

2023/1158

Conversion of agricultural building to 3 bed dwellinghouse with associated building operations (Prior Notification)

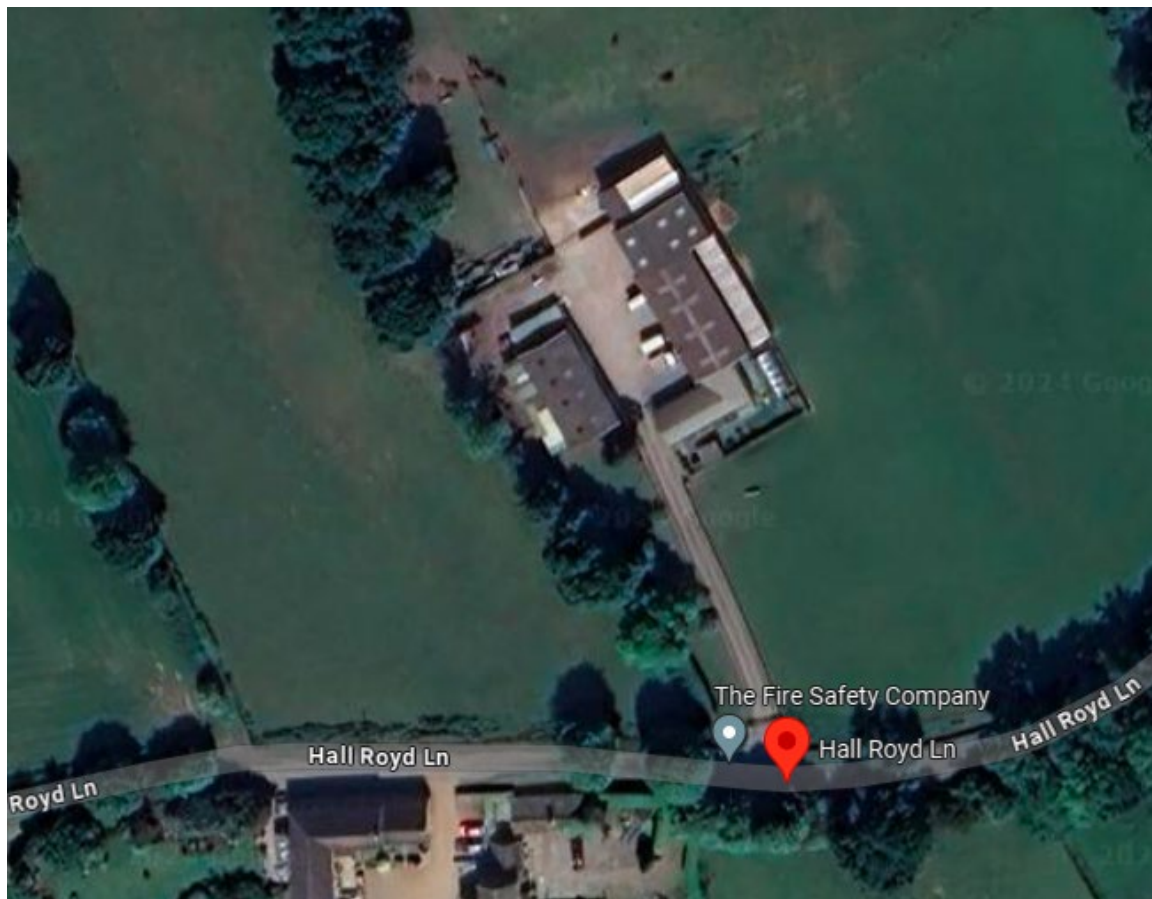
Hall Royd Farm, Hall Royd Lane, Silkstone Common, Barnsley, S75 4PP

Background

B/99/0176/PR - Erection of agricultural (game rearing) unit – Approved with conditions

Description

Hall Royd Farm is situated off Hall Royd Lane, just outside of the village of Silkstone Common. The building is a modern style agricultural building which was approved planning permission in 1999 as a game rearing unit. The building is of a typical agricultural style with a sandstone base, a steel frame and profile sheet cladding above. The building has two roller shutter doors and appears to be in a good structural condition. There are two small extensions to the building which include lean-to extensions to the north and western elevations. These are to be removed as part of this proposal. The agricultural buildings adjacent and surrounding land are used in connection with Hall Royd Farm.



Proposed Development

The application is a Prior Approval application and involves the change of use of the agricultural buildings into 1no 3 bed dwellinghouse, including building operations reasonably necessary for conversion.

There are two small extensions to the building which include lean-to extensions to the north and western elevations, which will be removed as part of the proposal.

The existing building is sandstone with profile steel cladding above, profile steel roof sheets, two large roller shutter doors and a pedestrian door in the northeast elevation. The sandstone base will remain the same. The grey steel cladding will be replaced with Western red cedar timber and insulated with Kingspan insulation boards. The grey steel roof sheets will be replaced with slate grey metal standing seam roofing which will be insulated with Kingspan and fitted with solar panels on the southwest slope for hot water and space heating. The two roller shutter doors and the pedestrian door will be replaced with glass surrounded by grey aluminium frames. Glass will be added to the northwest gable, and three windows will be added to the south west elevation, all surrounded by grey aluminium frames.

Services are existing - mains water, main electric and septic tank. Surface water is currently directed to a soakaway, but this will be harvested to a tank in the garden.

Two swift boxes will be added to the northeast elevation.

Externally the existing fence panels surrounding the small yard to the southwest of the building will be retained forming the garden, which will be mainly lawned with a semi-permeable crushed stone parking area, small sandstone flagged patio area and sandstone flagged walkway adjacent to the house

The agents state that the 'The applicants spend most days to-ing and fro-ing from the farmhouse across the road to the farm buildings so the journeys will be decreased by the applicants now living adjacent to the remaining farm buildings. There is a good existing access on to Hall Royd Lane with good visibility in both directions. There is ample room for parking of two vehicles, which will have space to turn, accessing and egressing in forward direction.'

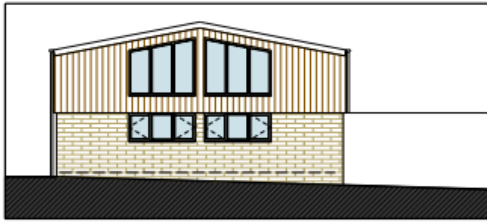
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REVISIONS:
 Revision List

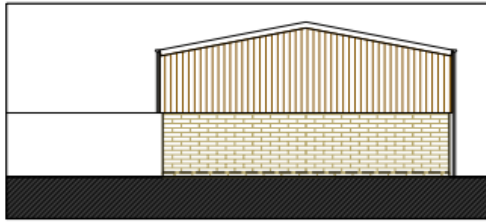
MATERIALS - PROPOSED
 Walls - Red Cedar cladding upper, stone lower
 Roof - Metal coated standing seam

Project/Client: **Hall Royd Bams / Woodier**
 Drawing Title: **Elevations - Proposed**
 Drawing Number: **2170/TP/006**
 Scale at A3: **1:100**

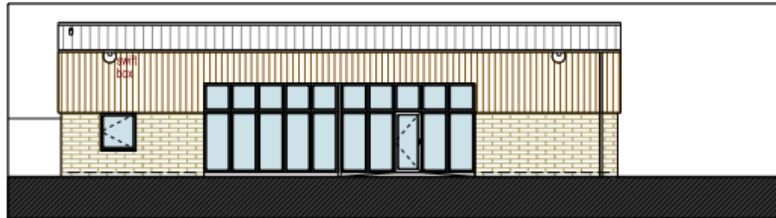
Date: Dec 23



North Elevation



South Elevation



East Elevation



West Elevation

DSA

design space architecture

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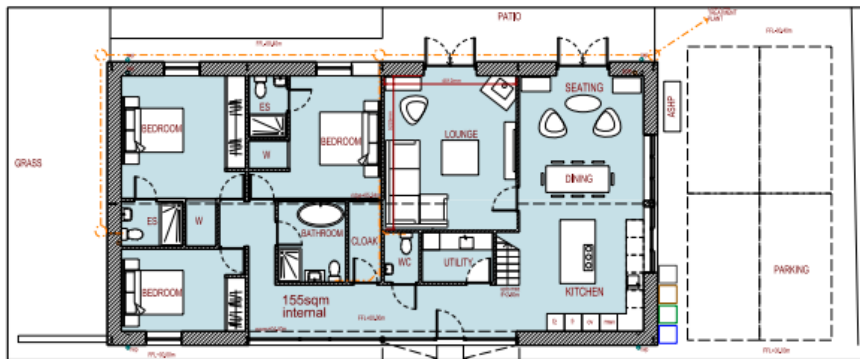
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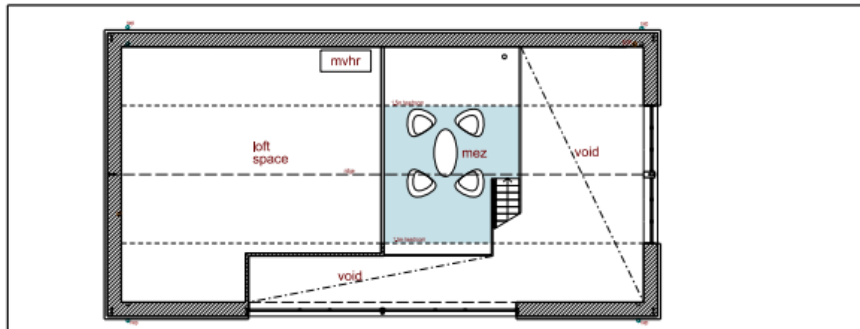
Revision:
 Revision List

Project/Client: **Hall Royd Bams / Woodier**
Drawing Title: **Floor Plans - Proposed**
Drawing Number: **2170/TP/005**
Scale at A3: **1:100**

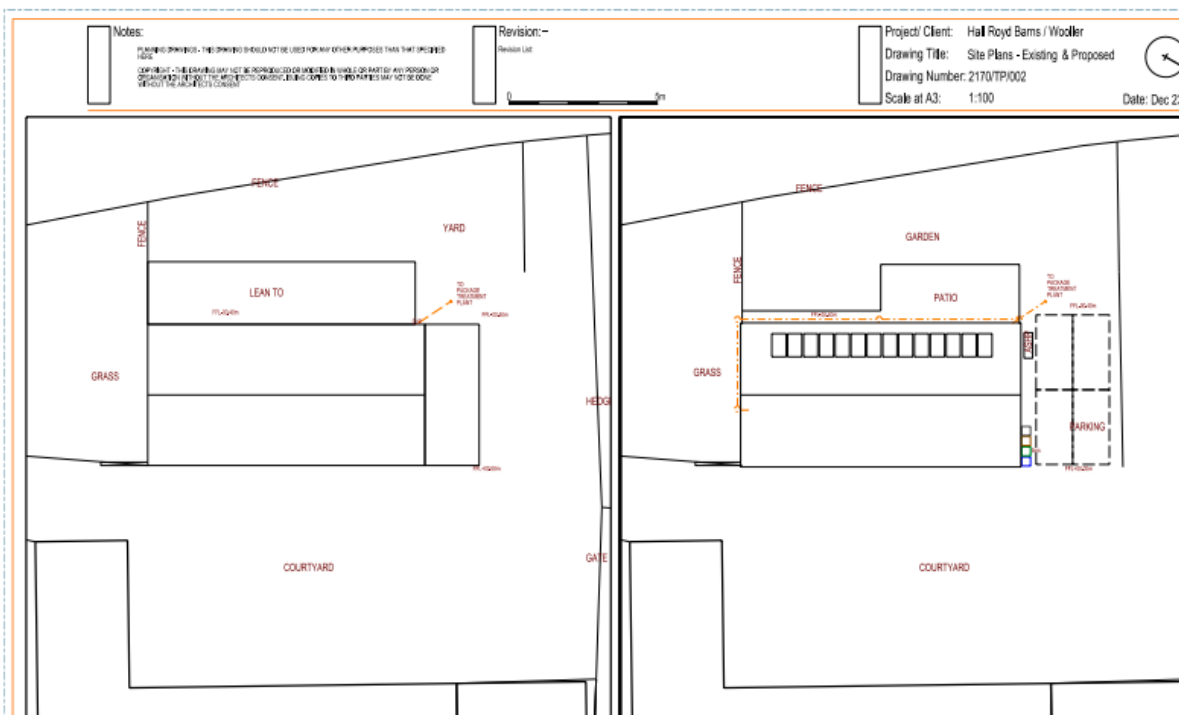
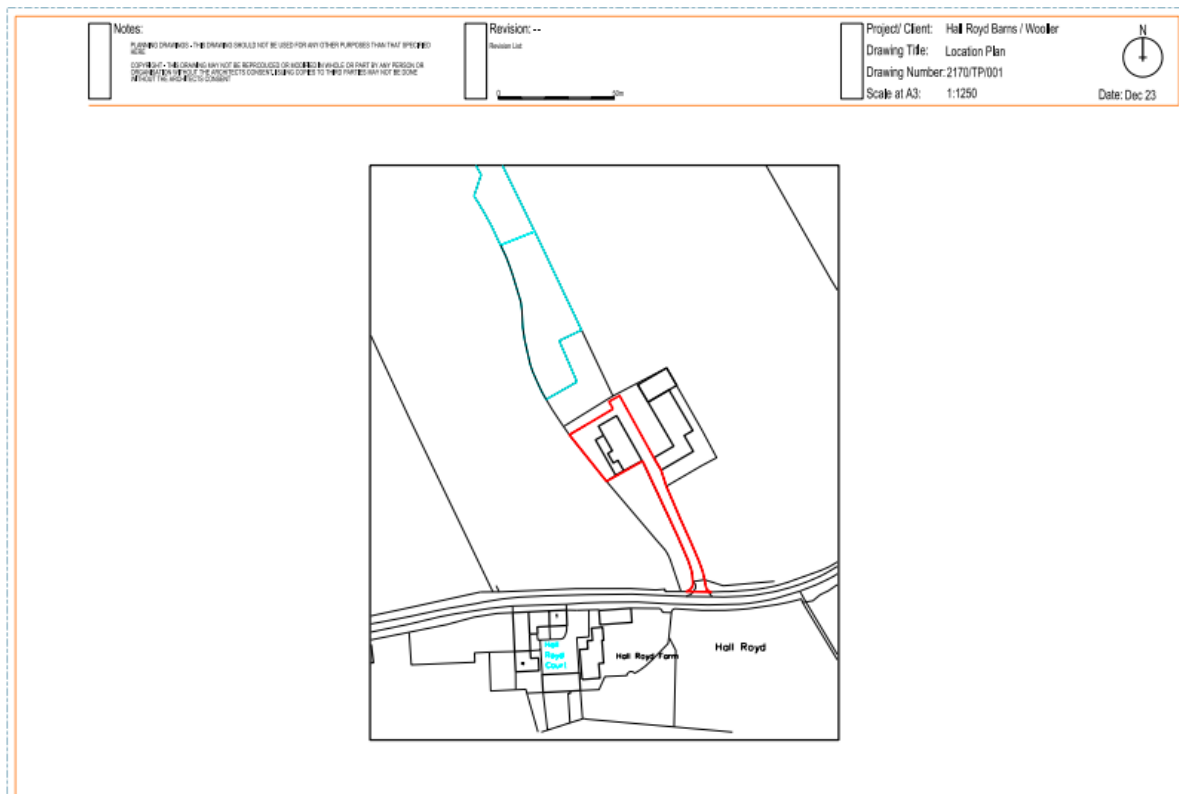
Date: Dec 23



Ground Floor Plan



Mezzanine Floor Plan



Policy Context

Local Plan – Green Belt

The proposal has been submitted through the prior notification procedure for agricultural buildings to residential.

Schedule 2, Part 3, Class Q of the Permitted Development Order (GPDO) which permits a change of use of a building and any land within its curtilage from a use as an agricultural

building to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order; or

development referred to in paragraph (a) together with building operations reasonably necessary to convert the building referred to in paragraph (a) to a use falling within Class C3 (dwellinghouses) of that Schedule.

Class Q allows for the following:-
in the case of—

(i) a larger dwellinghouse, within an established agricultural unit—

(aa) the cumulative number of separate larger dwellinghouses developed under Class Q exceeds 3; or

(bb) the cumulative floor space of the existing building or buildings changing use to a larger dwellinghouse or dwellinghouses under Class Q exceeds 465 square metres;

(ba) the floor space of any dwellinghouse developed under Class Q having a use falling within Class

C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 465 square metres;

(c) in the case of—

(i) a smaller dwellinghouse, within an established agricultural unit—

(aa) the cumulative number of separate smaller dwellinghouses developed under Class Q exceeds 10; or

(bb) the floor space of any one separate smaller dwellinghouse having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeds 100 square metres;

(d) the development under Class Q (together with any previous development under Class Q) within

an established agricultural unit would result in either or both of the following—

(i) a larger dwellinghouse or larger dwellinghouses having more than 465 square metres of floor space having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order;

(ii) the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order exceeding 5;

The developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to:-

- a. transport and highways impacts of the development,
- b. noise impacts of the development,
- c. contamination risks on the site,
- d. flooding risks on the site,
- e. whether the location or siting of the building makes it otherwise impractical or undesirable for the building to change from agricultural use to a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order, and
- f. the design or external appearance of the building,

g. the provision of adequate natural light in all habitable rooms of the dwellinghouses.

Consultations

Silkstone Parish Council – Raises concern with regard to the residential use of agricultural buildings and conflict with neighbourhood plan

Conservation – No objections

Pollution Control – No objections

Highways – No objection subject to condition limiting occupation of dwelling

Drainage – No objections

SYMAS – No objection subject to informative and no significant groundworks

Representations

None received

Assessment

The application is for the proposed change of use of existing agricultural buildings to 1no. dwellinghouse including building operations reasonable necessary for conversion.

The proposal complies with the requirements of Schedule 2, Part 3, Class Q of the Permitted Development Order (GPDO) in that the proposal includes the development of a larger dwelling house but does not exceed 465sqm. In addition, the cumulative number of separate dwellinghouses having a use falling within Class C3 (dwellinghouses) of the Schedule to the Use Classes Order does not exceed 10, and no other permitted development rights have been used on the farm in the last 10 years.

The site is not on article 2(3) land, is not part of a SSSI, safety hazard area or military explosives storage area and the building is not listed nor is there a scheduled ancient monument on the site.

The site is not in an area at high risk of flooding and the drainage officer has confirmed that drainage can be dealt with by building control. The Pollution Control team have not raised any concerns with regard to contamination or noise issues.

With regards to the alterations proposed to the building and site, the regulations allow *“building operations reasonably necessary to convert the building”*. This includes the installation or replacement of windows and doors as proposed in this application. In addition, walls and roofs can be replaced so long as the works do not go beyond what could be reasonably considered a conversion.

In this case the building appears to be in a good structural condition. The conversion utilises the existing envelope of the existing building and the removal of lean to extensions. The internal rooms will all have natural light and the location/siting of the building are not impractical or undesirable for a change of use to residential, as the dwelling would be used in connection with the existing farm buildings adjacent and occupied by the applicant/occupier of Hall Royd Farm. The external amenity areas of the dwelling is also sufficient and does not exceed the size of the building to be converted.

In terms of transport and highways impacts of the development, the Highways Officer has no objections to the proposal subject to a condition restricting the use of the dwelling. The Highways Officer has stated that 'In the application form it is suggested that this proposal will allow the applicant to live adjacent to their farm building rather than remotely, therefore reducing the number of trips being made associated with the agricultural use of the site.

Drawing no. 2170/TP/002 shows off-street parking for up to four vehicles which is acceptable from the perspective of the advice given in Barnsley MBC's Parking SPD. Bin storage is shown, and it is noted that the dragging distance to a suitable collection point adjacent to the public highway is well over the recommended 25m; however, it is acknowledged that there is no way of overcoming this and that this situation is common of rural agricultural dwellings.

Under normal circumstances, Highways DC officers would ask that the first 10m of the access is widened to a minimum of 4.5m to allow vehicles to get off the public highway; similarly, passing places should be provided to eliminate any issues with conflicting movements of vehicles. However, in this instance, it is anticipated that dwelling would remain ancillary to the farm rather than being an entirely independent property that could be placed under separate ownership at some point in the future.

As such, so long as there is a condition in place to ensure this dwelling is limited to being for residential use concomitant to Hall Royd Farm, Highways DC officers would not wish to raise objection to the scheme.'

There is sufficient parking and turning facilities on the site and the access is acceptable, therefore there should not be any significant impact upon highway safety subject to the dwelling being occupied by the owners/occupiers of the existing farm on site, which should be conditioned as part of the approval. The applicant has agreed to this condition.

It is therefore concluded that the proposed complies with Class Q. Concerns have been raised by the Parish Council in terms of a residential use of the agricultural buildings, and compliance with the Neighbourhood Plan, however the principle of the development is not something that can be taken into account when assessing a Prior Notification application, subject to the above criteria being fulfilled.

Recommendation

Based on the above it is recommended that Prior Approval is granted under Schedule 2 Part 3, Class Q.1 (i) of the Town and Country Planning (General Permitted Development) (England) Order 2015.