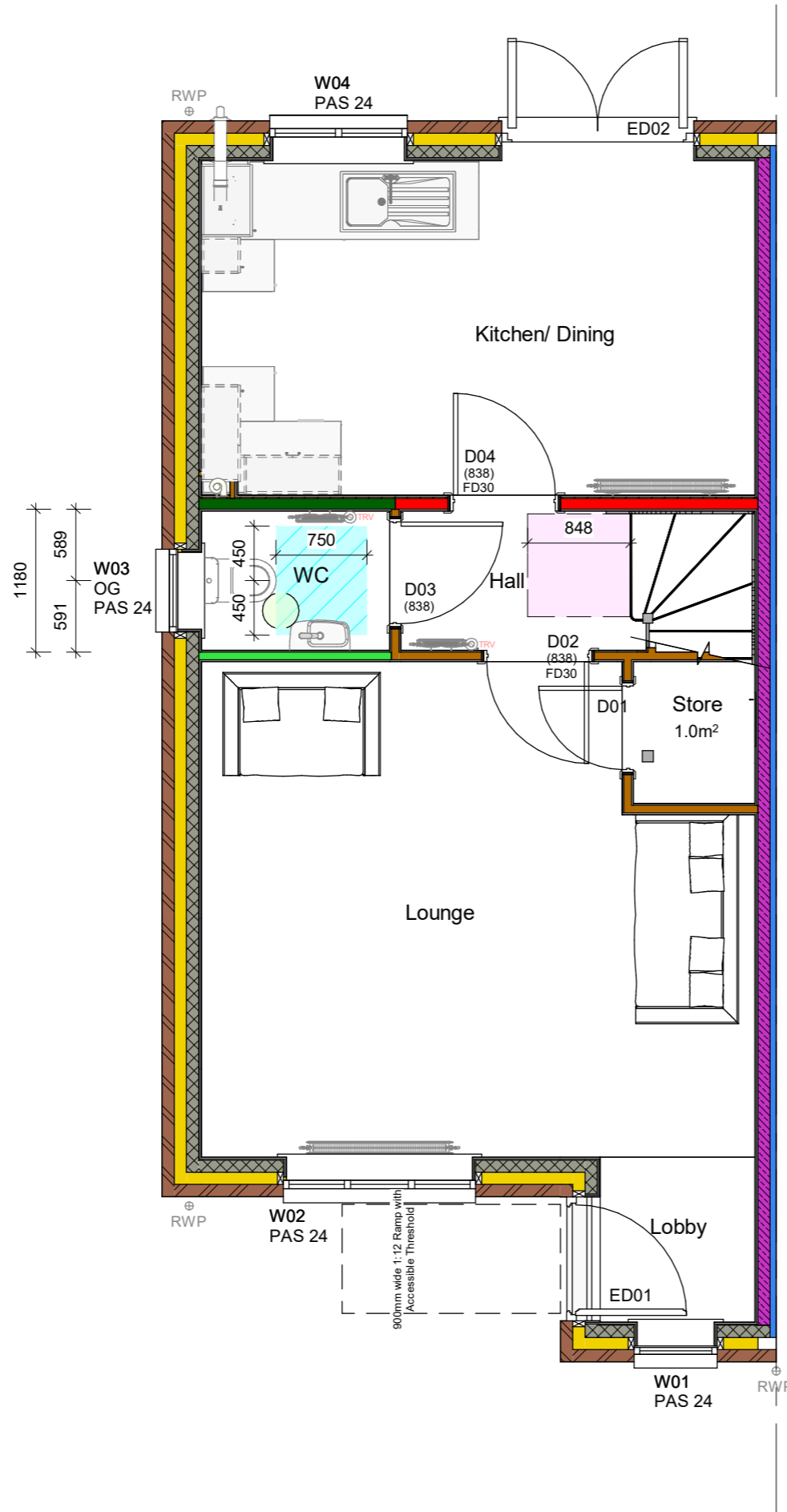
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### Ground Floor Compliance Plan

1 : 50

NDSS AUDIT - S3.1 End		
3 bed 5 person (3 storey)		Min.
Gross Area	103.37 m <sup>2</sup>	99 m <sup>2</sup>
Bed 1 Area	16m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.42m	2.75m
Bed 2 Area	12.8 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	2.79m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.65m	2.15m
Storage	6.7 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Bed 2 shown as double bed. NDSS amended to 3b5p. D08 (Store) door handed. WWHR relocated to Kitchen. Wall colours changed to new key
A	04/09/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 23/06/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**S3.1- End**

COINS REFERENCE:

DRWG No: <b>S3.1/END/6-001</b>	REV: <b>B</b>
-----------------------------------	------------------

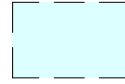
22/07/2024 14:38:36

### M4(1) Clearance Zones



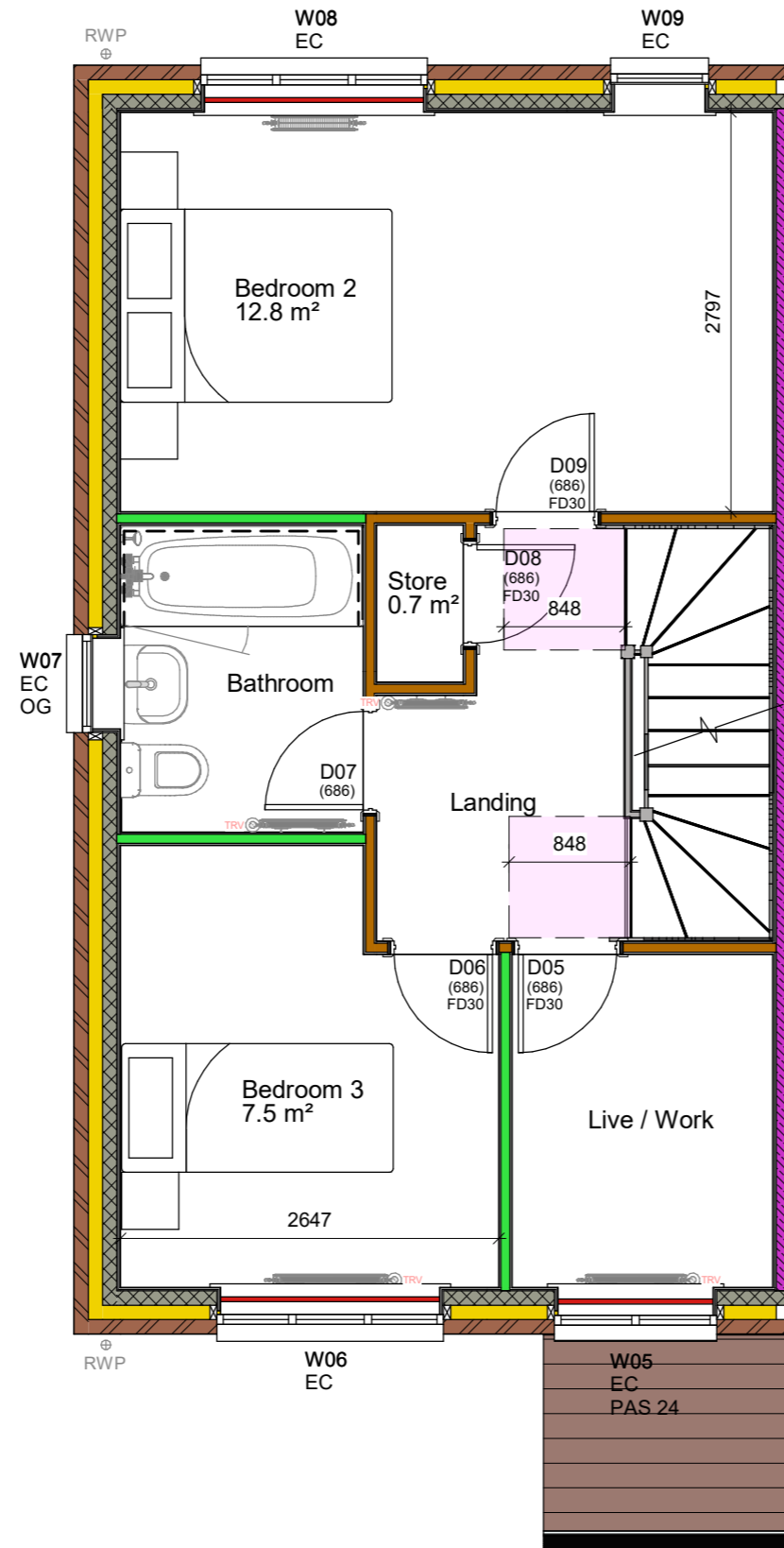
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### First Floor Compliance Plan

1 : 50

NDSS AUDIT - S3.1 End		
3 bed 5 person (3 storey)		Min.
Gross Area	103.37 m <sup>2</sup>	99 m <sup>2</sup>
Bed 1 Area	16m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.42m	2.75m
Bed 2 Area	12.8 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	2.79m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.65m	2.15m
Storage	6.7 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Bed 2 shown as double bed. NDSS amended to 3b5p. D08 (Store) door handed. WWHR relocated to Kitchen. Wall colours changed to new key
A	04/09/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 23/06/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**First Floor Compliance Plan**

HOUSE TYPE:  
**S3.1- End**

COINS REFERENCE:

DRWG No: <b>S3.1/END/6-002</b>	REV: <b>B</b>
-----------------------------------	------------------

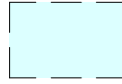
22/07/2024 14:38:38

### M4(1) Clearance Zones



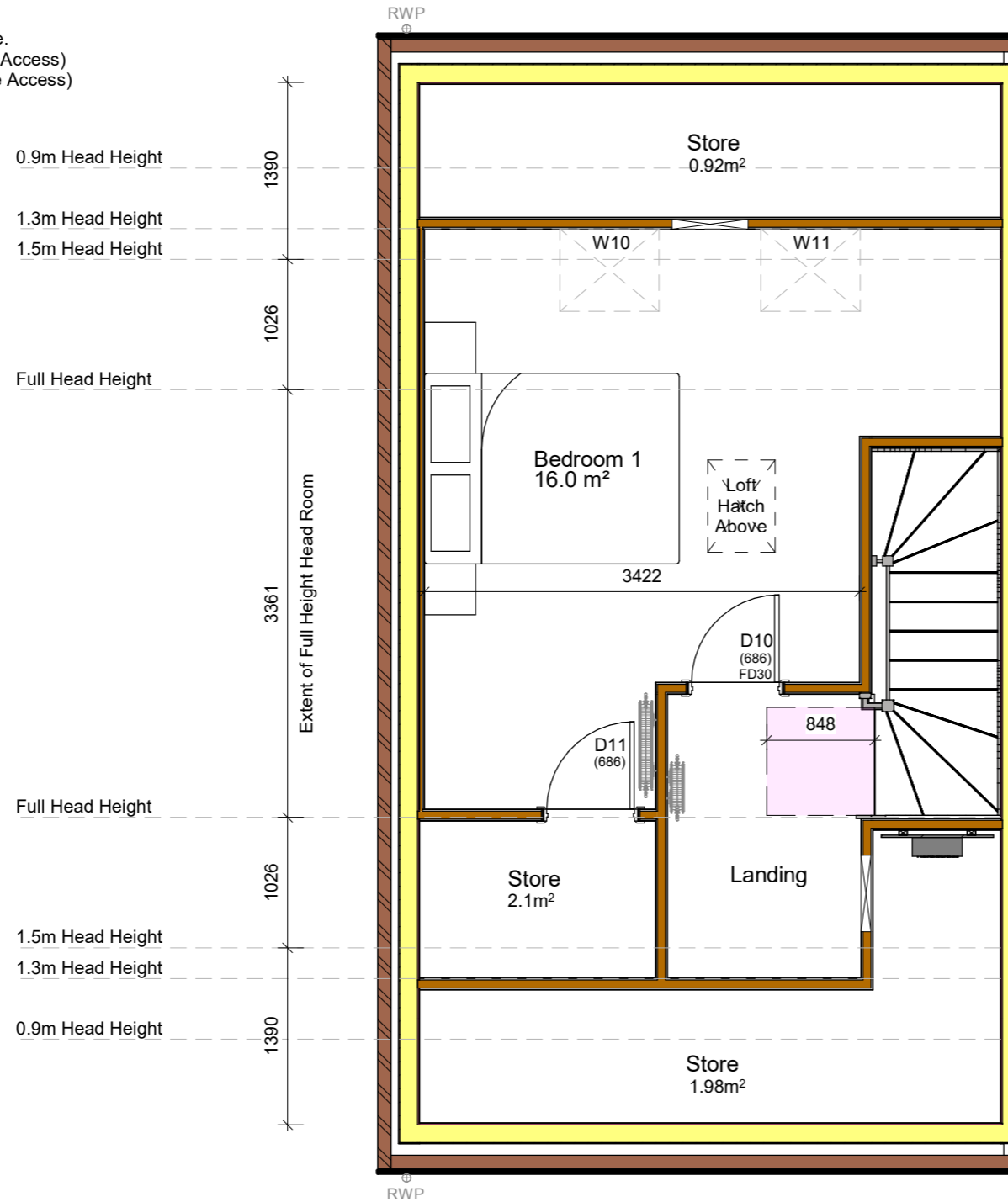
Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)



### Second Floor Compliance Plan

1 : 50

NDSS AUDIT - S3.1 End		
3 bed 5 person (3 storey)		Min.
Gross Area	103.37 m <sup>2</sup>	99 m <sup>2</sup>
Bed 1 Area	16m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.42m	2.75m
Bed 2 Area	12.8 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	2.79m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.65m	2.15m
Storage	6.7 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Bed 2 shown as double bed. NDSS amended to 3b5p. Wall corrected to accurately show NTS spandrel panels and eaves panel wall
A	04/09/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 23/06/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Second Floor Compliance Plan**

HOUSE TYPE:  
**S3.1- End**

COINS REFERENCE:

DRWG No:  
**S3.1/END/6-003**

REV:  
**B**

22/07/2024 14:38:38

### M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

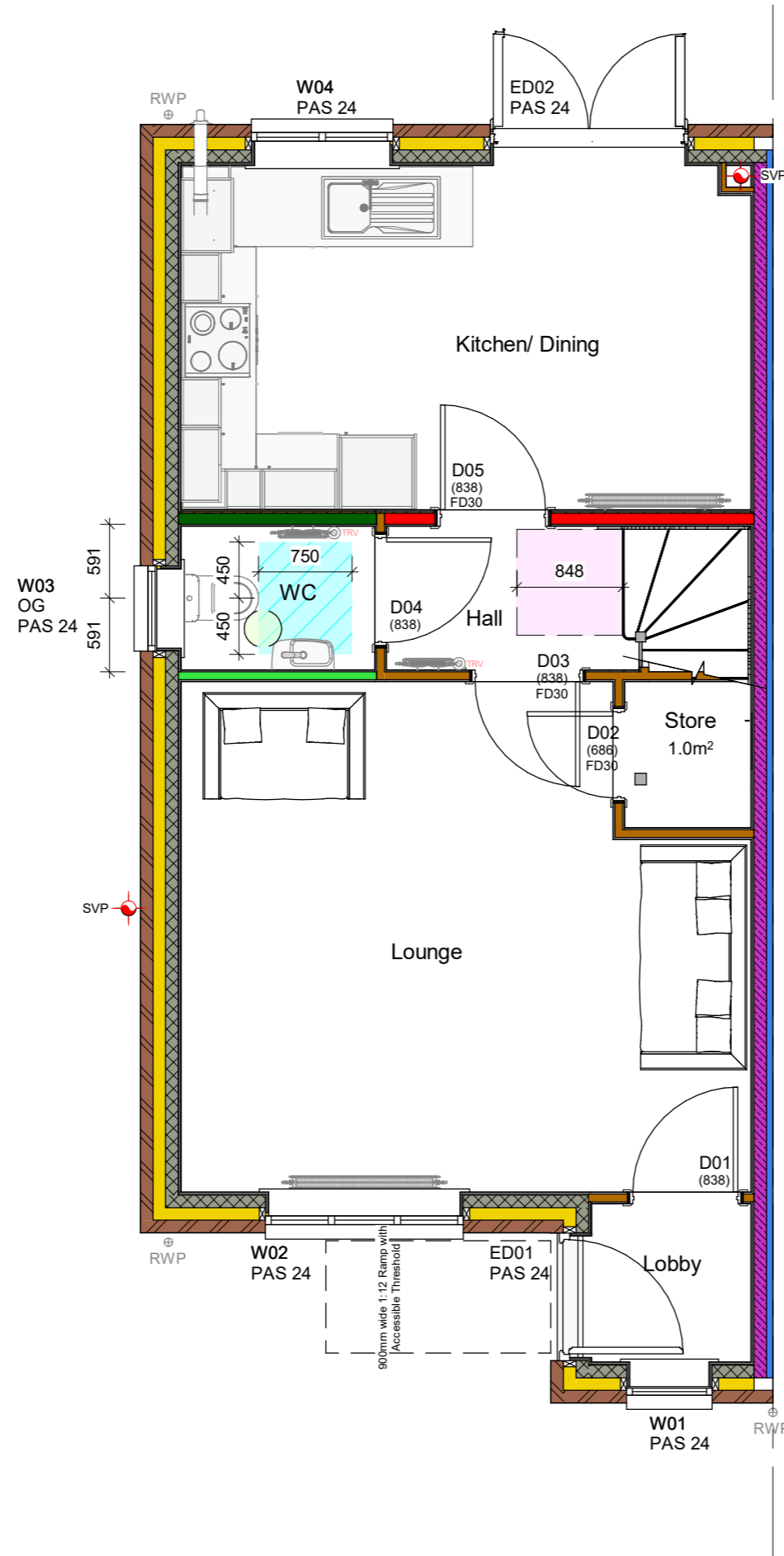
### AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## Ground Floor Compliance Plan

1 : 50

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	14/02/2025	SK	M4(1) clearance zone note amended. AD(K1) clearance zone note added. NDSS Audit renamed Salisbury with Bed 1 width reduced from 3.47 to 3.42 and storage amended to 4.7m2
B	29/09/2023	BLK	M4(1) ramp added to principal entrance. 300mm dia. max access zone shown between WC and HRB, NDSS storage area amended
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

### AV23 SPECIFICATION

### CONSTRUCTION

DATE:	SCALE @ A3:	DRAWN BY:
23/06/2023	1 : 50	GROUP

DWG TITLE:  
**Ground Floor Compliance Plan**

HOUSE TYPE:  
**Salbury - End**

COINS REFERENCE:

DRWG No:  
**SAL/END/6-001**

REV:  
**C**

NDSS AUDIT - Salbury End		
3 bed 4 person (3 storey)		Min.
Gross Area	103.37 m <sup>2</sup>	90 m <sup>2</sup>
Bed 1 Area	13.9 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.42m	2.75m
Bed 2 Area	9.3 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.79m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.65m	2.15m
Storage	4.7 m <sup>2</sup>	2.5 m <sup>2</sup>

14/02/2025 11:22:43

## M4(1) Clearance Zones



- Clear Access Zone Requirements.
- 1500 dia to Bathroom
  - 650 dia to WHB
  - 300 dia knee room to WHB



- AD Part M4(1) WC Access Zone.
- 900 wide x 750 deep (Frontal Access)
  - 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

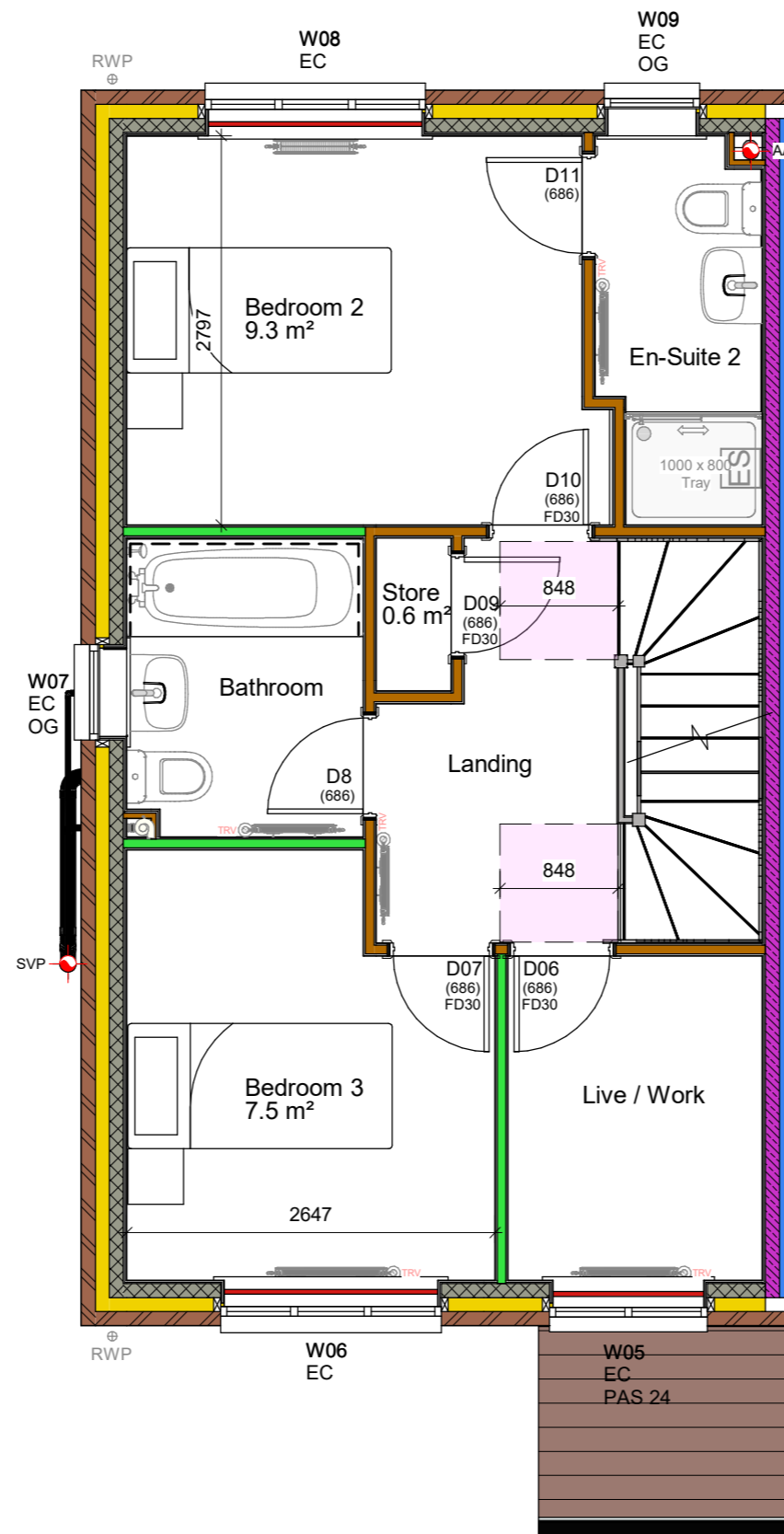
## AD(K1) Clearance Zones



- Landing Clear Access Zone.
- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## First Floor Compliance Plan

1 : 50

NDSS AUDIT - Salisbury End		
3 bed 4 person (3 storey)		Min.
Gross Area	103.37 m <sup>2</sup>	90 m <sup>2</sup>
Bed 1 Area	13.9 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.42m	2.75m
Bed 2 Area	9.3 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.79m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.65m	2.15m
Storage	4.7 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	14/02/2025	GK	M4(1) clearance zone note amended. AD(K1) clearance zone note added. NDSS Audit renamed Salisbury with Bed 1 width reduced from 3.47 to 3.42 and storage amended to 4.7m <sup>2</sup>
B	29/09/2023	BLK	NDSS storage area amended
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 23/06/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
First Floor Compliance Plan

HOUSE TYPE:  
Salbury - End

COINS REFERENCE:

DRWG No: SAL/END/6-002	REV: C
---------------------------	-----------

14/02/2025 11:22:45

## M4(1) Clearance Zones



Clear Access Zone Requirements.

- 1500 dia to Bathroom
- 650 dia to WHB
- 300 dia knee room to WHB



AD Part M4(1) WC Access Zone.

- 900 wide x 750 deep (Frontal Access)
- 850 wide x 750 deep (Oblique Access)

### Clear Opening Widths

- Principal private or alternative entrance to have 775 minimum clear opening width and accessible threshold.
- All internal doors to have following minimum clear opening width:
  - 750 or wider - for 900 clear corridor width (head-on)
  - 750 - for 1200 clear corridor width (not head-on)
  - 775 - for 1050 clear corridor width (not head-on)
  - 800 - for 900 clear corridor width (not head-on)
- Hallway or landing to have 900 minimum clear opening width (reduced to 750 min for localised obstructions for 2000 max length)
- Localised obstructions not permitted opposite or close to a doorway.

## AD(K1) Clearance Zones

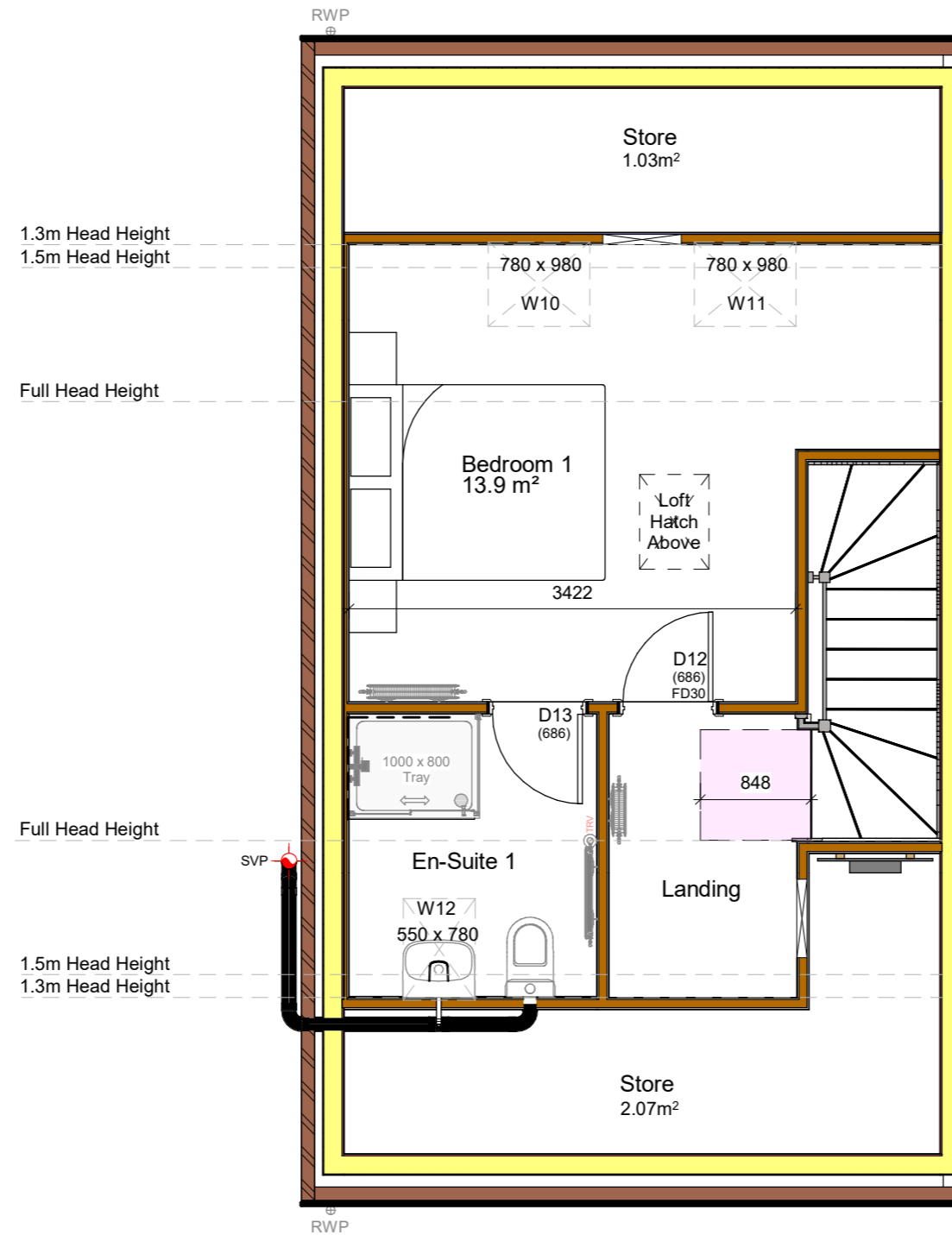


Landing Clear Access Zone.

- Width and depth of all landings at the top and bottom of every flight to be as great as the smallest width of the flight

### AD(K1) Landings for Stairs

- Kept clear of permanent obstructions.
- 400mm min clearance from door swing to bottom of landings.
- 400mm min clearance from door swing to top of landings (cupboards, ducts ONLY)



## Second Floor Compliance Plan

1 : 50

NDSS AUDIT - Salbury End		
3 bed 4 person (3 storey)		Min.
Gross Area	103.37 m <sup>2</sup>	90 m <sup>2</sup>
Bed 1 Area	13.9 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.42m	2.75m
Bed 2 Area	9.3 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 2 Width	2.79m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.65m	2.15m
Storage	4.7 m <sup>2</sup>	2.5 m <sup>2</sup>

This Housetype is compliant with NDSS

REV	DATE	BY	AMENDMENTS
C	14/02/2025	GK	M4(1) clearance zone note amended. AD(K1) clearance zone note added. NDSS Audit renamed Salbury with Bed 1 width reduced from 3.47 to 3.42 and storage amended to 4.7m <sup>2</sup>
B	29/09/2023	BLK	NDSS storage area amended
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE: 23/06/2023	SCALE @ A3: 1 : 50	DRAWN BY: GROUP
---------------------	-----------------------	--------------------

DWG TITLE:  
**Second Floor Compliance Plan**

HOUSE TYPE:  
**Salbury - End**

COINS REFERENCE:

DRWG No:  
**SAL/END/6-003**

REV:  
**C**

14/02/2025 11:22:46

## M4(2) Clearance Zones



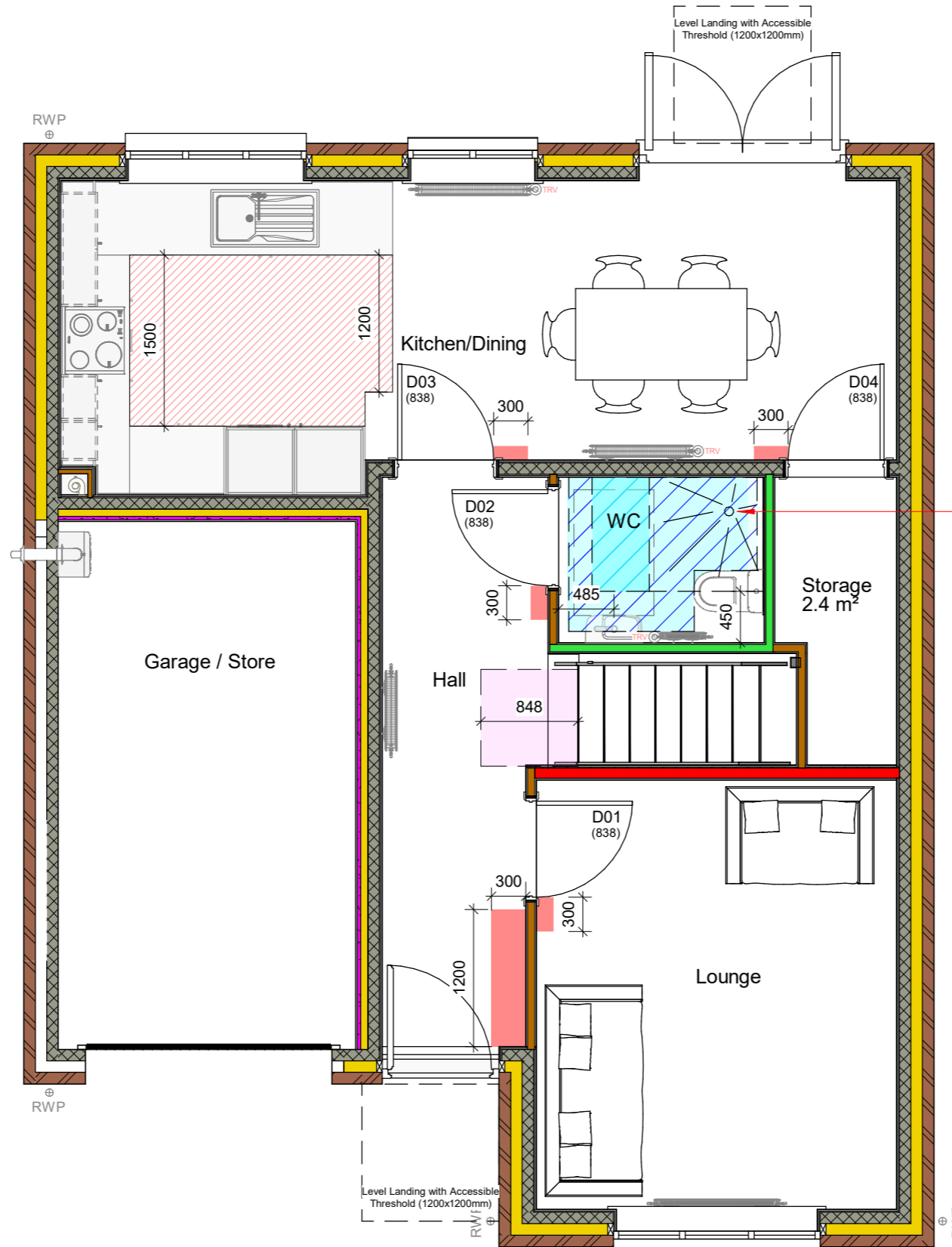
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



Denotes location of future shower. Capped off gulley at floor level

### Uplift items required on plots to comply with Category M4(2)

- Level step free access to principal entrance to the dwelling and any associated parking spaces
- Parking space min. 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- ALL external doors to be 850mm clear opening width with Accessible Threshold (Max 15mm rise), 300mm nib to leading edge clear for 1200mm
- Window to main living space to have opening handle between 450mm and 1200mm above FFL. All other windows to be no higher than 1400mm
- ALL switches, sockets and controls to be minimum 300mm horizontally from an inside corner (including kitchens)
- 1 or 2 bed houses to have future shower provision in bathroom
- 3 bed and above to have future shower provision in Ground Floor WC
- ALL walls, ducts and boxings to WC and Bathroom to be lined with 12.5mm Plywood between 450 and 1600mm +FFL to accept future adaptations

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Stairwell opening offset 3900 from front elevation, stair opening width amended to 1045mm. Bedroom 2 increased 34mm in length. Bath SVP relocated to allow improved connection to WC. Hatch and colour change for wall legend.
A	17/07/2023	BLK	First Issue

**AVANT**  
homes

AV23 SPECIFICATION

CONSTRUCTION

DATE:	SCALE @ A3:	DRAWN BY:
12/07/2023	1 : 50	GROUP

DWG TITLE:  
Ground Floor Compliance Plan

HOUSE TYPE:  
Wentbridge - Det

COINS REFERENCE:

DRWG No:  
WEN/6-001

REV:

B

NDSS AUDIT - Wentbridge		
4 bed 6 person (2 storey)		Min.
Gross Area	106.35 m <sup>2</sup>	106 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	13.2 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	3.15m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.43m	2.15m
Bed 4 Area	9.0 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 4 Width	2.53m	2.15m
Storage	3.2 m <sup>2</sup>	3.0 m <sup>2</sup>

## Ground Floor Compliance Plan

1 : 50

22/07/2024 15:38:27

## M4(2) Clearance Zones



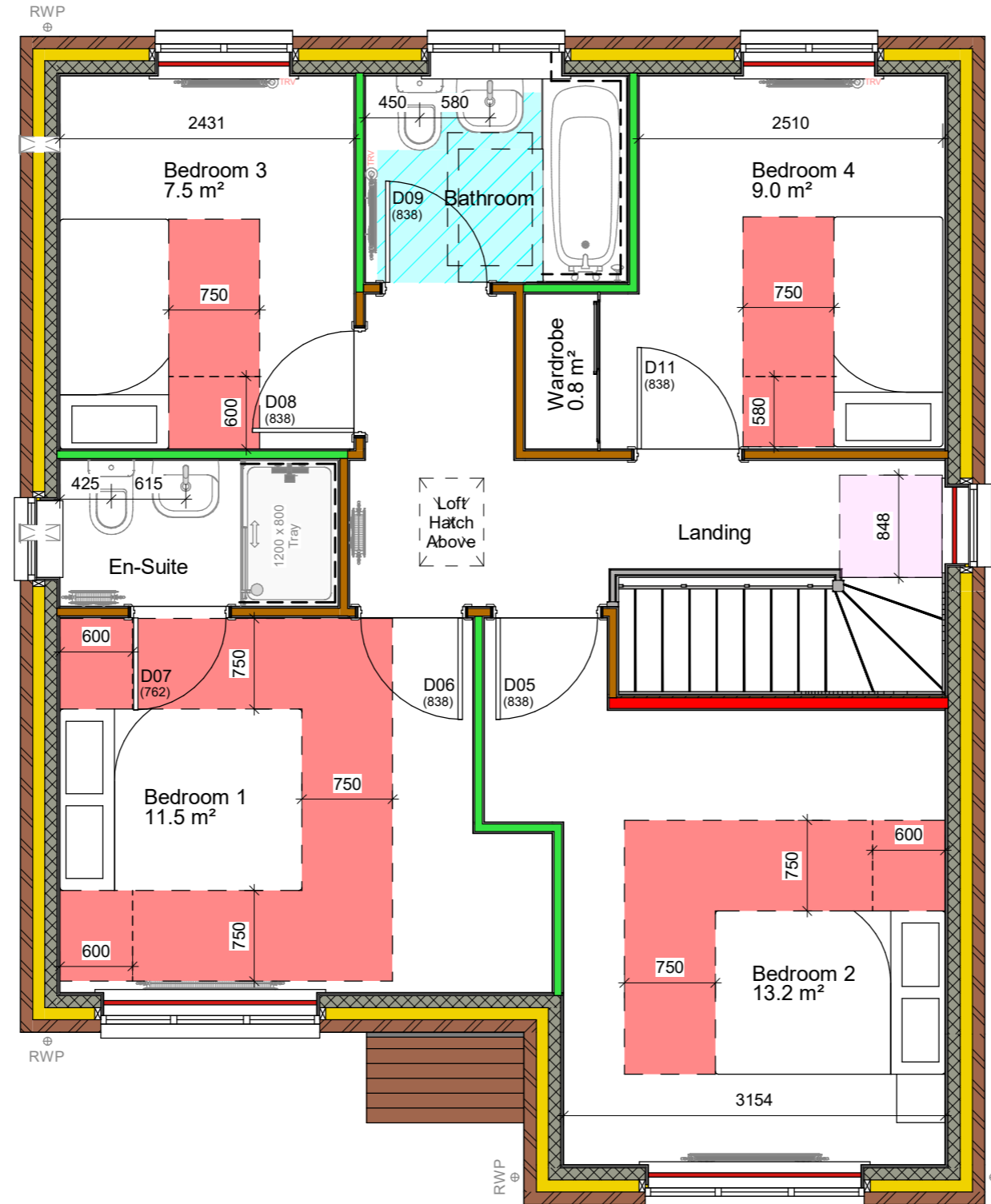
Clear Access Zone Requirements.  
 • 1500 dia to Bathroom (Potential Level Access Shower Only)



AD Part M4(2) Sanitary Access Zone.  
 • WC 1350 wide x (1100+WC depth)  
 • WHB 700 wide x 1100 deep  
 • Bath 1100 wide x 700 deep  
 • Shower 1000 wide x 500 deep



AD Part M4(2) General Access Zone.  
 • Principal entrance 1200 x 300  
 • Leading edge nib 300 (GF only)  
 • Kitchen units 1200 deep  
 • Bedrooms 750 to beds



### Uplift items required on plots to comply with Category M4(2)

- Level step free access to principal entrance to the dwelling and any associated parking spaces
- Parking space min. 2.4m wide x 4.8m long capable of being increased to 3.3m wide
- ALL external doors to be 850mm clear opening width with Accessible Threshold (Max 15mm rise), 300mm nib to leading edge clear for 1200mm
- Window to main living space to have opening handle between 450mm and 1200mm above FFL. All other windows to be no higher than 1400mm
- ALL switches, sockets and controls to be minimum 300mm horizontally from an inside corner (including kitchens)
- 1 or 2 bed houses to have future shower provision in bathroom
- 3 bed and above to have future shower provision in Ground Floor WC
- ALL walls, ducts and boxings to WC and Bathroom to be lined with 12.5mm Plywood between 450 and 1600mm +FFL to accept future adaptations

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

### Fitted Wardrobes Required for NDSS Storage Compliance

NDSS AUDIT - Wentbridge		
4 bed 6 person (2 storey)		Min.
Gross Area	106.35 m <sup>2</sup>	106 m <sup>2</sup>
Bed 1 Area	11.5 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 1 Width	3.1m	2.75m
Bed 2 Area	13.2 m <sup>2</sup>	11.5 m <sup>2</sup>
Bed 2 Width	3.15m	2.15m
Bed 3 Area	7.5 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 3 Width	2.43m	2.15m
Bed 4 Area	9.0 m <sup>2</sup>	7.5 m <sup>2</sup>
Bed 4 Width	2.53m	2.15m
Storage	3.2 m <sup>2</sup>	3.0 m <sup>2</sup>

## First Floor Compliance Plan

1 : 50

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Stairwell opening offset 3900 from front elevation, stair opening width amended to 1045mm. Bedroom 2 increased 34mm in length. Bath SVP relocated to allow improved connection to WC. Hatch and colour change for wall legend.
A	17/07/2023	BLK	First Issue

**AV23 SPECIFICATION**

**CONSTRUCTION**

DATE:	SCALE @ A3:	DRAWN BY:
12/07/2023	1 : 50	GROUP

DWG TITLE:  
**First Floor Compliance Plan**

HOUSE TYPE:  
**Wentbridge - Det**

COINS REFERENCE:

DRWG No:	REV:
<b>WEN/6-002</b>	<b>B</b>

22/07/2024 15:38:29