

# DESIGN AND ACCESS STATEMENT

Project number 4009-022  
Rev. XXX

Proposal for Specialist Living Care Home at Perseverance Street , Barnsley

WATSON BATTY  
ARCHITECTS



## Design and Access Statement

Specialist Living Care Home

4009-022 - Perseverance Street, Barnsley  
Perseverance Street  
Barnsley

Written by

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On behalf of

Exemplar Health Care Ltd

Purpose of Issue	Status	Revision	Date	Prepared By	Checked By
Planning Submission	Planning	-	26.05.2023	Kamila Kudlata	Gemma Bottomley

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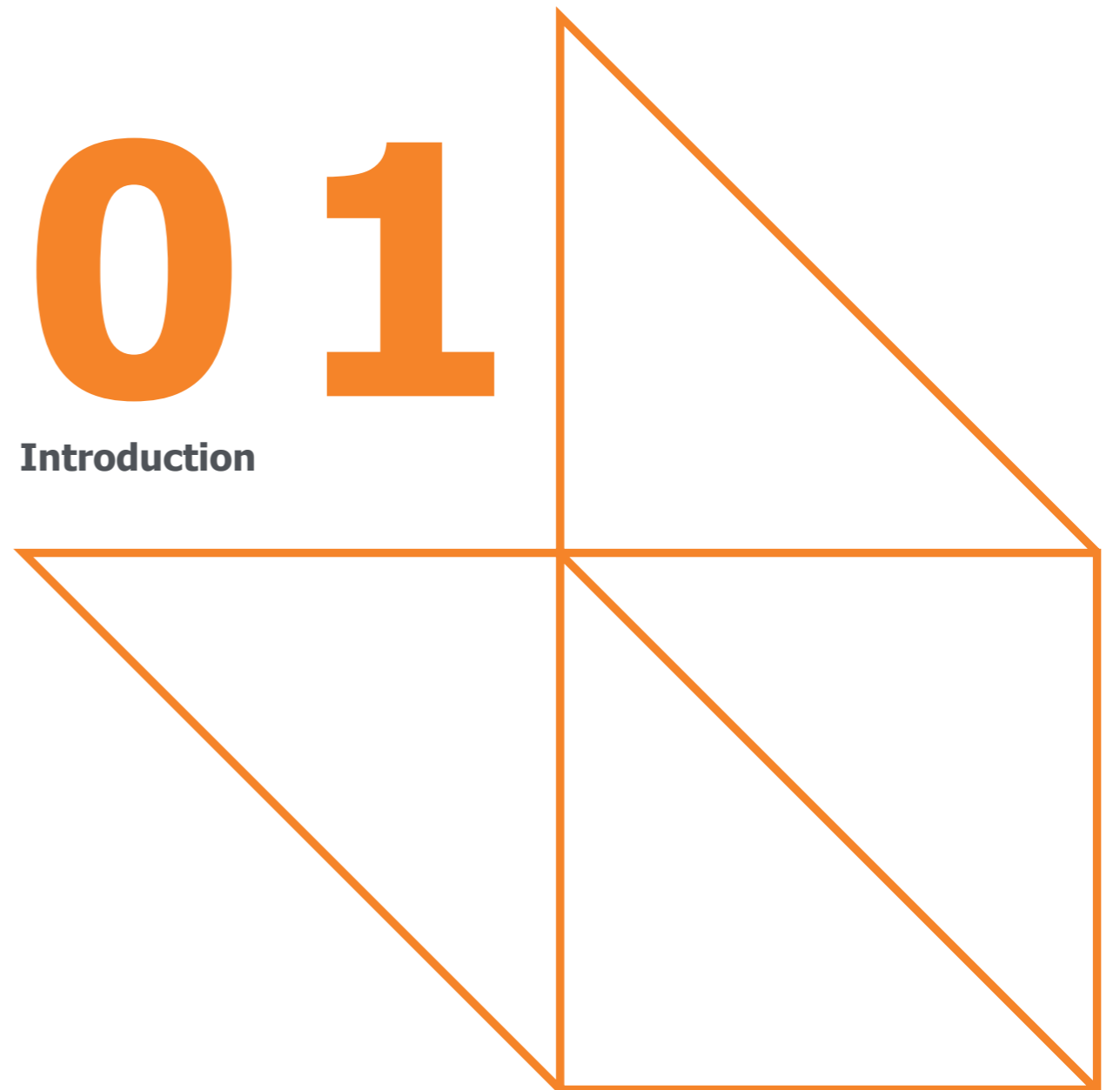
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**01**

**Introduction**



## 1.0 Introduction

### 1.1 Overview

This Design and Access Statement has been prepared by Watson Batty Architects Ltd in support of a planning application submitted by WSP on behalf of Cairnwell Developments Ltd for Exemplar HealthCare Services Ltd.

This document is intended to accompany a comprehensive suite of drawings and other supporting information for the site. A Planning Statement has been formulated by WSP therefore please refer to this for further information.

Over the past 20 years, Exemplar has established a reputation for delivering quality outcomes for service users by partnering with NHS commissioners and social care funders. They pride themselves on the quality of their service, staff, facilities, and the excellent care they deliver and are one of the leading providers of specialist nursing home care in the UK.

Exemplar has a purpose to make every day better for everyone they care for and work with. Care commissioners, families and residents trust forms an experienced approach which is developed around people and their unique needs, goals, and desired outcomes. Exemplar is passionate about helping people to improve their health and well-being by delivering truly person-centred care and achieving high-quality clinical outcomes.

Exemplar was established in 1999 as a training company providing adaptation courses for overseas nurses. Frustrated seeing young adults with complex care needs being placed in care homes for the elderly, Exemplar decided to focus the business on providing more appropriate nurse-led care facilities, where people could be supported to live life to the fullest.

In 2003, Exemplar opened Greenside Court, its first purpose-built home. It quickly became clear that this specialist service for younger adults made a significant difference to the lives of people living with neuro-disabilities, brain injury, stroke, Huntington's disease, learning disability and other complex needs.

Since then, Exemplar has expanded across Yorkshire & the Humber, the Northwest and the Midlands to provide ever more specialist homes where people are supported to maintain and develop their independence and live better lives.

Today, Exemplar operates over 40 specialist nursing homes across the UK, providing over 750 placements for people with complex disabilities.



Examples of projects delivered for Exemplar

## 1.0 Introduction

### 1.2 Purpose of a Design and Access Statement

The Purpose of a design and access statement (DAS) is to accompany a comprehensive suite of drawings and documents in support of a planning application. This document should act as a window for the reader, providing an opportunity for applicants and agents alike to explain the design process and reasoning behind the application. Describing the scheme to illustrate that it should be considered a suitable response to the site and its environment.

The DAS should be altered depending on the application, considering the schemes complexity and detail. The type of information required to explain the scheme may vary depending on the what the application is for. It should be tailored to each scheme to help provide an appropriate amount of information so that the application may be assessed adequately and fairly.

The Design and Access Statement should include design considerations, development and explanations of the design concepts and principles. Focusing on certain conditions on the Site or project specifics that might have influenced the design process. This document should provide a detailed clear and concise narrative in relation to how the scheme addresses the following areas;

#### Amount

Explains and justifies the amount of development proposed. Explains how the proposals respond to the physical, economic and social context of the application site and surrounding areas.

#### Layout

Explanation of the parameters setting out the way in which buildings, routes and spaces should be placed and orientated in relation to each other, including an explanation of how proposals will create safe and sustainable places and address crime prevention issues.

#### Scale

Explanation and justification of the parameters for the height, width and length of buildings in relation to their surroundings.

#### Landscape

Explanation and justification of the principles that will inform the future treatment of spaces in terms of hard and soft landscaping, and brief explanation of how the landscape will be maintained.

#### Appearance

Explanation and justification of the principles behind the intended appearance of the proposals, and explanation of how these principles will inform the final design of the scheme.

#### Access

Approaches to access and issues of access, both social and physical.

## 1.0 Introduction

### 1.3 Site Location

The proposed development is located off Perseverance Street in the town of Barnsley. The surrounding area comprises a blend of industrial and residential uses.

The site is located in a popular residential district, to the west of the town centre. The site is located close to the centre and within residential area, with Barnsley positioned north of Sheffield, to the east of Manchester and south of Leeds. With the Site located on the western edge of the town it has an excellent connection to M1 Motorway via the A628 (Dodworth Road).

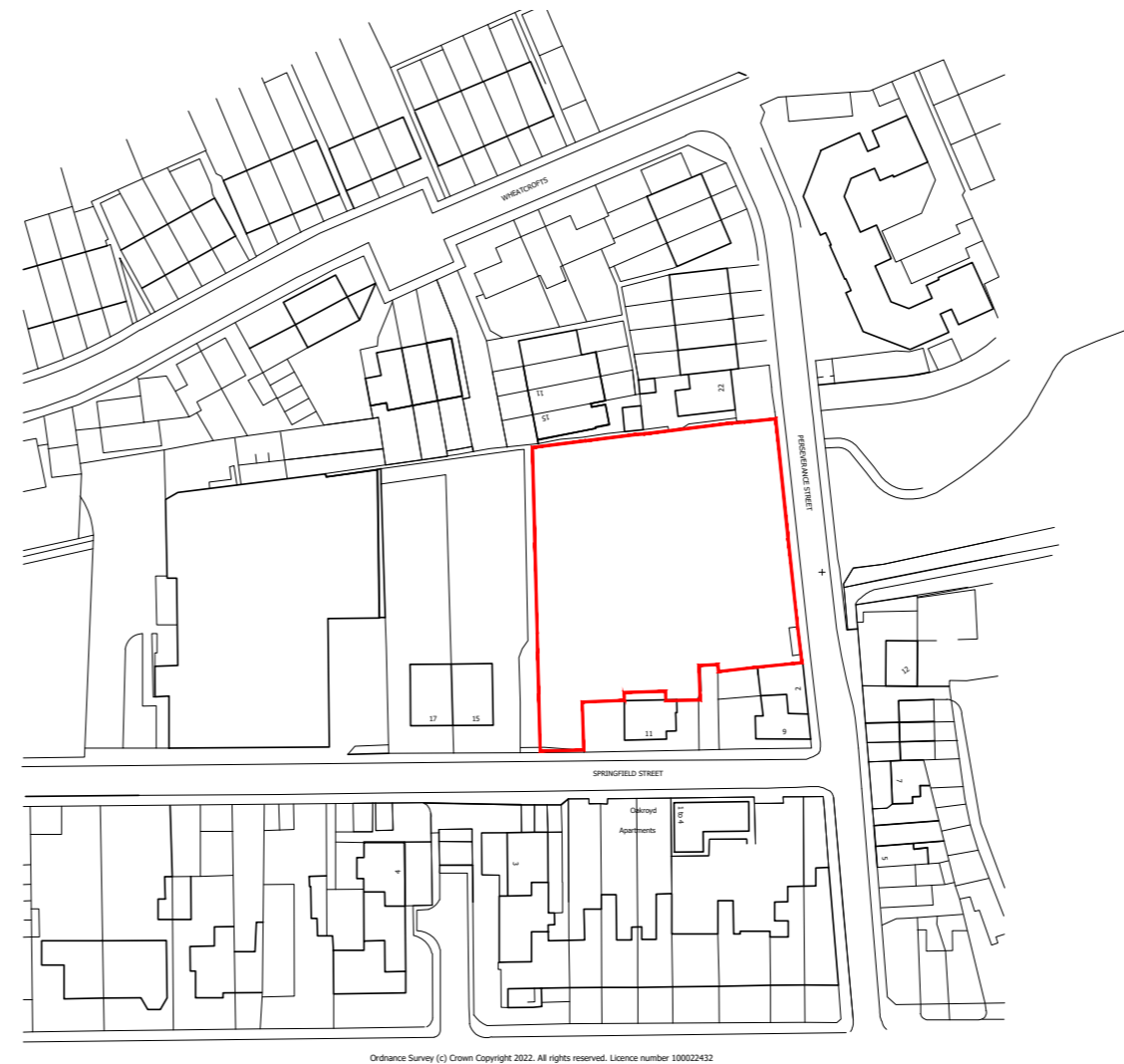
The site is located to the west of Perseverance Street with the new access formed off Perseverance Street with a shallow gradient to the building entrance.

To the Northern and Southern, residential properties have private gardens backing on to the site. These are a mix of two storey and three housing.

To the West there is an apartment block which is a two storey building recently redeveloped. It is accessed from Springfield Street and has associated car parking to the West of it.

Perseverance Street lies to the East of the site, beyond this are two storey traditional terraced housing.

The site is currently vacant following its previous use as an ancillary car park to the nearby Springfield House. This was a former Co-operative society building that has recently been redeveloped into apartments, via a request prior approval (planning ref: 2017/1052).



Site location plan



### 1.4 Amenities

The former car parking site is located within close proximity to the Barnsley city centre. Due to its location it has many local amenities within reasonable distance:

Less than 450m

- Premier Inn Hotel
- Primary School
- Train station

Less than 700

- Supermarket
- Police Station
- College
- Primary School
- Hospital

- Barnsley Hospital
- Barnsley College
- St Mary's C o E Primary School
- South Yorkshire Police
- Premier Inn (Central)
- Morrisons
- Horizon Community College
- Shawlands Primary School
- Barnsley Fire Station



Aerial view



## 1.0 Introduction

## 1.5 Site Description

### Amount

The proposal is for a 33-bed specialist care unit with associated car parking and landscaping to the site.

### Appearance

The building will be designed to fit in with the local architecture. Using traditional materials such as brick. The addition of gables and steps within the facade will help break up the building's mass whilst providing accents.

The building will also tie in with the existing forms within the local area ensuring the proposal suits the surrounding vernacular and is unobtrusive within the landscape whilst creating a building substantial enough to create a new and modern community space.

### Scale

The building consists of three main floor plates of accommodation, determined by the operational need, with the proposed units of 11 beds, at each floor, along with required ancillary accommodation such as living and dining areas spread across each floor.

The surrounding buildings are 2 and 3 storey in height with the 2 storey building positioned away from the site.

### Landscape

The site will be landscaped with communal gardens, to the South of the site with access out from the Hub to ensure the separation distances from the southern properties. The main entrance of the building is located on the Northern ensures a direct access and connection between the reception and green space area utilised by residents, providing external spaces for meeting and nurturing. The site perimeter will have a secure boundary line. Staff parking will be positioned to the North of the property and visitor and accessible parking is located at the main entrance.

For detailed Landscape proposals please refer to the Landscape Architects landscape Masterplan & layout drawings submitted as part of this application.

### Layout

The facility will consist of specialist care accommodation split over 3 floors. These units will accommodate nursing, and required amenity facilities, alongside dining room, quiet rooms, and lounge areas, shared on each floor.

Communal facilities within the building will include a residential therapy room and entrance hub facility with suitable meeting and sitting areas for visiting relatives. These spaces will be located adjacent to the vertical circulation upon entrance to the building to ensure optimum access for both residents and visitors is achieved for these spaces.

The space is designed to ensure privacy and security for the residents whilst also maintaining communal and visitor accommodation which can be utilised to provide areas of socialisation around the building.

### Access

Access to the building will be via level access up to the main reception. The location of spaces throughout the building have been designed to provide a space which works for the residents, and visitors, whilst also accommodating the main access point, fire exits and ancillary requirements.

## 1.0 Introduction

Residential  
Apartments

Proposed Site

Industrial Units

Railway

