

Far Westhorpe Farm
Heritage Statement
Historic Barns -
Work to the roof covering and
external walls etc
24-001-303

Revision B – Issued for approval 18-02-26



robin ashley architects
Hawk Works 105 Mary St
Sheffield S1 4RT
0114 258 7450
contact@raarchitects.co.uk
www.raarchitects.co.uk

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Introduction:

A Design and Access Statement and a Heritage Impact Assessment are both important parts of applications for planning approval which involve heritage assets - in this case listed buildings.

Each document should be independent of the other but will necessarily cover much of the same subject matter, so some duplication between the two should not be unexpected.

This Heritage Impact Assessment is submitted in accordance with the requirements of both local adopted policy as noted below and paragraph 200 of the NPPF, and has been produced in accordance with the guidance in 'The Setting of Heritage Assets – Historic Environment Good Practice Advice Planning Note 3 (Second Edition)' (Historic England, December 2017).

Drawings shown in this Heritage Impact Assessment are not necessarily to scale, and reference should be made to the submission drawings where this is critical - which are within the limits defined above.

Where plans of the same building have been juxtaposed, the convention of showing the upper storey above the lower on the page has been followed generally.

Unless otherwise noted, photographs and drawings / extracts from drawings are by Robin Ashley Architects, who retain copyright.

Front cover : The south elevation of the historic barns.

Rear cover : Original front door to the farm house .

National planning policy:

The National Planning Policy Framework (NPPF) is a material consideration in the determination of applications for planning approval and listed building consent. The parts of the NPPF which are specifically relevant to this application, include:

Paragraph 8, place emphasis on sustainable development, including the protection and enhancement of the historic environment.

Paragraphs 41 + 42 et seq emphasise the importance of proactive engagement by the LPA with the application and the pre-application discussions.

Paragraph 135 requires that planning decisions ensure good quality design which will be visually attractive, sympathetic to the local character and history etc.

Paragraph 203 requires that plans that should have a positive strategy to preserve the historic environment and prevent deterioration of existing buildings.

An assessment of the effect of the proposals on heritage assets is required by paragraph 207, and paragraph 210 requires account to be taken of the need to sustain and enhance the significance of heritage assets and putting them to viable uses consistent with their conservation, etc.

Paragraph 212 et seq require weight to be placed upon the conservation of the heritage asset, and justification of any harm.

Paragraph 215 states that if a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Local Planning Policy :

Locally adopted policy relating to the Historic Environment includes the following:

Policy HE1 - The Historic Environment:

Covers development affecting heritage assets; including conservation areas, listed buildings, archaeological sites and ancient monuments.

Policy HE2 - Heritage Statements and general application procedure:

Provides general guidance on heritage statements and also the submission of outline applications.

Policy HE3 - Developments affecting Historic Buildings:

Requires proposals involving additions or alterations to Listed Buildings or buildings of evident historic significance such as locally listed buildings (or their setting) to seek to conserve and where appropriate enhance that building's significance. Proposals will be expected to respect historic precedents of scale, form, massing, architectural detail and the use of appropriate materials that contribute to the special interest of a building and also capitalise on opportunities to better reveal the significance of a building where elements exist that detract from its special interest.

Policy H4 relates to Developments affecting Historic Areas or Landscapes but is not relevant to these proposals.

Policy HE5 - Demolition of Historic Buildings.

Including the partial demolition of a Listed Building.

Policy HE6 - Archaeology:

This unlikely to be relevant to these proposals unless otherwise advised by the LPA.

The LPA also have a Supplementary Planning Document for Barn Conversions, which was adopted in May 2019.

The Application Site:

Far Westhorpe Farm is located approximately one mile to north of the town on Penistone, and five miles from the centre of Barnsley to the east. Access is by Well House Lane, which is a single track lane leading from the south and the junction with the A629 Huddersfield Road.

The farm comprises 45 acres (18.2 hectares) of mixed farmland, at the centre of which is the group of buildings which make up the application site.

The boundary of the application site is confined to the edge of the area where development is already established and is shown in Figure 2 below, enclosing approximately 0.33 hectares / 3352 sqm.

The aerial photography shown in Figures 3 and 4 shows the site in different levels of detail and circled in white.

A topographic survey of the site was carried out in March 2025, and a measured survey of the buildings was carried out slightly after. The site falls quite steeply from south to north, from approx. +233m AOD to +227m,(6m) although there is also a cross fall from west down to east of around 1m.



Figure 1 (left) - extent of the boundary of the agricultural land at Far Westhorpe Farm

Figure 2 (right - top) - small scale aerial photography with the application site circled in white (Source - Apple Maps)

Figure 3 (right - middle) - large scale aerial photography with the application site circled in white (Source - Apple Maps)

Figure 4 (right - lower) - Extract from submission drawing 24-001-33 showing the application boundary shown in red. (Source: Ordnance Survey + RAA LLP)

Figure 5 (right - bottom) - Extract from submission drawing 24-001-34 showing the topographic survey. (Source: Dom Latham + RAA LLP)

Within the application boundary, there are 14 existing buildings which were originally related to the farming use. As there are quite a number of buildings, it is useful to identify them by number, and the numbering shown below is consistent with the pre-submission document previously issued and discussed below:

	Building
1	Existing cottage
2	Side extension to cottage
3	Garage
4	Shed
5	Shed
6	Shed
7	Historic Barn
8	Historic Barn
9	Recent Barn
10	Recent Barn (+ animal stalls)
11	Recent Barn
12	Link
13	Recent Barn
14	Recent Barn

Table 1 Buildings identified by number

They form a group centred on yard, reflecting the development of the farm since the time of construction, noted below as the early C18, and in a manner intended to make the hard labour of upland farming as easy as possible.

In addition there is a walled garden of around 47 sqm to the south of the cottage and an enclosure for a gas storage tank.

Although the land at Far Westhorpe is still actively farmed the buildings have not been used for agricultural purposes in recent times, and some are in need of repair. The cottage, however, has been used for residential purposes up until relatively recently. They are shown more detail in the extracts from drawings and the photographs below.

Two listing notices apply to the existing buildings on site, although the same level of protection applies to all the buildings within the curtilage, which in this case is taken to be the application boundary.



Figure 6 (top) - Location of buildings identified by number in **Table 1** above.

Both are Grade ii, as follows:

1192110 “Far Westhorpe Farmhouse”
 (#1 the cottage)

1151797 “Barn approximately 20 metres west of
 Far Westhorpe Farmhouse”
 (#7+8 Historic Barns)

And listing notice 1151797 is incorporated into the appendix below. This identifies the buildings as dating from the early C18, describing it as,

“Coursed, squared rubble, part rendered. Asbestos roof. 4 internal bays. Square-headed cart entry to bay 2. Chamfered entrance to right. Two small round-arched lights at high level. similar lights below altered with larger casements. Le bay may be rebuilt. Rear: opposing square-headed cart entry. Interior: 3 principal rafter trusses with queen struts and large-scantling tie-beams. Included for group value.”

The LPA’s website does not identify any applications related to the site, despite the quite extensive extensions and alterations to the cottage. However it is likely that recent barn #9 predates the implementation of the 1947 planning act.

Plans and elevations of key buildings :
Historic Barns (#7 + #8)

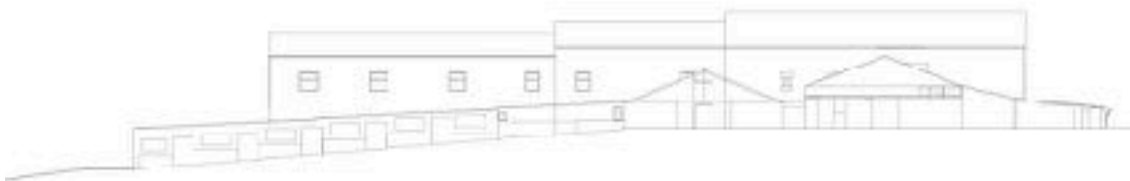
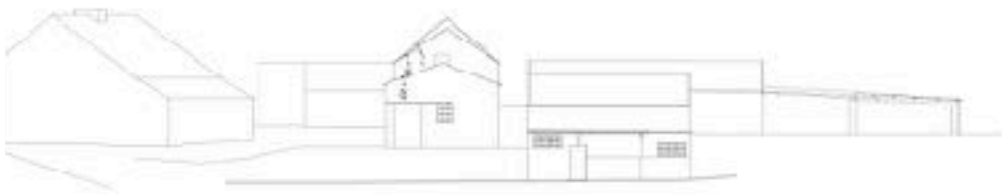
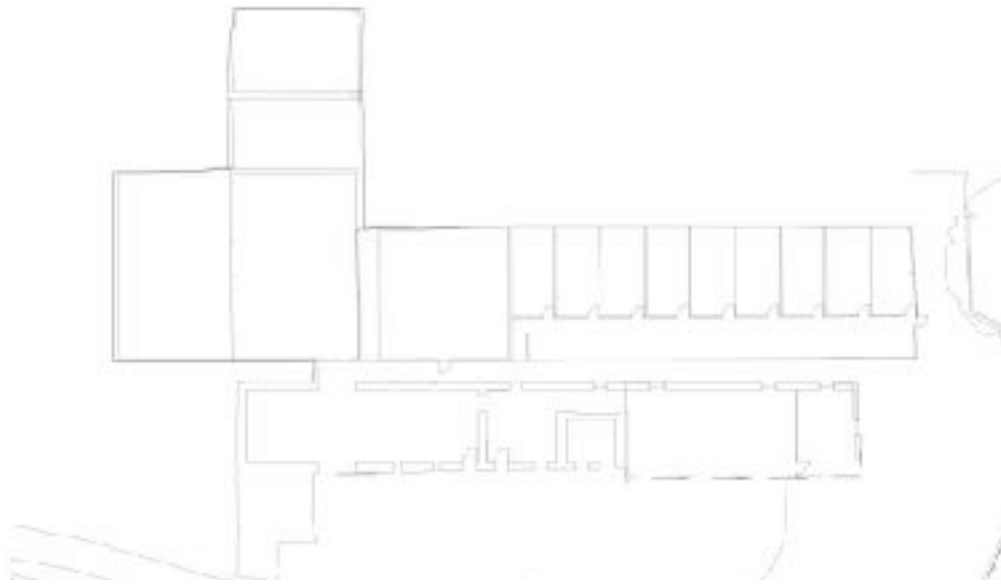


Figure 7 (top) - existing ground floor plan
(extract from submission drawing 24-001-037)
Figure 8 (upper) - existing south elevation
Figure 9 (middle) - existing east elevation
Figure 10 (lower) - existing north elevation
Figure 11 (bottom) - existing north elevation
(all elevations are extracts from submission drawings 24-001-039)

Photographic Record :

External views of Barns (#7, #8 + #9 etc):



Figure 12 (left - top) - looking south towards sheds #5 and #6

Figure 13 (left - middle) - looking towards shed #5 and historic barn #7

Figure 14 (right - top) - recent barn #9

Figure 15 (right - middle) - north elevation of recent barn #9

Photographic Record :

Internal views of Barns (#7, #8 + #9 etc):



Figure 16 (left - top) - historic barn #7 looking north
Figure 17 (left - middle) - historic barn #7 looking south
Figure 18 (left - bottom) - historic barn #8 looking west
Figure 19 (right - top) - historic barn #8 first floor
Figure 20 (right - middle) - historic barn #8 first floor
Figure 21 (right - bottom) - historic barn #8 looking west

Involvement :

A pre-submission enquiry was made by the Applicant to the LPA in the spring of 2025. Initially the scope of the enquiry was very general, and comprised:

Retaining the cottage, but replacing the unsympathetic extensions

Retaining the sheds, garage and walled garden

Retaining the historic barns, but extending them to form a new residential use

Removing the recent barns, many of which were in a poor condition and of little practical use.

The principle of the forthcoming application; retaining and extending the existing buildings and a residential conversion of the historic barns was the subject of a broad ranging discussion when Senior Conservation Officer (Anthony Wiles) first met the Applicant on site on 15 February 24.

The progress of the proposals was crystalised in 25 July when the document "24-001-021b Far Westhorpe Farm - Information at Pre-Submission Stage" was issued to the direct to the Senior Conservation Officer at the LPA.

A further meeting was held on site with the Senior Conversation Officer and his colleague on 17 September 25. This was successful in confirming that the broad aims of the application were be achievable, and was later confirmed in email correspondence as follows:

Email from AW 10 October 25: *"It was a pleasure to meet and discuss the project yesterday. I look forward to seeing the updated plans and subsequent discussions over the details of the proposal."*

Email from planning (Rebecca Larder) to Senior Conservation Officer of 23 September 25:

Evaluation of whether the amount of the extension would be more or less than 100%, if this could be exceeded in this circumstances, and if this could be clarified in the submission documents.

Consideration of overlooking between the proposed barn conversion and existing farmhouse (Cottage #1)

Consideration of separation of the residential plots without effecting the setting of the listed buildings or the openness of the green belt.

Other aspects for consideration included parking, amenity area, internal space standards in accordance with the South Yorkshire Residential Design Guide.

Email from AW 10 October 25 : explaining the need for archaeological building recording, which will be a condition of future approvals and attaching a brief for the written scheme of investigation and a list of suggested contractors whom could carry this out.

This email correspondence effectively drew the pre-submission process to a close.

The Heritage Environment Record :

Using the on-line “Heritage Gateway” resources showed eight records within five hundred meters of the Far Westhorpe Farm. These comprised:

5 buildings on the national heritage list for England:

- Far Westhorpe Farmhouse.
- Barn Approximately 20m west of Far Westhorpe Farmhouse.
- Cat Hill Farmhouse
- Barn Approximately 10m north east of Cat Hill Farmhouse
- Nether Lea Farmhouse and Adjoining Barn.

All of these were listed as Grade 2, with the exception of Cat Hill Farm house which is Grade 2*.

There were no results for National Designation Decisions, such as expired certificates of immunity from listing or records of de-listing.

Non-statutory data showed only one result, which was from the database of the Historic Milestone Society, reading to the parish boundary marker at Scout Bridge about one mile to the south west.

Local records showed only the South Yorkshire SMR which had two records for this search area, relating to:

- Cat Hill farmhouse and Barn, Penistone
- Nether Lea farmhouse at Cat Hill, Penistone

but nothing related to Far Westhorpe Farm, and no finds were recorded for either of the other locations.

There no records founding any of the national image collections.

The on line mapping showed a wider range of data sources but did not identity any further records.



Figure 22 - on-line mapping showing the area within 500m of the site (source the Heritage Gateway)

Referring also to online information from the LPA (Barnsley Metropolitan Borough Council), shows that the nearest conservation area is that of Penistone, which is about 1 mile to the south, and that there are no locally listed buildings within approx 2km of the site.

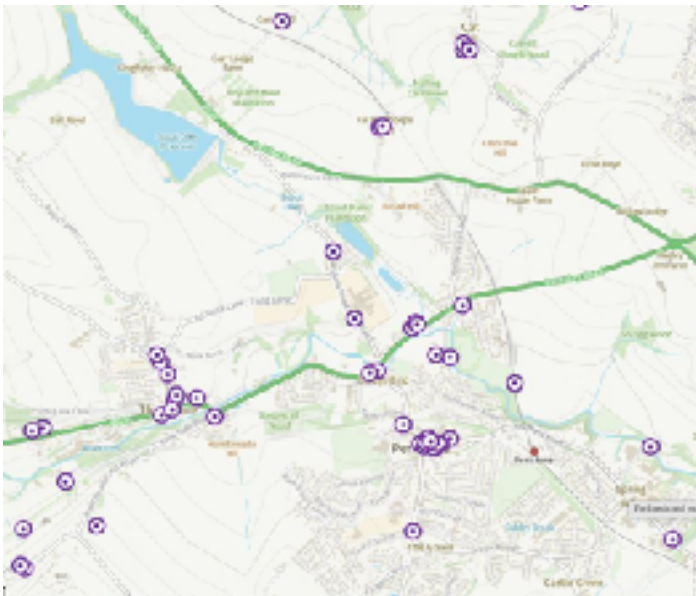
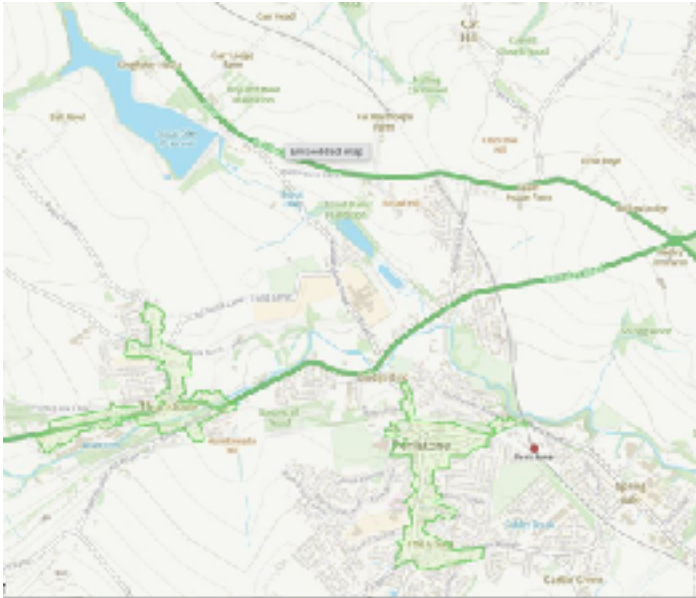


Figure 23 (top) - On line mapping showing the boundaries of Penistone and Thurlstone conservation areas (source Barnsley Metropolitan Borough Council)

Figure 24 (upper) - On line mapping showing listed buildings - including those on the application site (source Barnsley Metropolitan Borough Council)

Submission Proposals :

The proposals relate to three aspects of the historic barns (#7 + #8) which require urgent intervention to prevent further structural deterioration :

Carefully remove the area of bulging wall in Barn #7 identified in the structural report and indicated on the drawing below.

Rebuild using the salvaged stone externally and cavity blockwork internally, with a new footing if required.

Carry out local underpinning to the jamb of the main door opening, identified in the structural report and indicated on the drawing below.

Carefully remove the area of internal gable wall in Barn #7 identified in the structural report and indicated on the drawing below.

Rebuild using the salvaged stone.

Carefully remove the external walls of Barn #8 identified in the structural report and indicated on the drawing below.

Rebuild using the salvaged stone externally and cavity blockwork internally, with a new footing if required.

Carry out a local repair to the head of the archway in the intermediate wall in Barn #8.

Carry out a specialist inspection of roof timbers for beetle and fungal attack and check calculations.

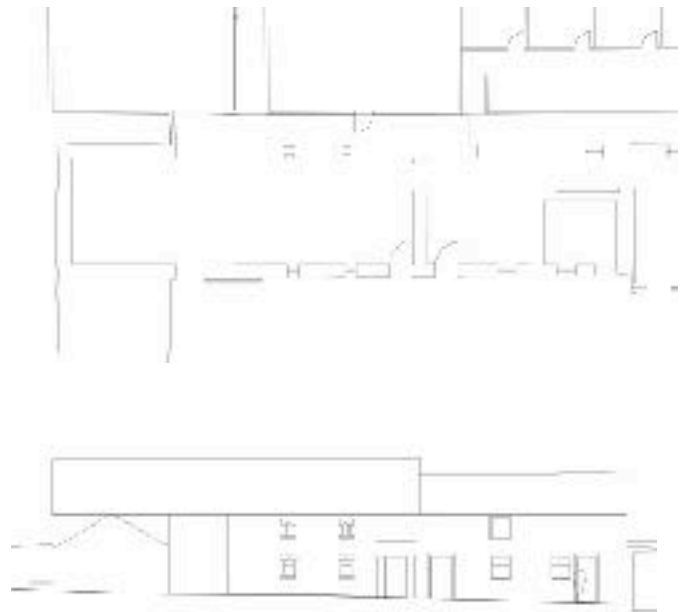
Replace timbers as required for structural safety.

For both barns, carefully remove corrugated cementitious roofing sheet for disposal according to the material type. Provide new roof covering of natural slate, on softwood battens, on permeable underlay supported by the new carcassing, retaining as much of the timber primary structure as possible.

The buildings are suffering from number of advanced structural defects. Whilst these might not lead to a catastrophic collapse in the short term, it could neither be excluded in that time frame, but is a certainty in the longer term if not addressed.

Clearly the original building was not roofed with corrugated cement roofing, and replacement with natural material will not only improve the internal environment, by being impermeable, but will also support the appearance and character of these buildings and the group of buildings at the centre of the farm.

Where it is necessary to dismantle existing stone walling to be rebuilt, the area will be carefully surveyed in plan,



section and elevation, and photographed to record the overall arrangement and details, to enable rebuilding to match the original as closely as possible.

Figure 25 (top) - proposed plan at first floor level
Figure 26 (bottom) - proposed elevations to north, west, south and east

Heritage Assessment :

In its glossary, The National Planning Policy Framework (NPPF), describes that the setting of a heritage asset as being the surroundings within which the asset is experienced and goes on to note that the setting may have a positive, negative or neutral contribution to the significance of the heritage asset.

It describes significance as the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance may derive not only from a heritage asset's physical presence, but also from its setting.

Further guidance is provided by 'Statements of Heritage Significance – Historic England Practice Advice Note 12' (Historic England, 2019), which recommends a series of steps when considering development proposals, outlined below:

Step 1: Understand the heritage assets affected.

Step 2: Assess to the significance of the heritage assets.

Step 3: Understand the impact of the proposals, whether beneficial or harmful, on that significance.

Step 4: Explore ways to minimise and mitigate negative impact.

Step 5: Explore ways to enhance significance.

This stepped approach will be utilised in this assessment of the impact of the proposed alterations on the setting of the heritage assets.

Step 1:
Understand the heritage assets affected.

The process of identifying the heritage assets in the context of the application site has been described above.

Although there are up to 14 existing buildings in the group on the site there are only two listings - of which and the Historic Barns (#7+#8) are one.

Step 2:
Assess to the significance of the heritage assets.

Although the listing notice of the Historic Barns is subsidiary to the Cottage (Farm house), they have significance and interest in themselves, as complete buildings and also through details, such as as the arched top windows. By defining the west side of the yard, they make an important contribution to the character of the group of buildings at the centre of the farm.

Step 3: Understand the impact of the proposals, whether beneficial or harmful, on that significance.

The structural defects with the barns are a substantial threat to their continued well being, which the proposed structural work will address for the longterm.

Changing the roof covering will be an improvement to the appearance of the buildings, compared to the detraction from the current corrugated cement sheets.

Step 4: Explore ways to minimise and mitigate negative impact.

The proposals will address significant structural defects which threaten the future of the Historic Barns.

As far as practical existing materials - timbers and walling stone - will be salvaged for reuse and incorporated into the works.

Step 5: Explore ways to enhance significance.

Addressing the structural defects will remove a pressing threat to the long term future of the Historic Barns

Replacing the roof covering will enhance the appearance of the Historic Barns, replacing a modern and incongruous material with one which is compatible with the character of the group of buildings at the centre of the farm.

Conclusion :

For the reasons given above, it is concluded that any harm caused by the proposals would be de-minimis, would be offset by,

Guaranteeing the long term future of the buildings.

Replacing an incongruous modern roofing material with one compatible with the character of the buildings and their place in the group of buildings at the centre of the farm.

Appendix One: Listing Notices

5 pages inserted

BARN APPROXIMATELY 20 METRES WEST OF FAR WESTHORPE FARMHOUSE

Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1151796**

Date first listed: **26-Apr-1988**

List Entry Name: **BARN APPROXIMATELY 20 METRES WEST OF FAR WESTHORPE FARMHOUSE**

Statutory Address 1: **BARN APPROXIMATELY 20 METRES WEST OF FAR WESTHORPE FARMHOUSE, WELL HOUSE
LANE**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

[Understanding list entries](https://historicengland.org.uk/listing/the-list/understanding-list-entries/) (<https://historicengland.org.uk/listing/the-list/understanding-list-entries/>)

[Corrections and minor amendments](https://historicengland.org.uk/listing/the-list/minor-amendments/) (<https://historicengland.org.uk/listing/the-list/minor-amendments/>)

Location

Statutory Address: **BARN APPROXIMATELY 20 METRES WEST OF FAR WESTHORPE FARMHOUSE, WELL HOUSE LANE**

The building or site itself may lie within the boundary of more than one authority.

District: **Barnsley (Metropolitan Authority)**

Parish: **Penistone**

National Grid Reference: **SE2436904848**

Details

3/78

PENISTONE WELL HOUSE LANE (north side, off) Barn approx. 20 metres west of Far Westhorpe Farmhouse

GV II

Barn. Early C18, altered. Coursed, squared rubble, part rendered. Asbestos roof. 4 internal bays. Square-headed cart entry to bay 2. Chamfered entrance to right. Two small round-arched lights at high level. similar lights below altered

with larger casements. Left bay may be rebuilt. Rear: opposing square-headed cart entry. Interior: 3 principal rafter trusses with queen struts and large-scantling tie-beams. Included for group value.

Listing NGR: SE2436904848

Legacy

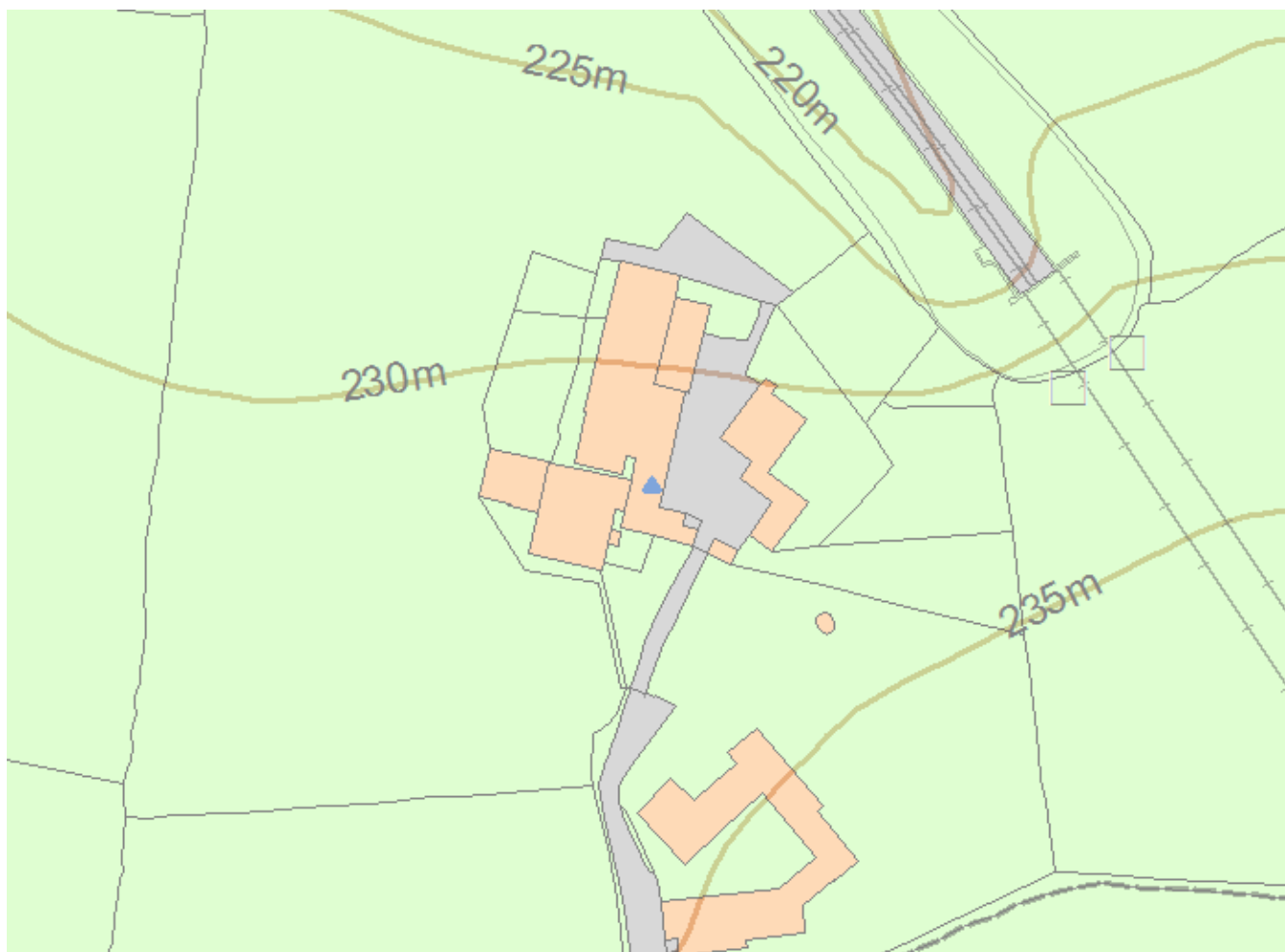
The contents of this record have been generated from a legacy data system.

Legacy System number: **334110**

Legacy System: **LBS**

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.



Map

This map is for quick reference purposes only and may not be to scale.
This copy shows the entry on 16-Apr-2024 at 06:23:59.

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(<https://historicengland.org.uk/terms/website-terms-conditions/>).

End of official list entry



[Back to top](#)

Appendix Two: Structural report

48 pages inserted

Far Westhopre Farm
Penistone
S10 2FX



Structural inspection
9 September 2025

Introduction

This report was commissioned by Mr David Pearson, the owner of the property and is required as a planning condition to assess the existing buildings to be retained and refurbished.

Scope of report

The assessment is a structural one and focusses on the condition of the cottage and the two historic barns with a view to refurbishment as part of the development that will include some new buildings around them.

The Cottage

This property is a two-story stone building with traditional timber floors and a stone covered roof and is thought to date back to the early 18th Century



Garden elevation

Cottage externally

In the garden elevation above it can be seen that the masonry is in very good order as is the roof with flat planes and straight lines and a very level ridge.



Left end of garden elevation. Extension on left to be replaced



Centre section



Right hand garden elevation



Northeast gable. Tired and peeling paint/render but no major cracks or bulging apparent.



Farmyard side, single storey extension.



Farmyard side, single storey extension. First floor extension proposed on top



Farmyard side, single storey extension, no signs of distress.



Southwest gable. Brickwork revealed under render to extension



Single storey extension in yard, to be replaced.



Single storey extension in yard. Cottage gable in good order



Gable to shed/garage in good order



Garage/shed in good order

Cottage internally

Ground floor



Kitchen. Non load bearing walls unstable under beam on right a touch unstable as they are loosely constructed and have informal head restraint. Take down and rebuild in blockwork as required.



Kitchen: Trial pit revealing foundation to single storey extension



Trial pit showing foundation as concrete with 150mm projection at 300mm below slab. Foundation approx. 500mm – 600mm wide overall and therefore has capacity to support another proposed storey.



First floor (bathroom) joists over kitchen require replacement



Beam with woodworm on kitchen/dining wall line. Unstable non load bearing wall (see comments under top photo page 9)



Close up



Joist end about to fail (several joists in this state)



Timber mass losses due to insect attack.



Roof over OK but to be replaced with new storey



Dining room



Dining room



Dining room ceiling. First floor joists and beams in good order (subject to specialist inspection for rot/insect attack). Acceptable bounce under drop heel test.



Living room fireplace. Cracked mantel stone with acrow prop. Right cheek wall has yielded out to the right following bending failure of mantel.



Dining room rear wall looking southwest.



Hallway. Joists over to be replaced in new first floor works

First floor



Roof over existing first floor bedrooms. Dry and weathertight. Specialist inspection recommended to check for fungal and insect attack.



Inside southwest gable



Stone flue from living room below (with cracked mantle). Terminates at ceiling and goes sideways into original chimney



Stone flue left side not bonded into wall



Stone flue right hand side. No bonding into wall



Northeast bedroom gable end. Good.



Garden side bedroom wall. Loose stones at head need looking at. Replace timber lintel.



Fireplace in bedroom party wall. Good

The Barns

There are three stone walled barns forming the opposite side of the farmyard



South gable large barn



Severe outward bulge in same wall. Take down and rebuild



Low level shed under repair receiving new roof. Large barn in background.



Large barn at south end of yard



East wall of large barn facing courtyard



North end of large barn with smaller barn adjoining on the right.



Smaller barn to the north



Small barn, yard elevation



Smaller barn north gable. Brick barn on left to be demolished



Small barn back wall



Large barn back wall looking south



Large barn and small barn back wall back wall looking north

Barn Internals



Large barn southeast corner



Large barn south gable. Bulge and crack arrowed where flank wall has released. Local dismantling and rebuilding recommended. Add this to the 'take down and rebuild' recommendation of the outward bulging gable (page 22). This picture is the inside face of the south gable



Flank wall (gable on left) entrance to barn to be demolished.



As above to the right



Back wall large barn looking west.



Party wall to large/small barn looking north.



Northeast corner large barn



Courtyard wall



Courtyard wall and main door. Local settlement under truss left of large door. Foundation may need strengthening with local underpinning



Roof southeast corner, rotting rafters: fairly typical of entire roof. New roof recommended for conversion into habitable building. Purlins and trusses may be suitable for strengthening and refurbishment, but rafters should be considered as end of service life.

Small barn



Small barn ground floor party wall with large barn



As above



Small barn. Acrow prop to failed 1st floor timber beam



Outward leaning wall has released 1st floor joist ends which are now only supported on a makeshift timber bearer and acrows. Failed/absent wall internal wall buttress bonding full height (far right side of picture)



Large gap where courtyard wall is leaning away from internal buttress wall. Failed bonding/tying



Wall has drifted out circa 75-100 mm completely releasing and abandoning first floor joist ends.



Small barn courtyard (east) wall leaning into yard abandoned first floor joist bearings (previous page)



Corridor small barn. Secondary timber propping rescuing reduced bearings from outward leaning west wall.



Gable end small barn



1st floor small barn. Pronounced lean of gable wall of large barn. Take down and rebuild



1st floor small barn intermediate wall



Roof. New rafters, purlins and covering required if being converted for habitation



Inner wall first floor. Light repair required at head of arch



Gable end 1st floor



Corner cracking in wall junction indicating outward wall lean and lack of tying in



1st floor intermediate wall small barn (same wall as previous pic)



Small barn 1st floor west wall leaning out no bonding/tying to cross wall (large gap)

Summary

Generally

As with all properties of this type and vintage, it is recommended that the timber elements (floors and roofs) be inspected by a specialist for insect and fungal attack, even those that appear to be structurally sound. Where timber has been found to be obviously defective, notes have been made under the photographs.

Masonry on the whole is good for its age, but areas of spot repair are required and noted in the photographs. Naturally the cottage has superior masonry, straighter and more refined than the barns.

Cottage

All structural timber members should be inspected by a timber specialist with respect to insect and fungal attack. There is evidence of woodworm areas and so the spread needs to be established and dealt with.

Roof

The roof timbers all appear to be in fair to good order and from the outside, the profile of the roof: Straight ridge and no sags or dips in the roof planes would back this up.

Walls

The walls are all good for their age and do not exhibit any excessive cracking or bulging.

The flue in the bedroom on the back of the original fireplace is not bonded into the bedroom party wall (photos on p17 – 19inc) and as it is redundant and reduces the bedroom floor footprint, we would recommend that it be removed to take out future repair liability.

The non loadbearing wall between kitchen and dining room (top photo page 9) is in fragile and fairly unstable condition. It is built hard up to a large timber floor beam and is taking a little head restraint from it. It is our recommendation that it be taken down and rebuilt in blockwork with better masonry ties at the wall abutments and underside of beam.

Repairs required to ground floor fireplace with cracked mantle stone and out of plumb right hand fireplace cheek (photo top of page 15)

Some horizontal lengths of timber are built into the walls. These should be removed and replaced with masonry. Likewise, all timber lintels should be considered a liability and replace with precast concrete lintels.

Floors

The bathroom floor over the single storey extension has extensive woodworm (photos on pages 10 -12 inc) and so all beams and joists in that bay should be replaced with new floor joists as part of the first-floor extension works.

The floors over the dining and lounge feel and look robust and perform well under a 'drop heel' test.

Foundations

One trial pit was dug in the single storey extension to reveal the foundations (photos on pages 9 and 10) confirming the foundation as concrete with 150mm projection at 300mm below slab level. Foundation is therefore approx. 500mm – 600mm wide overall and so has capacity to support another proposed storey.

For the rest of the cottage there is no evidence at all that the foundations have suffered any distress.

Large barn

All structural timber members should be inspected by a timber specialist with respect to insect and fungal attack. There is evidence of woodworm areas and so the spread needs to be established and dealt with.

Roof (inspected from the ground)

Rafters are in generally poor condition and eaten away by wood worm. Purlins have most likely suffered from worm but as they are thicker larger timbers, they may be retained if treated by a specialist. The same goes for the timber king post trusses.

New roof construction for habitation will be heavier and require higher spec rafters. Purlins and trusses will need to be checked for capacity assuming successful treatment for worm /fungus.

Walls

Generally, the walls are in good condition considering their construction and age.

There is an outward bulge and serious crack mid height in the south gable wall (arrowed in photo on page 30) where the flank wall has released the gable. A small amount of dismantling and rebuilding will be required. The bulge is too large to lock in place by masonry stitching (Helifix or the like).

The gable has a pronounced outwards belly in it which at first was thought to perhaps be blown render. Removal of that render confirms that it is the wall that bulges.

Foundations

Will be fairly rudimentary stone footings close to the surface. Any movement will have been absorbed by the flexible dry stone wall construction they support but there is no evidence that they have suffered distress.

One exception is left of the of the main door (photo on page 34) where some local settlement may have occurred at the truss position. Some local underpinning might be needed if it is shown to be recent movement. Closer inspection to be undertaken during the building works/refurb.

Small barn

All structural timber members should be inspected by a timber specialist with respect to insect and fungal attack. There is evidence of woodworm areas and so the spread needs to be established and dealt with.

Roof

New roof build up for habitation may require replacement of the existing purlins which currently only carry lightweight corrugated sheeting.

Walls

Rudimentary stone but with bedded with mortar on this side. Both flank walls severely leaning out and have released timber floor joist end bearings. No tying exists to cross walls. Suggest taking down and rebuilding. Courtyard wall not far off collapse.

Floor

The first/mezzanine floor is worn out, has woodworm and a main beam is broken and currently supported on an acrow prop (photo page 37). Leaning walls have removed end bearings which are now on temporary timber propping. Considering its poor condition and support plus the very low headroom provided at ground floor, we recommend the floor be replaced in the refurbishment/remodelling.

Foundations

Will be fairly rudimentary stone footings close to the surface. No evidence of settlement except they may have allowed the walls to rotate outwards. The drooping gutter in the courtyard (photos page 24) draws the eye but that is all it is – a drooping gutter.



S L White Bsc CEng MStructE
Director

19 September 2025

Westhorpe Farm
Historic Barns -
Work to the roof covering
and
external walls etc
Heritage
Statement



24-001-303



robin ashley architects
Hawk Works, 105 Mary Street
Sheffield S1 4RT
t: 0114 256 7450
e: contact@raarchitects.co.uk
w: www.raarchitects.co.uk