

2024/0831

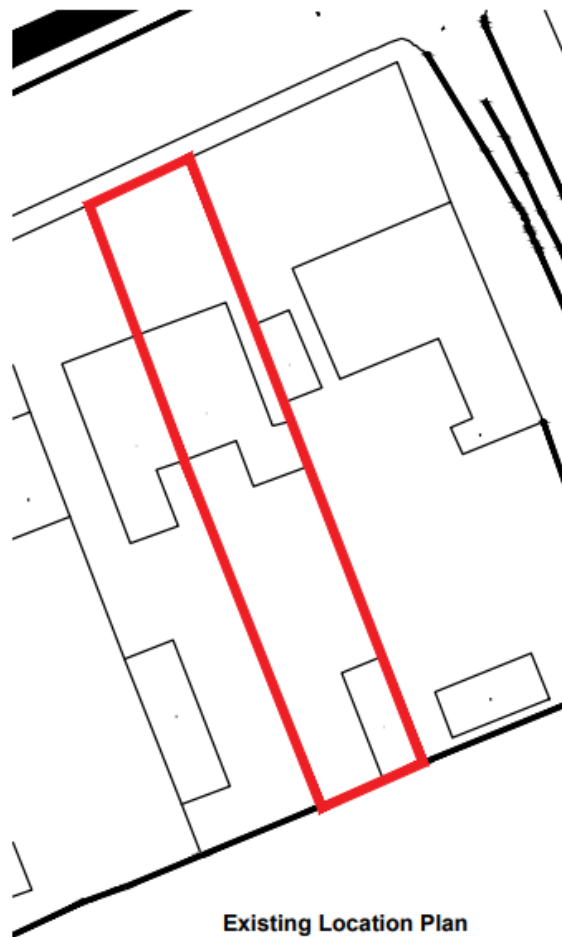
Mr Charlie Trimnell

Granville, 136 Keresforth Hill Road, Kingstone, Barnsley, S70 6RG

Erection of front and rear extensions to dwelling

Site Description

The application relates to a semi-detached dwelling on Keresforth Hill Road within the Kingstone area of Barnsley. The property is formed from red brick with a hipped tiled roof. Varying property types are found on the street scene with detached dwelling and bungalows evident as well as detached and semi-detached dwellings. Varying materials have been used including both render and red and brown brick. Hipped and pitched roofs are evident utilizing both red and grey roof tiles. To the north of the site across the highway is Greenacre Scheel along with its main entrance. The school is well screened from view by extensive boundary treatment. The south of the site is land allocated as green belt.



Existing Location Plan
Scale 1:500

Relevant Planning History

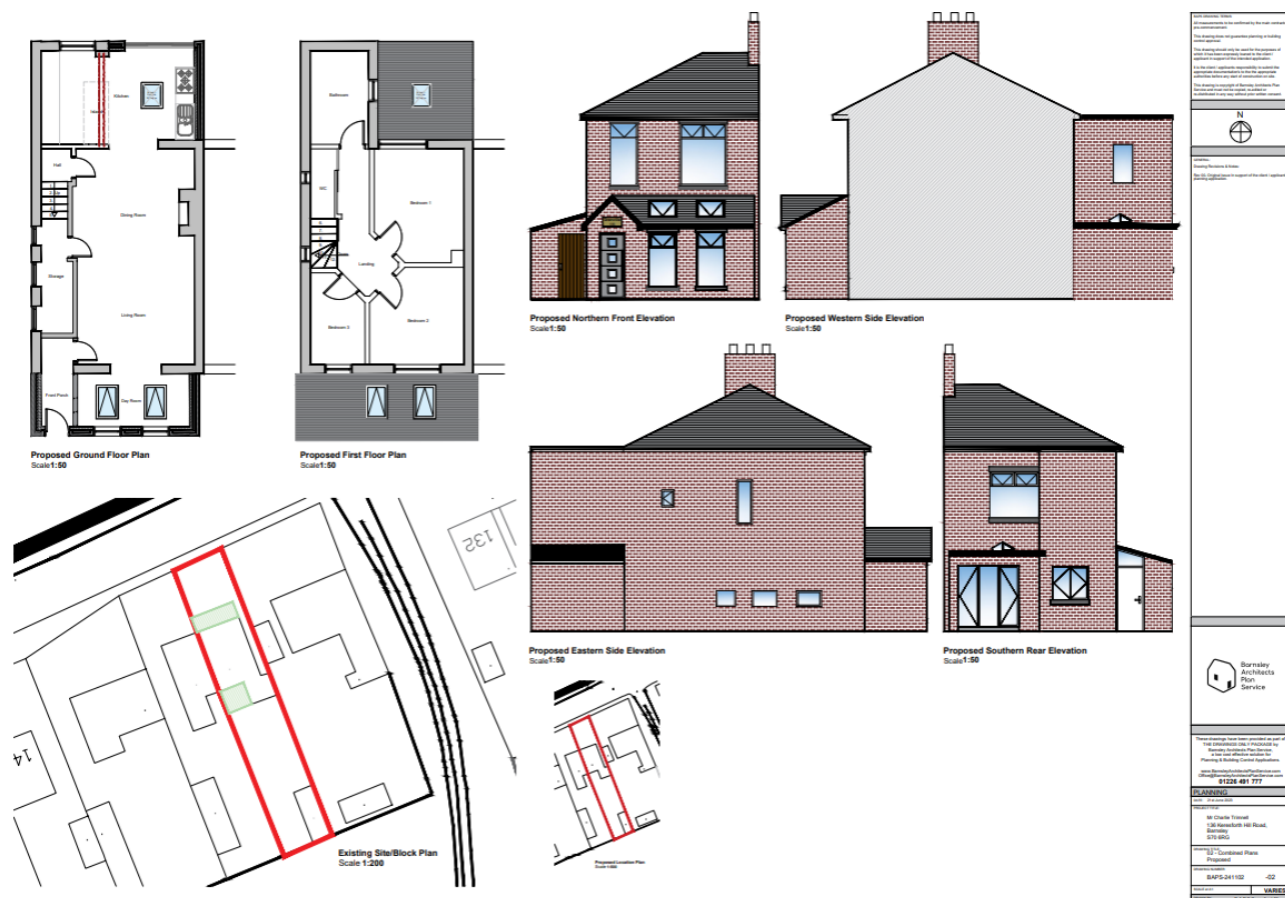
2024/0804 - Certificate of lawfulness for proposed works consist of a single story extension to the front of the dwelling and a single story extension to the rear (Amended Description) Incorrect Application Type, HH Rqd superseded App. 2024/0831 – Withdrawn

Proposed development

The applicant is seeking permission for a rear and front extension.

The proposed rear extension would have an approximate rear projection of 3.1 metres along with an approximate width of 3 metres. A flat roof is proposed with a height of 2.5 metre. A skylight has been proposed along with matching materials. Glazing is proposed to the rear elevation of the extension facing the south boundary.

The proposed front extension has a forward projection of approximately 2 metres along with an approximate width of 5.8 metres. A ridge height of approximately 3.4 metres is proposed. A pitch roof is proposed with a gable roof form above the new front door. Two windows are proposed to the front elevation approximately 0.9 metre in width and 1.7 metre in height. Two Velux windows are proposed to the pitched roof of the proposed extension in line with the proposed front windows. A door is located below the gable roof form of the proposed front extension along with an address stone above the door detailing 'Granville 136', the address of the property. Matching materials have been proposed.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High Quality Design and Place Making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed places.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. A representation was received in relation to loss of light, reduced levels of outlook and the use of inappropriate materials.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed rear extension would provide low levels of overlooking. No windows have been detailed to the west elevation. Glass patio doors have been detailed to the rear elevation of the proposal facing the rear garden. Given the proposal is single storey along with the evidence of substantial boundary treatment, there are limited overlooking issues which could cause a detrimental impact on the residential amenity of the adjoining 138 Keresforth Hill Road. The proposal is to the east of 138 Keresforth Hill Road so any overshadowing or loss of light as a result of the rear extension would only be limited to early daylight hours. The proposed rear extension is compliant with the 45-degree rule within the House Extensions and Other Domestic Alterations SPD therefore not causing any detrimental impact neighbouring residential amenity.

The proposed front elevation extension would be erected to the east of 138 Keresforth Hill Road. A projection of approximately 2.1 metre is proposed. This would be an increase of approximately 1.6 metre on the existing bay window projecting 0.5 metre. The loss of some levels of daylight are acknowledged, however given the proposal is to the east and on a north elevation receiving minimal light, this loss would not be considered detrimental. The proposal is also compliant with the 45-degree rule within the House Extensions and Other Domestic Alterations SPD. No side windows have been proposed preventing any element of overlooking.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The front elevation of a building is the most important for its contribution to the street scene. Generally, therefore, such extensions need to be of a high standard of design and will not be considered acceptable where they detract from the quality of the existing dwelling or character of the street scene or cause overshadowing to neighbouring dwellings. Large extensions and conservatories are likely to appear particularly intrusive and will not normally be acceptable.

The adopted SPD states that on semi-detached dwellings an extension should not project more than 4 metres and the eaves height should not exceed 2.5 metres where the extension would project beyond 3 metres from the rear elevation of the dwelling. The proposed rear extension does not exceed the maximum 4 metres projection outlined within the House Extensions and Other Domestic Alterations SPD. The projection is slightly greater than the preferred 3 metre projection by 0.1 metre and approximately meets the 2.5 metre eaves height of a rear extension exceeding 3 metres, again outlined within the House Extensions and Other Domestic Alterations SPD. Glazing has been proposed to the rear of the elevation along with a roof lantern allowing light into the extension. The glazing has been proposed sympathetically to the extension and is of an acceptable scale. Matching materials have been proposed allowing the proposal to be in keeping with the existing dwelling.

The front extension is considered to be of a high standard of design and is an improvement on the existing principal elevation porch and bay window. The proposal does not constitute an overly dominant form and is considered to be designed sympathetically with the existing dwelling. The design does not break the ridge line of the property and allows for the continuation of the pattern of the street scene in line with the House Extensions and Other Domestic Alterations SPD. A gable roof form has been proposed to the porch of the front extension. Although this does not match the existing style of the dwelling, gable roof forms are a common feature on the street which would allow the site to be more in keeping with the character of the street scene. The gable roof is also an improvement on the existing flat roof. Additionally, the pitched roof would create greater symmetry with the adjoining property's principal elevation roof form.

Glazing has been proposed to the front elevation in the form of two elongated windows. The windows are detailed sympathetically to the existing dwelling, feature sills and lintels which match the existing site glazing and having matching openings. The proposed Velux windows are detailed symmetrically with the proposed front windows. The proposed front door is positioned in a similar position to the existing front door, matching the style of the existing house.

Matching materials have been detailed which prevents any detrimental effect to the character of the street scene.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Considerations

The proposal would not result in an increase in bedroom accommodation. The site currently provides parking facility for one car. Although parking space to the front of the property will be slightly impacted, the ability for the space to facilitate a car will not be impacted.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Recommendation

Approve with Conditions