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**2022/1235**

Mrs E Allen

Erection of two storey side and single storey rear extensions to dwelling

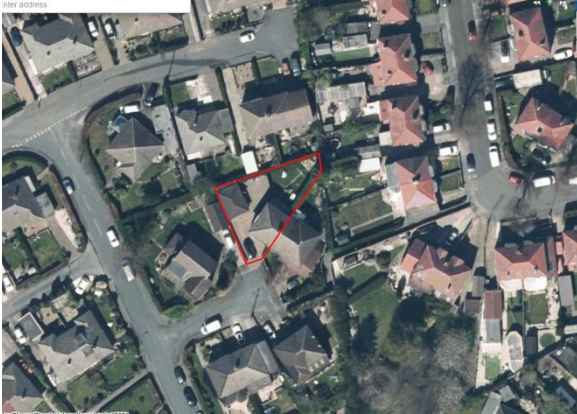
3 Cotswold Close, Pogmoor, Barnsley, S75 2HN

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### **Site Location & Description**

Cotswold Close is a small residential cul-de-sac located within Pogmoor, situated off Pogmoor Road, a main route linking to the A635 Huddersfield Road. The area is generally residential in nature; however, it is interspersed with commercial premises, and is within close proximity to Barnsley Hospital. The residential properties are generally two-storey, semi-detached or detached dwellings.

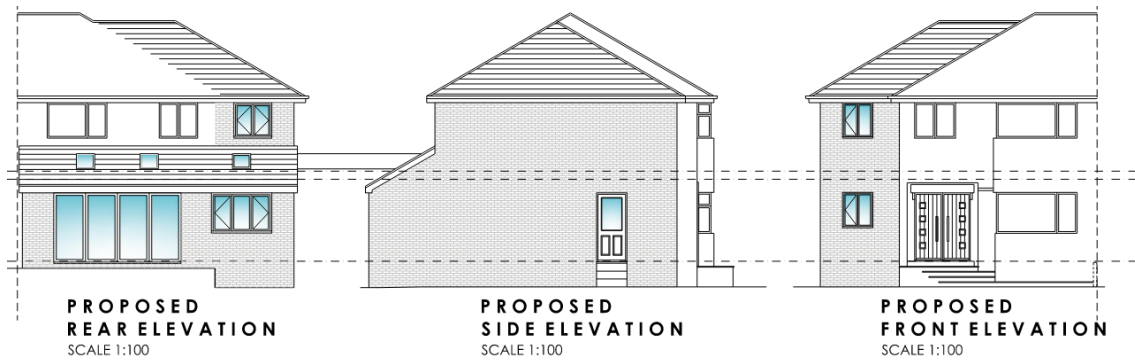
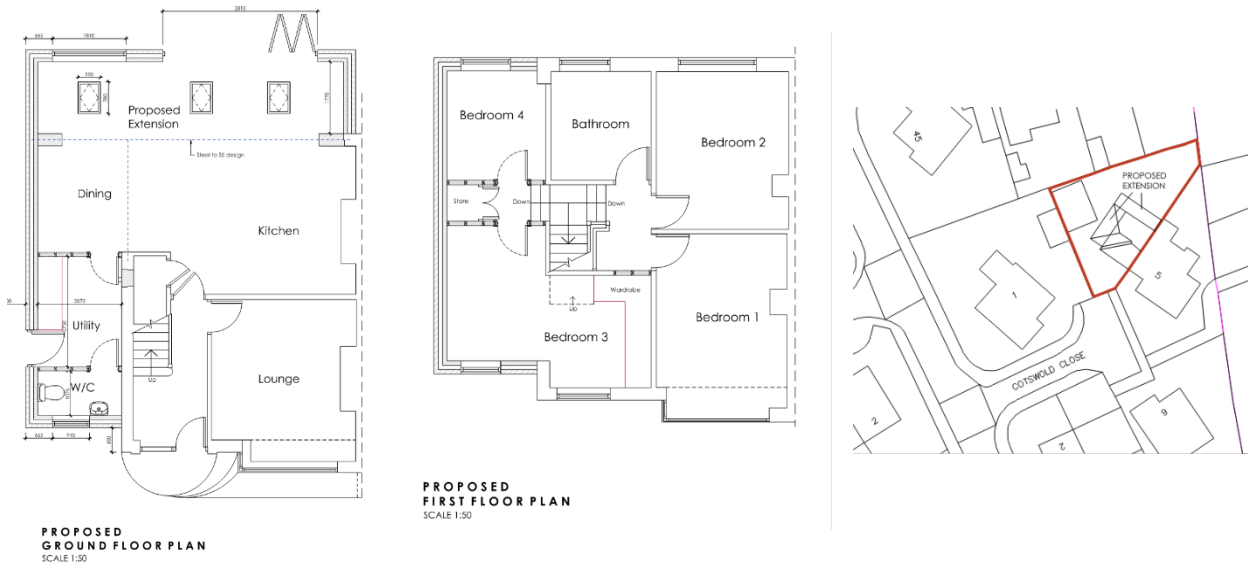
The application relates to a two-storey, semi-detached brick-built dwelling located in the north-eastern corner of Cotswold Close. The dwelling is located in a triangular corner plot, set back from the highway with modest front and rear gardens. Access to the property is taken via an existing dropped kerb to the south of the dwelling serving a driveway and detached garage beyond. The site is enclosed to the front by a low-level red brick wall. The site is set at a higher level than the properties to the rear, located on Pennine Way.



## Proposed Development

The applicant seeks permission for the erection of a two-storey side extension and a single storey rear extension.

The two-storey extension is to project a maximum of 2.4m from the side elevation of the dwelling, extending the full depth of the property. The single storey rear extension is to project 2m from the rear elevation, extending along the full width of the original dwelling and the two-storey side extension.



## Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise, and the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites).

In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

### Local Plan

The site is allocated as Urban Fabric within the Adopted Local Plan, which has no specific land allocation and therefore the following policies are relevant:

Policy GD1 General Development

Policy D1 High Quality Design and Place Making

Policy SD1 Presumption in favour of Sustainable Development

### Supplementary Planning Document: House Extensions and Other Domestic Alterations

The Supplementary Planning Document (SPD) sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations and indicates that these developments:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

### **Consultations**

None

### **Representations**

Neighbour notification letters were sent to surrounding properties; no comments have been received.

### **Assessment**

#### Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity or on highway safety.

## Visual Amenity

The Supplementary Planning Document - House Extensions and other Domestic Alterations states that 'the design of a two-storey side extension should reflect the design of the existing dwelling in terms of roof style, pitch materials and detailing and should not have an excessive sideways projection, i.e., more than 2/3 the width of the original dwelling'. In this instance the proposed extension projects 2.4m from the side elevation and therefore complies with the guidance set out in the SPD.

The document also states that a two-storey side extension should have a set back from the front elevation by at least 500mm, to allow for a vertical break in the roof plane, a lowering of the ridge line and to reduce the terracing effect. The set-back also lessens the unsightly bonding of old and new materials; the proposal allows for a set-back of 600mm and allows for a corresponding lowering of the ridge line therefore complying with the SPD.

The extension is designed to harmonise with the original dwelling in terms of roof style and pitch, and fenestration, in addition it is to be constructed from materials which match the original dwelling. Therefore, it is considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan Policy D1: High Quality Design and Place Making.

## Residential Amenity

Supplementary Planning Document – House Extensions and other Domestic Alterations states that single storey extensions to the rear of semi-detached dwellings should not project more than 4m and that the eaves height should not exceed 2.5m where the extension would project beyond 3m.

The proposed extension is to project 2.1m beyond the rear elevation and have a height to the eaves of 2.45m and 3.65m to the ridge, therefore complying with the guidance set out in the SPD. The extension would be located adjacent to the party boundary with the adjoining property; however, the projection is no greater than the existing conservatory extension and although the proposed extension is to be a solid construction along this elevation, the projection could be erected under permitted development and therefore it is considered that the impact on the neighbouring dwelling would not be significant.

The dwelling is located in a residential setting and is surrounded by residential properties; due to the shape of the plot and the orientation of the dwelling, the side boundary of the rear garden bounds the rear boundary of the properties fronting onto Pennine Way. The proposed side extension would project closer to the side boundary and therefore the rear elevation of the properties on Pennine Way. However, the bulk of the application property and the proposed extension would be situated at the gap between 22 and 24 Pennine Way, therefore not increasing levels of overshadowing to an unreasonable level. The proposed extension would be at an angle to the rear elevation of these properties and a minimum of 12m is retained between the habitable room windows and the blank gable wall, therefore not significantly decreasing levels of outlook of these properties.

The proposed extension does not include windows along the side elevation facing the neighbouring property, and whilst those located in the north-eastern rear elevation do not project beyond the rear elevation of the original dwelling, they do, due to the shape of the plot, reduce

the distance to the rear boundary with 26 Pennine Way and reduce the distance between facing habitable room windows. However, due to the angle of the dwellings, the small size of the room and that the rear elevation of the proposed extension does not project beyond the line of the existing rear elevation it is considered that on balance the proposed extension would not lead to an increase in overlooking.

In light of the above, it is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook of neighbouring properties to a detrimental level and is in compliance with Local Plan Policy GD1

### Highway Concerns

The proposal does not result in the requirement of additional parking provision and whilst the proposed side extension is to be located on part on the existing driveway and would limit access to the existing double detached garage, a gap of 3.4m is maintained to the existing garage and a driveway length of 11.9m is retained, which is sufficient space to accommodate 2no off-street parking spaces for a dwelling of this size.

In addition, the dwelling is located on a residential cul-de-sac, with the exception to the proximity to the junction, there are no on-street parking restrictions, and an extension of the same footprint could be erected under permitted development which would result in the same outcome in relation to access to the garage and parking arrangements. Therefore, it is considered that the scheme is acceptable in terms of its impact on highway safety.

### Conclusion

Based on the assessment above it is considered that the proposed development would not have a significant adverse impact on the amenity of neighbouring residents by means of overshadowing, overlooking or loss of outlook, nor would it have a detrimental impact on the character of the street scene or upon highway safety and as such is in compliance with Local Plan Policies GD1, D1 and T4 and is acceptable.

### **Recommendation**

**Approve** with conditions