

Application reference number	2025/0776
-------------------------------------	-----------

Application Type	Full
-------------------------	------

Proposal Description:	Change of use of existing barn to residential dwellinghouse (Use Class C3) including associated alterations and subdivision of existing residential garden
Location:	Anchor Farm, Elmhirst Lane, Dodworth, Barnsley, S75 4LD

Applicant	Mrs A Weber
------------------	-------------

Number of Third Party Reps	none	Parish:	n/a
		Ward:	Dodworth

SUMMARY

The proposal seeks full planning permission for the change of use of an existing barn to residential use, with associated alternations including subdivision of an existing residential garden.

The proposal is considered acceptable in policy terms. The application site is within an area designated as Green Belt but the proposal is acceptable in relation to national and local planning policy and is considered to be an acceptable and sustainable form of development in line with paragraphs 7 and 8 of the National Planning Policy Framework (NPPF, 2024).

The report demonstrates that any harm generated by the proposal is outweighed by other material planning considerations. The development would not cause an unacceptable level of harm to neighbouring properties, the highway network, trees, ecology or the wider character of the area subject to suitably worded conditions.

Recommendation: **GRANT Planning Permission**

Introduction

- The proposal seeks full planning permission for the change of use of an existing barn to residential use, with associated alternations including subdivision of an existing residential garden.
- The site is part of a wider area designated as Green Belt and is adjacent to Silkstone Golf Club and Hugset Wood Ancient Woodland and Local Wildlife Site.
- The application has been amended to address comments from the Ecologist.

Site Description

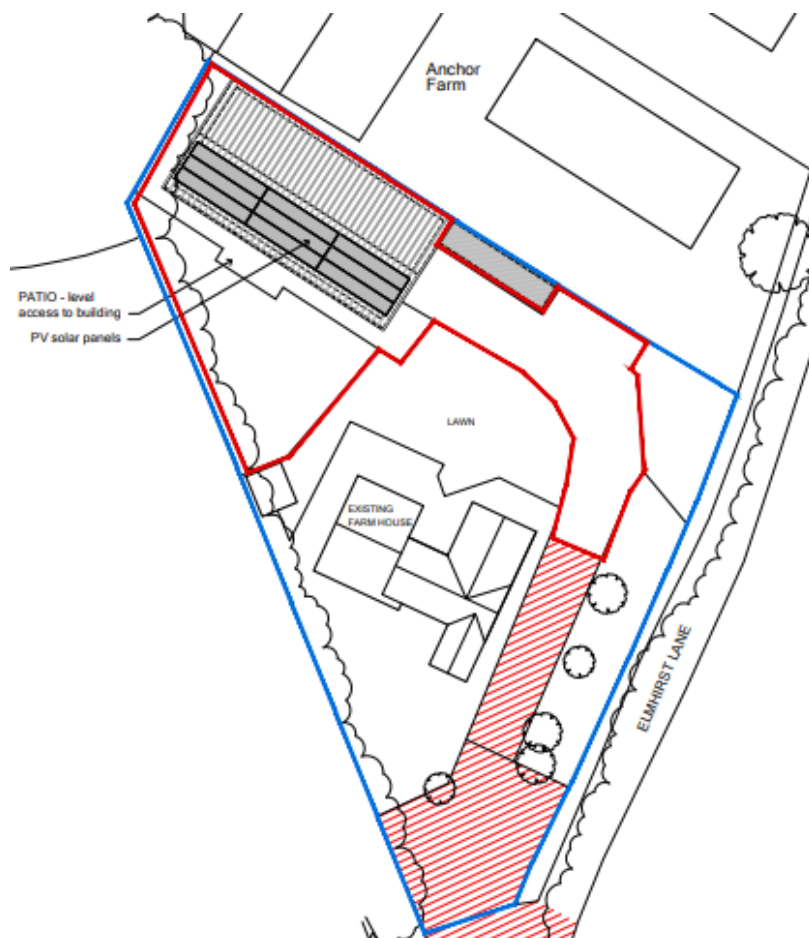
The application site comprises a single storey stone building which was originally built as an agricultural building, was subsequently used for a commercial car restoration business and is now largely vacant and unused.

Proposal

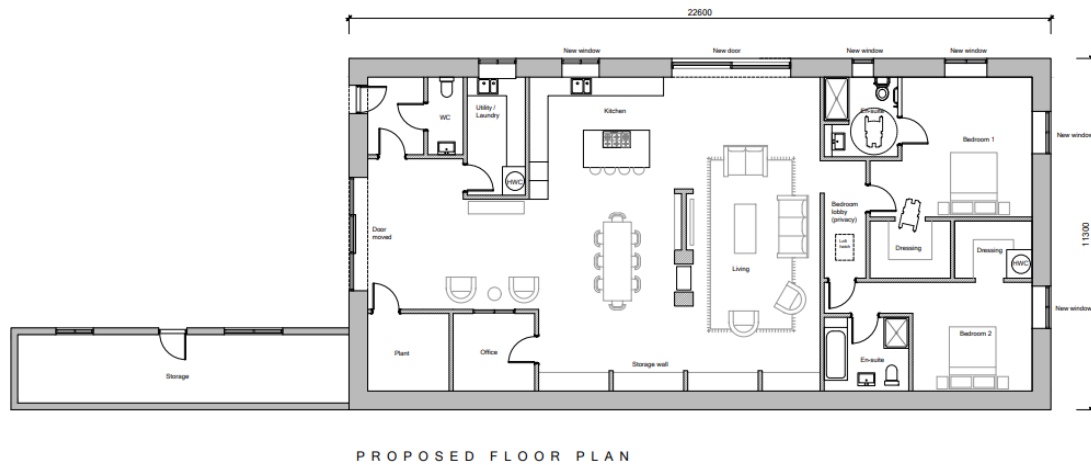
The proposal seeks full planning permission for the change of use of an existing barn to residential use, with associated alternations including subdivision of an existing residential garden. The alterations include new openings in the south-east, south-west and north-west elevation and PV solar panels on the south-west facing roof slope.

The application is supported by a Design and Access Statement, Bat Report (amended), Ground Condition Report, Drainage Reports and Structural Report.

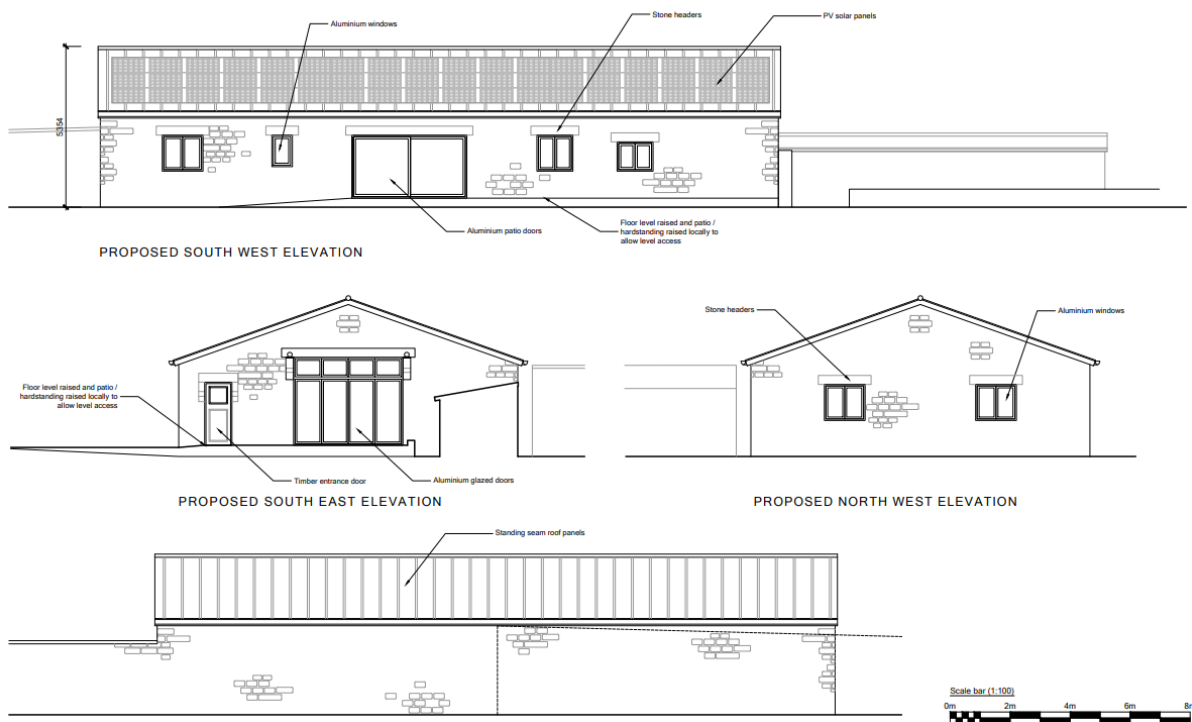
Proposed block plan



Proposed floor plan



Proposed elevations



Relevant Site History

<i>Application Reference</i>	<i>Application description</i>	<i>Status</i>
2006/0199	Erection of agricultural storage building (prior notification)	Prior approval not required
B/05/0496	Erection of dwelling	Granted subject to occupancy condition

2017/1704	Change of use of buildings to Mixed B1, B8 and sui generis use	Appeal Allowed
2018/0490	Occupation of dwelling at variance to condition 4 of B/05/0496	LDC Granted
2019/1051	Removal of condition 4 (occupancy restriction)	Granted

Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

The Local Plan was adopted in January 2019 and is accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan

The site is identified as Green Belt within the Local Plan and as such the following policies are considered to be relevant to this application:

GD1 – General Development

H4 – Residential development on small non allocated site

H9 – Protection of existing larger dwellings

T3 – New development and sustainable travel

T4 – New Development and Highway Improvements.

D1 – High Quality Design and Place Making

HE1 – The Historic Environment

GS2 – Green Ways and Public Rights of Way

BIO1 – Biodiversity and Geodiversity

GB1 – Protection of Green Belt

GB3 – Changes of use in the Green Belt.

CL1 – Contaminated and Unstable Land

Adopted Supplementary Planning Documents relevant to this application:

Trees and hedgerows
 Barn Conversions
 Biodiversity and Geodiversity
 Design of housing development
 Parking
 Biodiversity and Geodiversity

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. NPPF policy of relevance to this application includes:

Section 2 – Achieving sustainable development
Section 5 – Delivering a sufficient supply of homes
Section 8 Promoting healthy and safe communities
Section 9 – Promoting sustainable transport
Section 12 – Achieving well-designed places
Section 13 – Protecting Green Belt land
Section 15 – Conserving and enhancing the natural environment

Other

South Yorkshire Residential Design Guide

Relevant Consultations:

Biodiversity- initial comments recommend the application be deferred for additional information.

- In response to reconsultation on the updated bat survey, confirm no objections subject to conditions.

Conservation -no objection

Highways DC – no objection

Public Rights of Way – no objection subject to informative.

Mining Remediation Authority – auto response – PPG confirms pure change of use with no groundworks doesn't require a CMRA (and therefore no need to consult MRA)

South Yorkshire Mining Advisory Service – no objection subject to informatives.

Ward Councillors – no comments received.

Representations

Neighbour notification letters were sent to thirteen surrounding properties, and a site notice was placed nearby.

No representations were received.

Assessment

The main issues for consideration are as follows:

- The acceptability of residential development
- The impact on neighbouring residential properties
- The impact on the character of the area
- The impact on the highway network and highways standards

- The impact on ecology both on and off site
- Other issues

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale unless the NPPF establishes a specific weight:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of development

The application proposes the conversion of an existing commercial building in the Green Belt to a residential use. National planning policy sets out that the re-use of buildings provided they are of permanent and substantial construction and that will preserve openness and not conflict with the purposes of including land within the Green Belt is not inappropriate. Local Plan policy GB3 sets out criteria that will be applied to the change of use of buildings in the Green Belt. The principle of the proposed change of use is considered to be acceptable subject to consideration of the detailed criteria of GB3 and the following material planning considerations.

Residential Amenity

The existing building to be converted is sited to the north of the existing adjacent house. The existing adjacent house has its main aspects to the north east and the south west. The proposed dwelling will have habitable windows in the south east facing elevation but as this elevation doesn't face directly towards the existing house, there will be no overlooking of the existing house. There is a distance in excess of nearly 18 metres between the nearest window to a habitable room on the south west facing elevation of the proposed dwelling and the nearest windows in the main north east facing elevation of the existing dwelling, and as such there will be no or limited direct overlooking between the existing and proposed houses. The existing house is sited in an elevated position in relation to the proposed dwelling, but it is considered that it will not unduly dominate or overwhelm the proposed dwelling and its private garden area.

The existing building has an internal floor area of 206 square metres which will provide for a generous two bedroom dwelling. The proposal shows a garden area of 244 square metres to the south west of the proposed dwelling and an additional 23 square metres to the north west of the proposed dwelling. These internal and external spaces exceed the standards set out in the South Yorkshire Residential Design Guide.

The application site is located next to an existing business operated from the buildings to the east. The wall facing the business premises is proposed to remain blank and the submission indicates that the walls are concrete cavity infilled natural sandstone. Internally the building can accommodate any insulation required to ensure that noise from the existing business does not cause a nuisance.

Subject to conditions requiring the roofing material to be agreed; and removing permitted development, given the close relationship between existing and proposed dwellings, the proposal will secure an acceptable level of residential amenity for existing and proposed

dwelling. The proposal is considered to be in compliance with Local Plan policies GD1 and Poll1 and moderate weight is given to this material consideration.

Visual amenity

The application is supported by a structural report which demonstrates that the building is of permanent and substantial construction and does not need major or complete construction. Existing stone walls will be retained, new openings provided on three elevations and the existing roof trusses are likely to have sufficient capacity for the new roof covering and PV panels. The application site building is over 280 metres from the nearest listed buildings to the south, and the proposal will not affect the setting of the listed buildings. Subject to a condition requiring details of the proposed roofing material to be agreed, the proposal is considered to be in accordance with Local Plan policies GD1, D1, HE1 and GB3 and moderate weight is given to this material consideration.

Highway Safety

The proposal will result in additional dwelling being served from a private access. Noting that the application building has an existing commercial use and that there is sufficient parking provision for existing and proposed dwellings (which is already surfaced), the proposal does not give rise to concerns from a highways point of view. Subject to an informative relating to the public right of way which runs along the access to the proposal, it is considered that the proposal is in accordance with Local Plan policies T, T4 and GS2 and moderate weight is given to this material consideration.

Impact on Geodiversity and Biodiversity

The application site is located next to Hugset Wood Ancient Woodland and Local Wildlife Site. The application site boundary is sufficiently removed from any trees within the woodland such that the conversion does not raise any issues in relation to off-site trees.

The proposal is for change of use of an existing building, the proposal will not impact a priority habitat and impacts less than 25 square metres of on-site habitat and will be exempt from the mandatory biodiversity net gain requirements.

The application is supported by a bat survey report which details the findings of a preliminary bat roost assessment and a subsequent dusk emergence survey. No bat roosts were noted during the survey and the conclusion that a roost is likely to be absent from the application building is agreed with. Recommendations within the report relating to bat roosts can be secured by condition, as can a condition requiring biodiversity enhancement. Subject to these conditions, it is considered that the proposal is in accordance with Local Plan policy GD and modest weight is given to this material consideration.

Any Other Material Planning Considerations

As the application involves change of use of an existing building, planning practice guidance advises that a coal mining risk assessment is not required, nor consultation with technical consultees relating to site stability. Reflecting the advice of the Mining Remediation Authority and South Yorkshire Mining Advisory Service, informatives are recommended relating to site stability and the measures to take if any coal mining features are encountered.

The application is supported by drainage reports which indicate that surface water will be dealt with by means of soakaways and foul water by means of connection to an existing foul sewer and this is considered to be acceptable.

The application proposes solar pv panels on the south-west facing roof slope. This provision is supported by Local Plan policies CC2 and RE1 and modest weight is given to this material consideration.

PLANNING BALANCE & CONCLUSION

In accordance with Paragraph 11 of the NPPF the proposal is considered in the context of the presumption in favour of sustainable development. The proposal is considered to be in a suitable and sustainable location for the change of use proposed and this weighs in favour of the application.

The application has been supported by an amended bat report to demonstrate that suitable consideration has been given to the potential for bat roosts on and off site. The submission will secure an acceptable design that will provide for an acceptable level of amenity for existing and proposed dwellings.

All other material planning considerations have been fully explored by the appropriate consultees who have raised no objections to the proposal subject to conditions or S106 contributions and holistically this weighs moderately in favour of the application.

Having balanced all material planning considerations it is concluded that the positive aspects of the proposal outlined above are not outweighed by any other material planning considerations.

The proposal is therefore, on balance, recommended for approval subject to conditions.

RECOMMENDATION

GRANT PLANNING PERMISSION FOR THE PROPOSED DEVELOPMENT SUBJECT TO CONDITIONS

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

The above objections, consideration and resulting recommendation have had due regard to Article 8 and Article 1 of the First Protocol of the European Convention for Human Rights Act 1998. The recommendation will not interfere with the applicant's and/or objector's right to respect for his private and family life, his home and his correspondence.

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- The need to provide additional evidence and justification in relation to biodiversity.