
2024/0336

Donna Wall

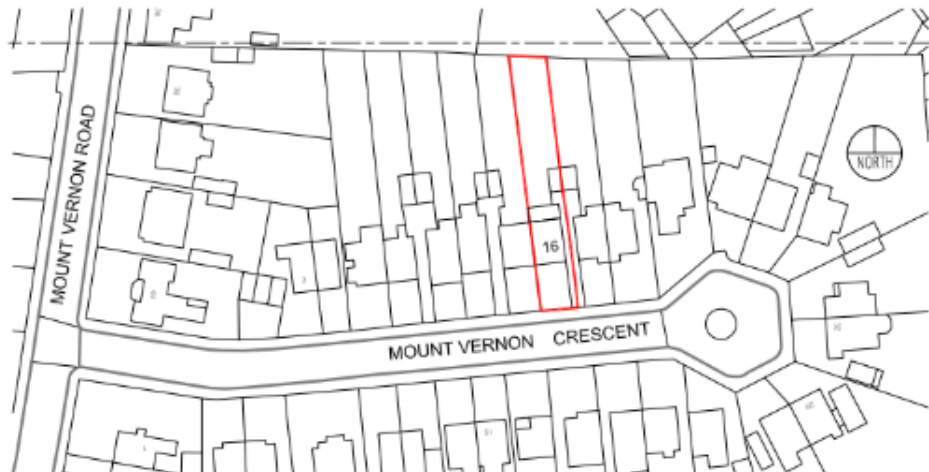
16 Mount Vernon Crescent, Worsbrough Common, Barnsley, S70 4DN

Demolition of existing garage and construction of new larger outbuilding.

Site Description

The application relates to a plot located on the north side of Mount Vernon Crescent and in an area that is principally residential characterised by other two-storey dwellinghouses of a similar scale and varying appearance.

The property in question is a semi-detached, two-storey dwellinghouse constructed of red brick with a hipped roof with grey coloured roof tiles. The property is fronted by areas of soft landscaping and hardstanding. The hardstanding extends along the east side of the property and serves an existing detached garage to the rear which is adjoined to a neighbouring garage. Access is shared between the application property and 18 Mount Vernon Crescent. The property is elevated and benefits from an existing rear extension with stepped access to garden level and an additional existing outbuilding to the north of the plot at the rear. The application site benefits from a relatively large curtilage and is bounded by mixed vegetation and fencing.



Planning History

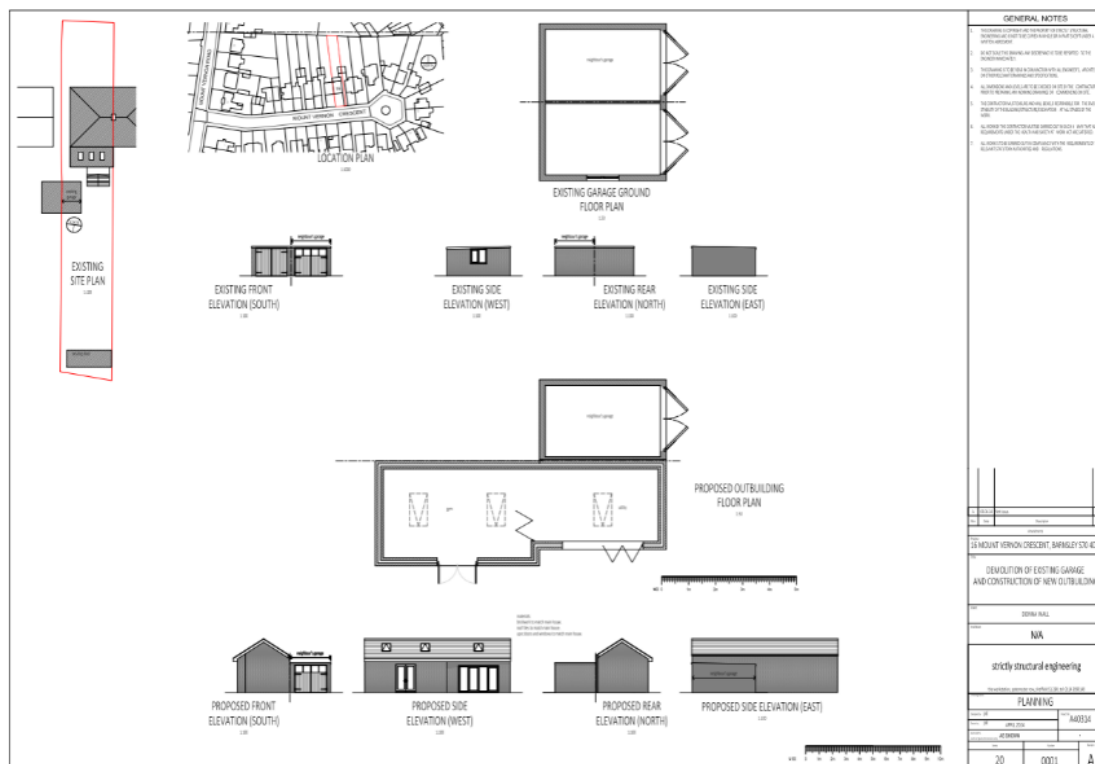
There is one previous application associated with this site:

1. 2017/0401 – Proposed single storey rear extension and provision of associated steps to garden level. – Approved.

Proposed Development

The applicant is seeking permission for the demolition of an existing garage and the erection of a new larger outbuilding.

The proposed outbuilding would be used for ancillary purposes, including a gym and a utility. The outbuilding would measure approximately 3.9 metres by 10.8 metres with an internal floorspace of approximately 30.7 square metres. The outbuilding would adopt a gable roof with an approximate eaves and ridge height of 2.7 metres and 4 metres respectively and would be constructed of materials that would closely match those used in the external construction of the existing building.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Proposals for the erection of domestic outbuildings are acceptable in principle provided that they remain subservient to the host property, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Residential Amenity

Proposals for the erection of domestic outbuildings are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The proposed outbuilding would be erected to the west of the rear curtilage of 18 Mount Vernon Crescent and immediately adjacent a neighbouring detached garage. It is acknowledged that the increased scale (footprint and height) of the outbuilding could contribute to some overshadowing. However, any potential impact is likely to occur and be limited to the evening and not at peak times for use of a rear garden. Moreover, the neighbouring property benefits from a relatively large curtilage that would likely remain largely unaffected by the proposal. Neighbouring properties were consulted on the proposal and no objections were received.

New windows and roof lights would be located on the west elevation of the outbuilding and would face into the application site and towards the rear curtilage of 14 Mount Vernon Crescent. The outbuilding would be set in from the east boundary and existing vegetation forming the boundary treatment could provide an acceptable level of screening that could maintain privacy to a reasonable degree.

The proposed outbuilding will be conditioned for domestic purposes only.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Proposals for the erection of domestic outbuildings are considered acceptable provided that they do not significantly alter or detract from the character of the street scene, would sympathetically reflect the style and proportions of the existing dwellinghouse.

The proposed outbuilding would be partially visible from the public realm of Mount Vernon Crescent. However, the outbuilding would be set significantly back from the highway and would not form a prominent feature within the street scene. The House Extensions and Other Domestic Alterations SPD states that detached outbuildings should relate sympathetically to the main dwellinghouse in terms of style, proportions and external finishes. In this instance, the proposed outbuilding would adopt a large footprint tantamount to a one-person studio. However, the outbuilding would be of a single storey and would adopt a sympathetic form and features, including a gable roof and closely matching external materials.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene or the existing building and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The application site is served by an existing driveway to the front of the application property and an existing detached garage to the rear. The proposal would result in the loss of the garage but parking to the front would remain unaffected with a sufficiently sized space retained for at least one vehicle, and although some on-street parking could occur and/ or continue, the application site is located on a residential street where traffic is likely to be relatively slow moving. The proposal would also unlikely result in significantly increased levels of traffic volumes and movements within the locality and therefore highway safety would be maintained to a reasonable degree.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

**Recommendation -
Approve with Conditions**