

Planning Department
Barnsley MBC
PO Box 634
Barnsley
S70 9GG

Ref 21.37

21 June 2022

Dear Sir

**Re: Extension to dwelling and erection of garages
Thistle Close Cawthorne Basin Cawthorne Barnsley S75 4DP**

This letter comprises supporting information to accompany a Householder Planning application for the above works which has been submitted to Barnsley MBC. The submission documents include:

- Householder Application Form
- Photographic Survey
- OS1 Site Location Plan
- S01 Existing Block Plan
- S02 Building Surveys
- P01B Proposed Plans and Elevations
- P02 Proposed Block Plan

1.0 Proposals

The proposals involve the demolition of a single storey rear extension to a dwelling and a detached garage; and their replacement with a two-storey rear extension and the erection of a detached garage with workshop.

2.0 Site Location

The site is located at Thistle Close Lane Head Road Cawthorne Basin Cawthorne Barnsley S75 4DP. It is part of a small hamlet situated on the north side of Lane Head Road. A Site Location Plan is provided in the application documents.

3.0 Assessment

3.1 Use

The BMBC Local Plan Maps indicate the site as Green Belt.

The existing use is residential with residential dwellings to both sides and the rear.

The alterations have been considered against the councils Green Belt Policy and the National Planning Policy Framework.

Policy GB1 Para 18.2 of the Adopted Local Plan states that new buildings are inappropriate development in the Green Belt but that exceptions to this include:

Fairfield House Berneslai Close off Churchfield Barnsley S70 2FL
T: 01226 286256 M: 07881898300 E:mark@mboothdesign.co.uk

Directors: Mr MJ Booth MCIAT Mrs J Booth

MBooth Design Ltd Registered in England and Wales Registration No 7662634 Registered Address 2 Western Street Barnsley S70 2BP
VAT Registration No 129 6011 28



- *The extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.*

Policy GB1 Para 18.3 also states that:

- *All such buildings still have to be considered in terms of their impact upon the openness of the Green Belt and whether they cause other harm.*

In this case the extension is located at the rear of the host dwelling with a lower floor level, it is set back from the flanking gable walls and has a lower roof level.

The proposed garage building is a replacement of an existing garage located within the rear garden. The garage has been repositioned closer to the house for practical reasons.

Schedule of Floor Areas:

Existing House	Extension	Total
Ground Floor 56.5m ²	55.9m ²	112.4m ²
First Floor 56.5m ²	39.3m ²	96.4m ²
Garage 22.4m ²		52.5m ²
<u>Total</u>	<u>135.4m²</u>	<u>261.3m²</u>

The alterations and extension represent an increase in floor area of 93% of the existing floor areas.

The combined floor area of the extension and the garage is less than the floor area of the existing dwelling (not including the cellar or extg single storey rear extension) and the garage, and therefore are not disproportionate.

The position, scale and size of the extension and garage are such that there will be no adverse impact upon the openness of the green belt and it could be argued that the removal of the garage from the rear garden would improve openness.

3.2 Amount

The site area is 0.25Ha. Floor areas are provided above.

The existing dwelling has 3 bedrooms and a single garage. The proposal is to increase the size of the dwelling to a 4 bedroom house with a larger garage including a workshop for private (non-commercial) use. The garage is required for the parking of a car and has been designed as such, with additional space for storage.

3.3 Layout

The position and orientation of the proposed dwelling is such that it will have no adverse impact in respect of overlooking or overbearing on any of the neighbouring properties.

The existing access has been retained and as there are unlikely to be any significant increase in the intensity of the use, no alterations are proposed.

The current arrangement does not allow for any maneuvering of vehicles within the site which can be accommodated as part of the proposals as well as parking for up to 4 vehicles.

The site slopes away to the rear such that the south side of the rear garden is approximately 1 meter lower than the north side which provides the opportunity to reduce the floor levels within the extension and provide better access to the garden. This in turn helps to reduce the scale of the rear extension.

There is space for the storage of waste and recycling bins on site and these would be brought to the roadside for collection.

Flood Risk

Part of the site is located within Flood Risk Zones 2.

Anecdotal evidence from the current owners suggests that there has been no flooding at the site for the last 30 years. They report that There was a historic flood event which affected the garden over 30 years ago caused by surface water from the road running into the site and collecting in the lower rear garden.

This was corrected the installation of a highway drain and there has been no re-occurrence.

3.4 Scale

The existing dwelling is two storeys with a maximum height to the eaves (measured at the rear) of 5.8 meters. The proposed rear extension shown below has an asymmetric roof where the eaves is 530mm lower on the SE side and 2.7m lower on the NW side. The ridge of the rear extension sits just below the ridge of the host dwelling and the overall width of the extension is less than the existing dwelling.

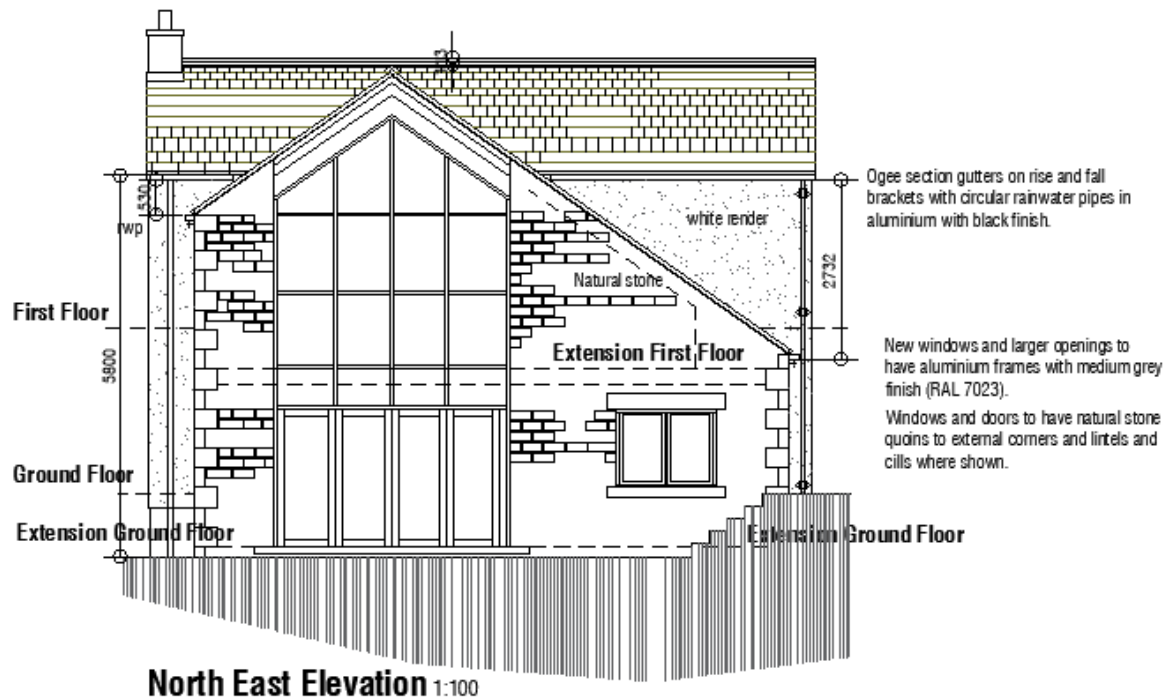


Fig 01. Rear view of house and extension.

The position, size and scale of the extension means that it is subservient to the host dwelling. It can easily be accommodated together with the garage within the large gardens and despite the increase in floor area there is no resulting overdevelopment or overbearing on neighbours or boundaries. The works are wholly located at the rear and so do not affect the views of the front of the house from Lane Head Road where the appearance of a characterful cottage is maintained.

3.5 Landscaping

The site benefits from a number of large trees and hedges located around the perimeter boundaries. None of these are affected by the proposed works and no tree or hedge removal is proposed. Details of hard landscaping are provided on the plans.

3.6 Appearance

The rear extension is two storeys with an asymmetric pitched roof resulting in a 'cat-slide' to the north west.

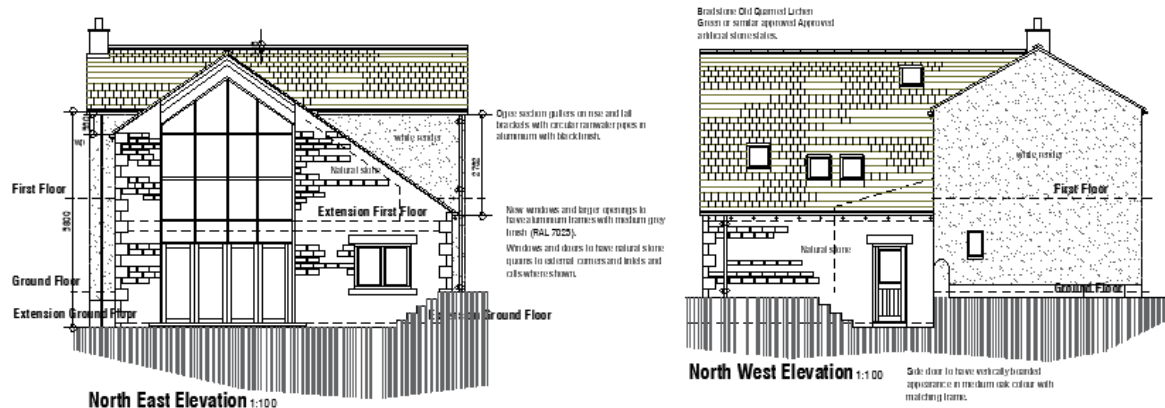


Fig 02. Rear and side elevation.



Fig 03. View of Thistle Close (right) and adjacent cottages from Lane Head Road.

Thistle Close is the only rendered house within the hamlet and all other dwellings are built of stone. The use of stone for the extension and garage is considered a suitable choice to blend with the adjacent buildings and emphasize the host dwelling.



Fig 03. Alternative road side view showing sloping roofs to rear of adjacent cottages – similar to proposed 'cat-slide'.

The proposed garage is a simple single storey building with a pitched roof utilizing the same materials as the extension to the house. It is similar to the existing garage which is to be removed, although made wider to accommodate the parking space requirements of the SY Residential Design Guide and provide space for additional storage and a workshop.

3.7 Access

The proposals is to extend an existing dwelling on a sloping site. The vehicular access and approach to the front of the house are fully accessible to wheelchair users however the rear extension necessitates steps down to accommodate the site levels. The site is considered to be in a highly sustainable location close to local shops, schools and facilities. It has good public transport links to the villages and local towns.

4.0 Summary

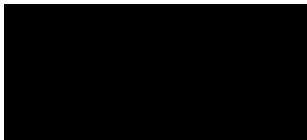
The proposals comprise the removal of an unattractive single storey rear extension to the original cottage and a detached garage, and their replacement with a two-storey rear extension and larger garage and workshop. The character and charm of the original cottage is most evident in its appearance from the roadside and this is unaffected.

The proposed extensions and alterations are of a scale that is not disproportionate and located such that they have no adverse impact upon the openness of the Green Belt location. The site is easily large enough to easily accommodate a dwelling of this size and retains large private gardens without compromising the privacy or amenity of any of the neighbours.

The proposals are Local and National Planning Policy compliant and look forward to receiving the council's support.

Please don't hesitate to contact me should you have any queries or require any further information.

Yours sincerely



MJ Booth
MBooth Design Ltd