
2020/1332

Mr A Crabtree

Demolition of existing detached garage, increase in ridge height to create living accommodation within the roof space and the erection of a single storey side, and two storey front extensions.

Brookfield, Lee Lane, Millhouse Green, Sheffield, S36 9LN

Site Location & Description

Lee Lane is located on the edge of the village of Millhouse Green, linking the village to the wider countryside and green belt west; it consists of a variety of individually designed dwellings, from bungalows to two storey properties, set within varying plot sizes.

The application relates to Brookfield, a three bedroomed detached bungalow set within a large plot. To the east of the property is a bungalow known as Lorien, and new build property located to the west; the property to the west is constructed within the former side garden of the application property. There are open fields to the west and south, and existing properties opposite to the north.

The property is a low-level property, constructed from stone, with a concrete tile roof set at a lower level to the highway, access to the property is taken from Lee Lane and serves a double detached garage to the east of the property with a parking area to the front. The dwelling is enclosed by a low-level stone wall.

Planning History

2021/1027 - Erection of detached dwelling – Approved November 2021

Proposed Development

The applicant seeks permission for the demolition of existing detached garage, increase in ridge height to create living accommodation within the roof space and the erection of a single storey side, and two storey front extensions.

The single storey side extension is to be located on the eastern side elevation and is to project 8.25m from side elevation of the original dwelling. The front extension is to project 0.8m from the front elevation, extending 5m along it.

The ridge height is to increase by 900mm at the eastern side, 1.2m at the western side, with an increase of 2m within the central section, from 4.5m to 5.4m, 5.7m and 6.5m, respectively.

The applicant initially sought permission for a two-storey side extension to the dwelling which was considered unacceptable; the scheme has been through several design iterations during the application process.



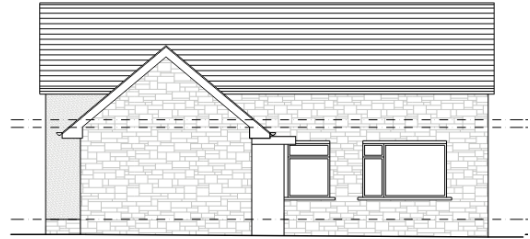
**PROPOSED
FRONT ELEVATION**
SCALE 1:100



**PROPOSED
REAR ELEVATION**
SCALE 1:100



**PROPOSED
SIDE ELEVATION**
SCALE 1:100



**PROPOSED
SIDE ELEVATION**
SCALE 1:100

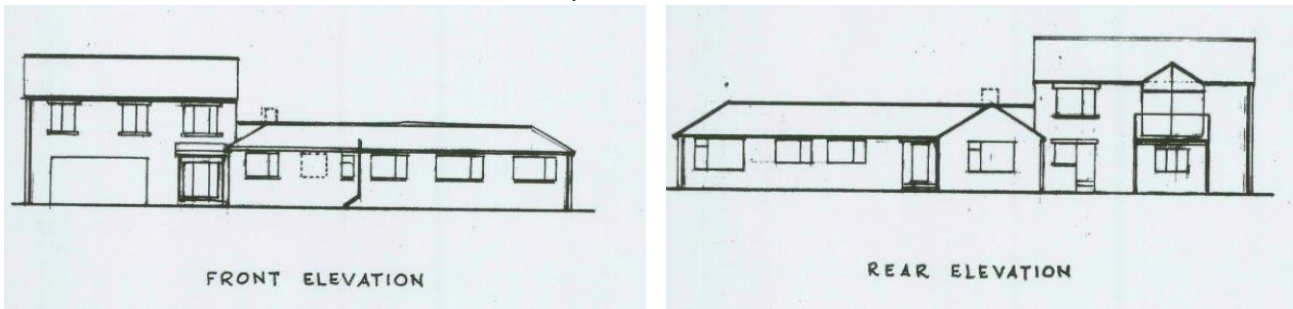


STREET SCENE
SCALE 1:100



Proposed plans above including illustrative CGIs

Initial scheme which was considered unacceptable



Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF (National Planning Policy Framework) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan

The site is allocated as Urban Fabric within the Adopted Local Plan, which has no specific land allocation and therefore the following policies are relevant:

Policy GD1 General Development
Policy D1 High Quality Design and Place Making
Policy SD1 Presumption in favour of Sustainable Development

Supplementary Planning Document: House Extensions and Other Domestic Alterations

The Supplementary Planning Document (SPD) sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations and indicates that these developments:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

Penistone Neighbourhood Plan

“In 2033 Penistone will be a rural market town surrounded by high quality upland countryside, small villages, and isolated farmsteads. The town will act as a hub for these communities, and others further afield, and as a gateway for Barnsley residents to access the high Pennines and Peak National Park.

Penistone will offer a range of housing that provides for all sectors of the community, as well as attracting new residents to the area’s unique blend of town and country.

Our well conserved town will be a vibrant centre, with shops, businesses, and services such as the Penistone Paramount cinema flourishing and meeting the needs of the local population. Our countryside will be easily accessed by off-road routes and be a magnet to visitors, particularly those using the Trans-Pennine Trail. Our villages will be safe and peaceful places that will have their own well-maintained identity and traditions”

With one objective being:

Objective 3: To conserve the town’s heritage, architecture, designated and non-designated historic features and to help design new development so that it ‘fits’ with the existing vernacular and built form. Any new development should be located and designed in such a way as to cause the least disruption to the place as it currently exists.

Policy BE1 Design of the Built Environment

All new housing proposals should adhere to the following principles, where it is appropriate:

a) Where new housing developments are proposed, homes should be reflective of local architecture and in keeping with the surrounding area. In particular, the following design principles should be adhered to:

- To have no houses above two storeys on the perimeter of built-up areas where it adjoins open countryside, where they have a greater impact upon the surrounding area in order to preserve and enhance the character of the area, in particular allocation sites HS70, HS71, HS74, HS75 as shown in Barnsley Local Plan.
- New developments should use external building materials that reflect the characteristic of development in the locality.

b) All residential developments will be expected to be designed so as to be sensitive to any existing wildlife habitat and corridor and should be appropriately landscaped and in particular development on the edge of the existing settlements shall incorporate tree planting so as to soften the built-up edge of the settlement as viewed from the countryside. Any residential development of 20 or more units will be expected to make provision for the appropriate amount of open space, in accordance with Barnsley MBC standards.

c) Development proposals should respect and maintain key views as identified on maps 2 and 3, in order to maintain the character and appearance of the town and villages.

Consultations

Penistone Town Council – no comments to make

Representations

Neighbour notification letters were sent to surrounding properties; representations have been received in relation to the original proposal on the following grounds

- The design is not appropriate for the area
- Overlooking
- Impact on views/loss of views
- Insufficient off-road parking

Upon receipt of the amended plans, neighbours and consultees were re-consulted; no additional comments have been received in relation to the development.

Assessment

Principle of development

The site falls within urban fabric which has no specific land allocation; however, whilst the site and surrounding area is made up principally of housing, the site is located close to the boundary with the Green Belt. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

The detached dwelling is situated within a large plot, on the southern side of Lee Lane; the proposed single storey side extension is to be located to the west of the neighbouring property 'Lorien,' which is located at an angle to the highway and the application property. Due to the relationship of the extension to this property and the path of the sun, it could result in some increase in overshadowing, however, the proposed extension would be located within the building line of the original dwelling, and whilst projecting closer to the side boundary, the extension is located approximately 2.5m from the side boundary. As mentioned previously, this property is located at an angle to the proposed extension which also lessens the impact of the proposed extension. It is acknowledged that a window is located on the side elevation of the neighbouring property which has a strong possibility to be a habitable room window, however, approximately 12m is maintained between the potentially affected window and the blank gable of the proposed extension.

It is acknowledged that the dwelling is to increase in height from 4.5m to between 5.4m to 6.5m, however, it is not considered that this would lead to a significant increase in overshadowing or result in a loss of outlook from the neighbouring properties.

There are no windows proposed on either side elevation of the dwelling or proposed extension, with the new openings being located on the northern front and southern rear elevations. Open fields are located to the south and therefore there would be no increase in overlooking in this direction and whilst there are properties to the north a minimum separation distance of 21m is maintained between habitable room windows.

In light of the above, it is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook of neighbouring properties to a detrimental level and is in compliance with Local Plan Policy GD1

Visual Amenity

As mentioned previously Lee Lane is characterised by a variety of individually designed dwellings, including single storey, 1 ½ storey, and two-storey properties, which include front dormer windows and two-storey front gable projections.

The dwelling is being converted from a single storey dwelling to a 1 ½ storey property utilising room in the roof space, creating additional height and space via the 2nd storey of the front and rear projections. It is acknowledged that the dwelling would have varying ridge heights, however the alterations have been designed to harmonise with the new property to the west, in that the ridge heights step up and down accordingly lessening the impact on the street scene. The inclusion of the front extensions to properties are generally not acceptable, however the dwellings within the vicinity are individually designed, some with similar forward projections, particularly the property to the west which has recently been approved in the side garden of the dwelling and as such this design feature is considered acceptable.

The side extension would have a significant sideways projection; however, the original dwelling has an extensive width, and the proposed extension does not exceed 2/3 width of the original dwelling and as such would not unbalance the property. The inclusion of the 6.5m set back also ensures that, even with the increase in ridge height, the original dwelling remains the dominant feature.

It is proposed to construct the proposed side extension from materials to match the original dwelling, with detailing in alternative materials to the front and rear gable projections. The front projection is to be constructed from stone with the front elevation clad in Ecoscape Cladding which will be recessed to lessen its impact. The same cladding is proposed on the rear elevation at first floor level and again will be recessed, lessening the impact. The inclusion of render is considered acceptable given that it would be located on the rear elevation and would provide a contrast to the stone of the existing dwelling.

It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making.

Highway safety

The existing dwelling is a 3no bedroom property, with the resulting property increasing to 5no bedrooms, therefore there is no requirement for additional parking provision. However, the proposal does result in the loss of the double detached garage, nevertheless the proposal includes an integral garage which is of sufficient size to be classed as a parking space and the garage forecourt is of sufficient size and particularly length, to accommodate at least 1no additional vehicle, therefore sufficient off-street parking is provided for a dwelling of this size and as such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4.

Conclusion

Based on the assessment above it is considered that the proposed development would not have a significant adverse impact on the amenity of neighbouring residents by means of overshadowing, overlooking or loss of outlook, nor would it have a detrimental impact on the character of the street scene or upon highway safety and as such is in compliance with Local Plan Policies GD1, D1 and T4, and Penistone Neighbourhood Plan Policy BE1 and is acceptable.

Recommendation

Approve with conditions