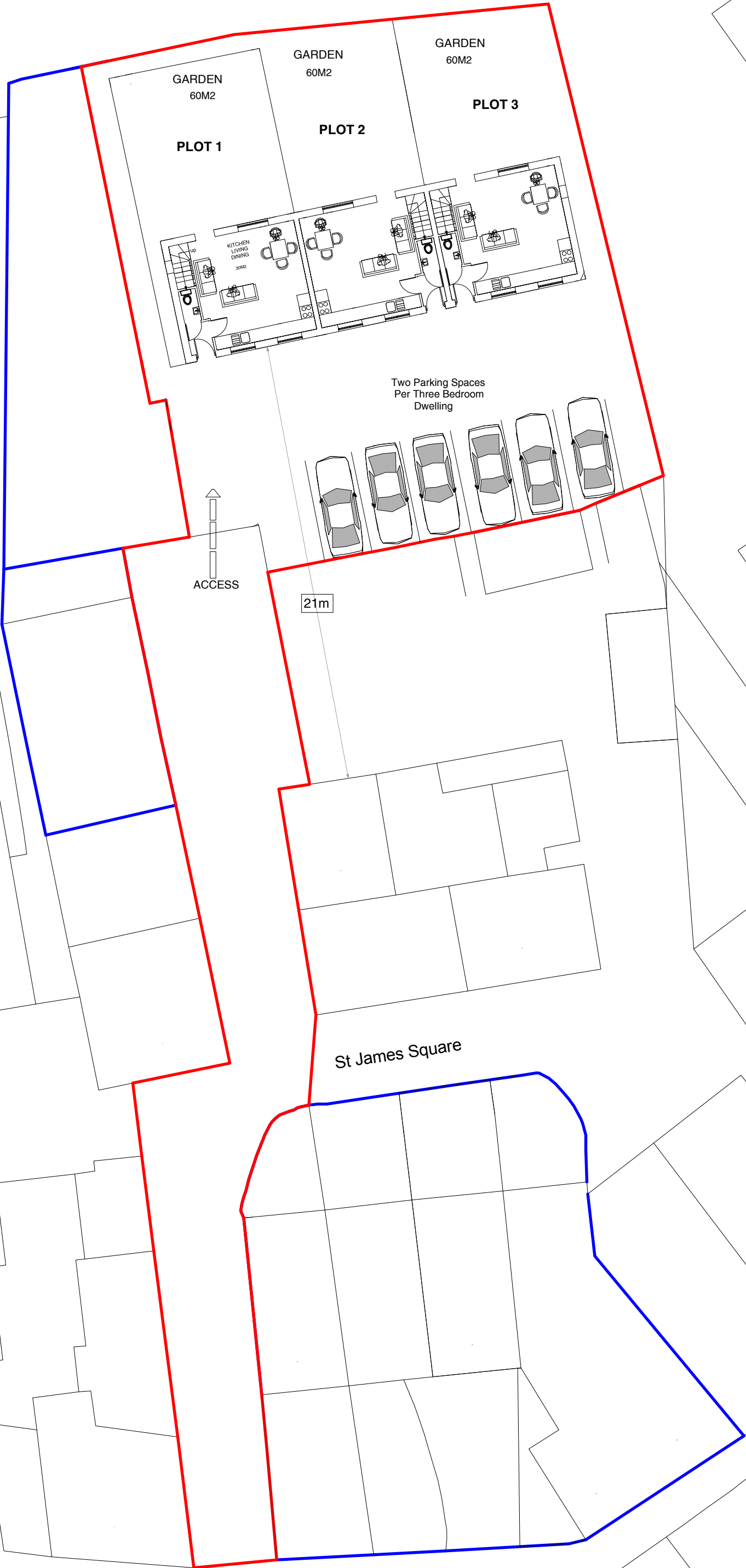
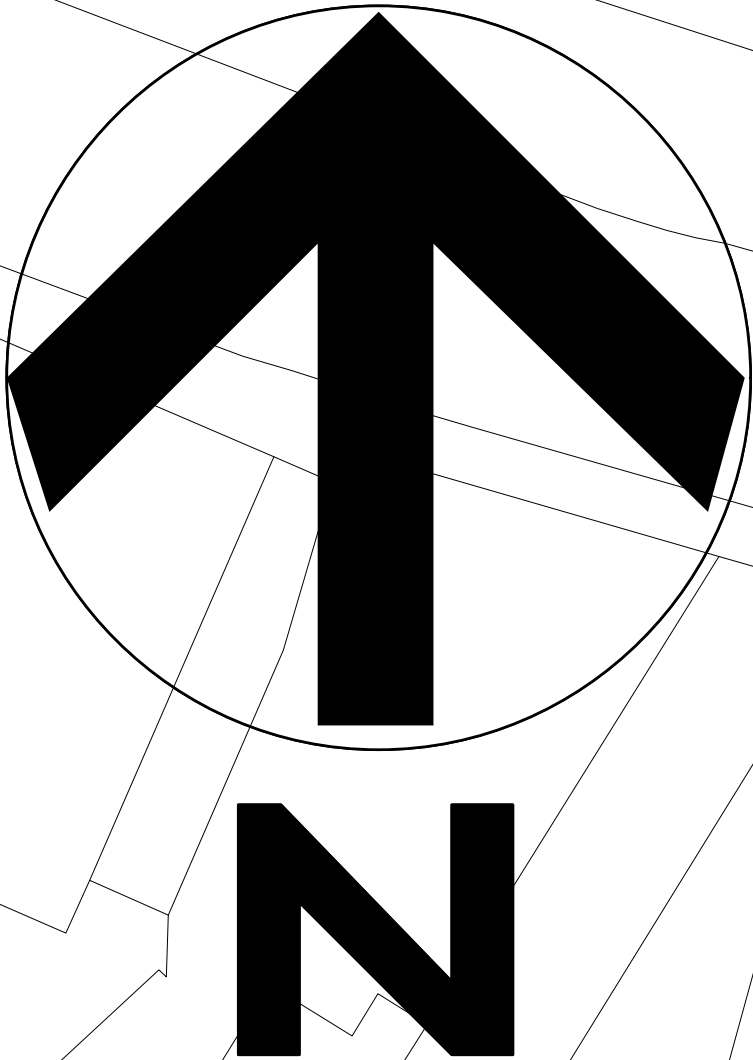


ACCESS FOR FIRE APPLIANCE

Due to the route to the site off the main road being unsuitable for a fire appliance the dwellings will be Using BS 9991 which allows access to any point (not just the front door) in a two storey house within 75m of the main road, for a three storey property with sprinklers throughout and a full alarm system.

As agreed with:-
Richard Perkins BSc(Hons), BA(Hons), C.Build E MCABE, AIFireE.
Senior Building Control Surveyor
Barnsley Metropolitan Borough Council

29th July 2015



notes

No dimensions to be scaled from this drawing which is the property of the company. It is not to be used or disclosed in any way except as authorised by the company. The client is responsible for providing architect with correct site boundary/ownership definitions and any covenants or assessments relating to the site. Architect will assume site boundaries as clearly defined, unless otherwise informed by client.

No work to be carried out without planning permission, until all pre start planning conditions have been discharged and until a building regulations application has been submitted. Any work carried out before building regulations approval has been granted will be strictly at clients own risk.

Any building works within 6m of a neighbouring home's foundations may require you to notify the owner of that property of your intentions at least one month before you start work.

Work to an existing party wall requires you to give at least two months notice of your intentions. If consent to carry out work cannot be reached procedures dealing with an dispute should be followed (the party wall act 1996).

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ON THE DRAWING PRIOR TO CONSTRUCTION.

ALL DIMENSIONS TO BE CHECKED ON SITE IF IN DOUBT ASK!

revisions

workstage : PLANNING

title: SITE PLAN (PROPOSED)

project: 3ND COTTAGES
LAND OFF ST JAMES SQUARE, HOYLAND

for D.LABAN

scale 1:200 at A1

drawing no P02

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