

2023/0851

Mr Joe Payne

Change of use of agricultural buildings to 1no. dwellinghouse including building operations reasonably necessary for conversion (Prior Approval)

Carr Head Farm, Hunshelf Bank, Stocksbridge, Sheffield, S36 2BS

Description

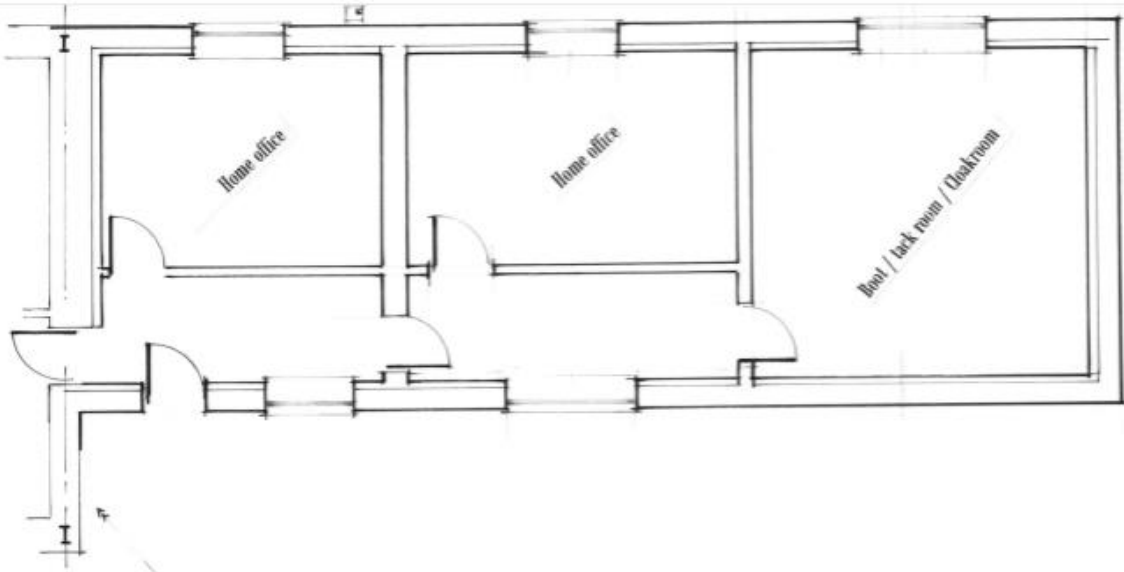
Carr Head Farm is set off Hunshelf Bank, close to the town of Stocksbridge, Sheffield. The site currently consists of the main stone built farm house, converted outbuildings and a range of agricultural buildings and barns. The two buildings which are the subject of this application include a large former two storey barn and a stable/pig shed. The large barn is currently being used for the storage of hay. The buildings appear to be in a good structural condition.

Proposed Development

The application is a Prior Approval application and involves the change of use of the agricultural buildings into 1no. dwellinghouse including building operations reasonably necessary for conversion. The proposed dwelling would have an overall floor area of 338sqm.

As part of this application, the agent has provided the following information.

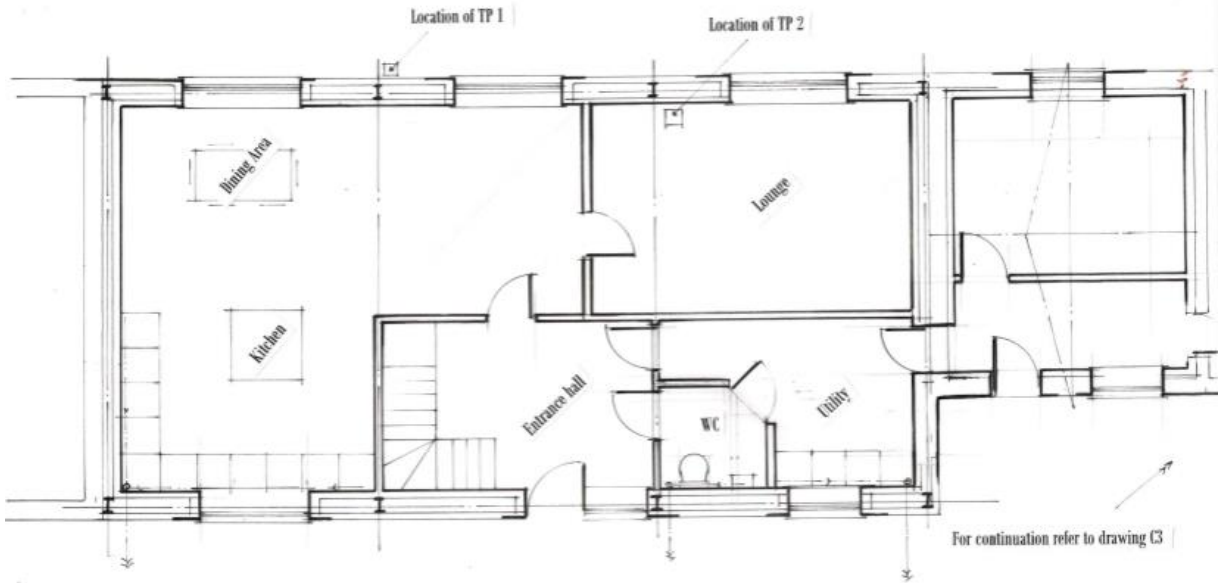
- A statement confirming that the buildings were used solely for agricultural use has been provided.
- A structural survey has been carried out.
- Existing services include Electric, Water, and Drainage.
- The site is within an existing established farm courtyard (to be improved to provide ample gardens / parking.)
- The conversion will sit within its own boundary isolated from the general farm duties.
- The access to the conversion is already established.
- The Completed conversion will have the same footprint as the existing.
- The completed conversion will be finished in materials that replicate common agricultural buildings.
- Pony stable to retain the red brick walls, External blockwork to be rendered.
- The old Cow Shed will retain the red brick to the Hunshelf roadside with vertical timber cladding above.
- Courtyard side to have rendered blockwork with vertical timber cladding above.
- All roofs to be agricultural style profiled metal cladding sheets.
- Existing and proposed layout drawings have been produced to demonstrate how the conversion can be completed with the least possible disruption of the existing.
- The floorspace thresholds have not been exceeded



For continuation refer to drawing C2

Proposed floor layout of "The Pony Stables"

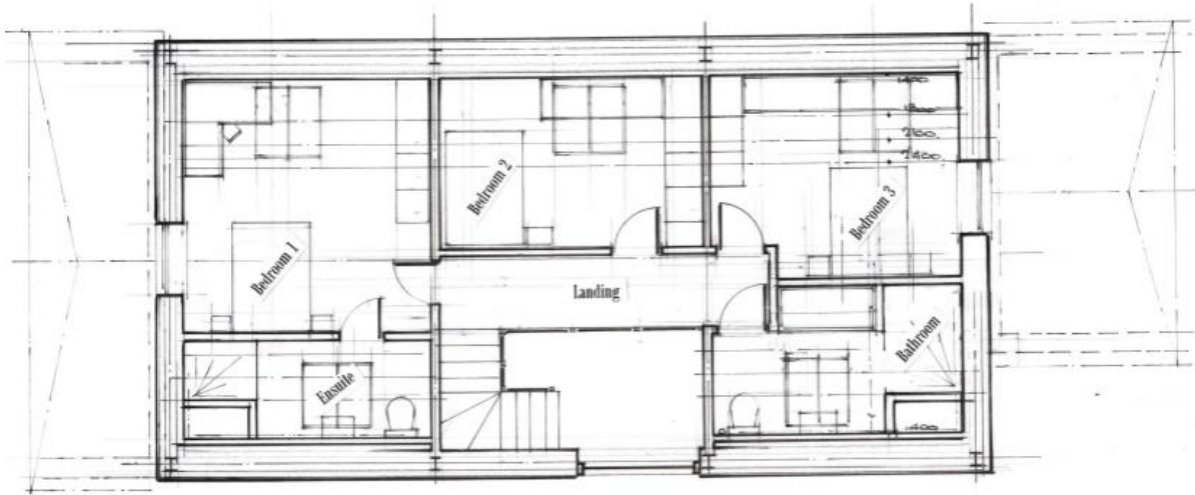
1: 50 @ A3



For continuation refer to drawing C3

Proposed Ground Floor layout

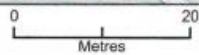
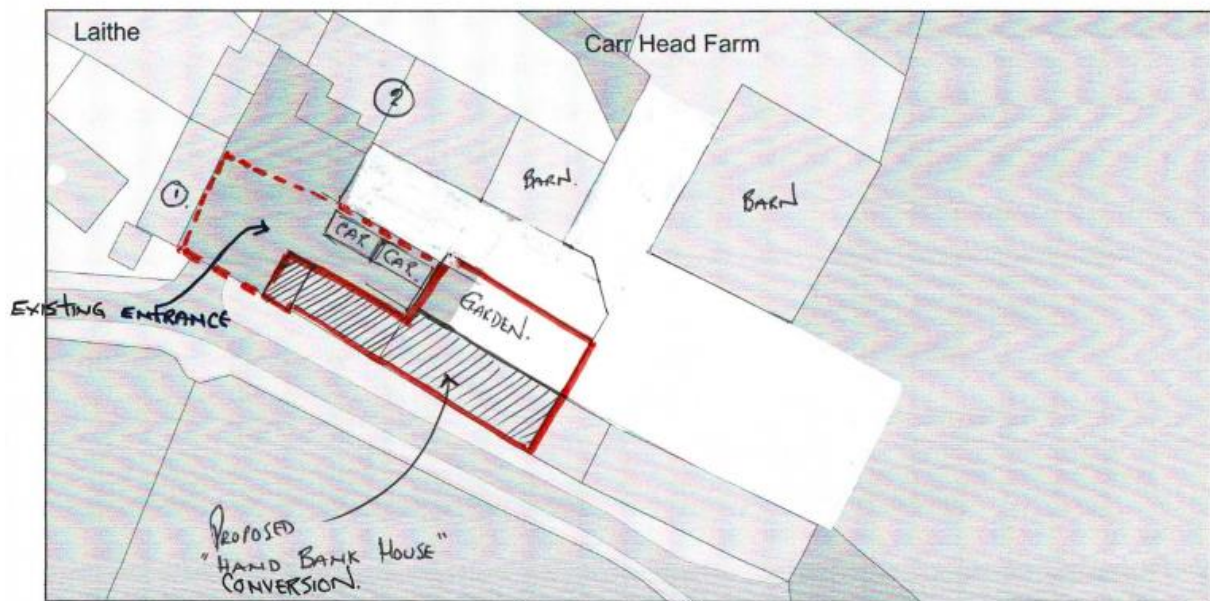
1: 50 @ A3



Proposed First floor layout
1 : 50 @ A3

C/04

Steve Camps



- Proposed Block Plan



Plan Produced for: Clara Payne
 Date Produced: 02 May 2023
 Plan Reference Number: TQRQM23122095743051
 Scale: 1:500 @ A4

Policy Context

Local Plan – Green Belt

The proposal has been submitted through the prior notification procedure for agricultural buildings to residential.

Schedule 2, Part 3, Class Q of the Permitted Development Order (GPDO) which permits a change of use of a building and any land within its curtilage from a use as an agricultural building to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order; or

development referred to in paragraph (a) together with building operations reasonably necessary to convert the building referred to in paragraph (a) to a use falling within Class C3 (dwellinghouses) of that Schedule.

Class Q allows for the following:-

in the case of—

(i) a larger dwellinghouse, within an established agricultural unit—

(aa) the cumulative number of separate larger dwellinghouses developed under Class Q exceeds 3; or

(bb) the cumulative floor space of the existing building or buildings changing use to a larger dwellinghouse or dwellinghouses under Class Q exceeds 465 square metres;

(ba) the floor space of any dwellinghouse developed under Class Q having a use falling within Class

C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 465 square metres;

(c) in the case of—

(i) a smaller dwellinghouse, within an established agricultural unit—

(aa) the cumulative number of separate smaller dwellinghouses developed under Class Q exceeds 5; or

(bb) the floor space of any one separate smaller dwellinghouse having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 100 square metres;

(d) the development under Class Q (together with any previous development under Class Q) within

an established agricultural unit would result in either or both of the following—

(i) a larger dwellinghouse or larger dwellinghouses having more than 465 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order;

(ii) the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeding 5;

The developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to:-

- a. transport and highways impacts of the development,
- b. noise impacts of the development,
- c. contamination risks on the site,
- d. flooding risks on the site,
- e. whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order, and
- f. the design or external appearance of the building,

- g. the provision of adequate natural light in all habitable rooms of the dwellinghouses.

Consultations

Hunshelf Parish Council – No objections

Pollution Control – No objections subject to condition

Highways – No objection subject to condition

Drainage – No objections, can be dealt with through Building Regulations

Representations

The application was advertised via site notice and neighbour letter, no comments have been received in response.

Assessment

The application is for the proposed change of use of existing agricultural buildings to 1 no. dwellinghouse including building operations reasonable necessary for conversion.

The proposal complies with the requirements of Schedule 2, Part 3, Class Q of the Permitted Development Order (GPDO) in that the proposal includes the development of a larger dwelling house but does not exceed 465sqm. In addition, the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order does not exceed 5, and no other permitted development rights have been used on the farm in the last 10 years.

The site is not on article 2(3) land, is not part of a SSSI, safety hazard area or military explosives storage area and the building is not listed nor is there a scheduled ancient monument on the site.

The site is not in an area at high risk of flooding and the drainage officer has confirmed that drainage can be dealt with by building control. The Pollution Control team have not raised any concerns with regard to contamination or noise issues.

With regards to the alterations proposed to the building and site, the regulations allow “*building operations reasonably necessary to convert the building*”. This includes the installation or replacement of windows and doors as proposed in this application. In addition, walls and roofs can be replaced so long as the works do not go beyond what could be reasonably considered a conversion.

In this case, a structural report has been provided which confirms that buildings are in a good structural condition. The report states:- ‘Whilst the structures are both quite old and have elements such as cladding/roofing materials that need replacing, the existing fabric of the building is intact and structurally sound. The buildings are therefore considered suitable for conversion into a residential dwelling. The buildings are not currently at risk from any extreme damp, insect or fungal infestation and there is no potential for unexpected settlement during the conversion process.’

The conversion utilises the existing envelope of the buildings. The internal rooms will all have natural light and the location/siting of the buildings are not impractical or undesirable for a change of use to residential, as the site has not been used for intensive farming activities for

some time. The external amenity areas of the dwelling is also sufficient and does not exceed the size of the buildings to be converted.

In terms of transport and highways impacts of the development, the Highways Officer has no objections to the proposal subject to a condition. There is sufficient parking and turning facilities on the site and the access is acceptable, therefore there should not be any significant impact upon highway safety.

It is therefore concluded that the proposed complies with Class Q.

Recommendation

Based on the above it is recommended that Prior Approval is granted under Schedule 2 Part 3, Class Q.1 (i) of the Town and Country Planning (General Permitted Development) (England) Order 2015.