

December 2017

Design & Access Statement

The Pumphouse, Land Adjacent Springhouse, Stottercliffe



1.1.The Site & Surrounding

The site is located on the edge of the semi-rural village of Thurlstone approximately 0.5 mile from the market town of Penistone and 7 miles from Barnsley and access to the M1 motorway network. Thurlstone is predominantly residential but with some industry located alongside the river Don. Although the majority of buildings are located on the northern valley side, the village spreads out to the southern valley on which the site is located. Facilities within Thurlstone consist of primary school, public house and takeaway, further amenities are located within Penistone and Penistone Grammar School is nearby. Central Thurlstone is a conservation area noted for its stone built weavers cottages, the wider area consists of a mixture of stone, brick and render houses with slate, concrete tile or stone slate roofs.

Surrounding the site is a mix of old stone houses, more recent brick and render and a recent housing developments of 14 large stone built homes.

The site measures approximately 2,000sqm, and is currently in the grounds of Springhouse a detached two storey stone built property to the west of the application site. Springhouse is accessed off Stottercliffe Road along with approximately 8 other properties; these are at a higher altitude than the application site. The Trans Pennine Trail (formerly Manchester railway line) lies directly to the south up a steep incline, the site can be seen from the trail through the tree cover. To the East is the Hornthwaite development, two of these houses can be seen from the site and they are approximately 8m higher than the lowest part of the site.

Trees line the railway bank to the south and also the western boundary, there is a hedge to the eastern boundary and small dry stone retaining wall and a dry stone wall and shrubs to the northern boundary. The site slopes from the east up to the northern boundary, with a change in level of approximately 7m.

A public footpath passes the entrance to Springhouse along its eastern boundary; the footpath is screened by high hedges.

At the entrance to the site sits a two storey brick and slate building which was originally a pump house for the water company, but is now used as a workshop by the applicant; the area around the pump house is level before sloping steeply in a number of man-made terraces with vegetable planting, there is a large greenhouse central to the site, much of the rest of the site is overgrown.

A cast iron water main runs across the site, this requires a 3m standoff to both sides for future maintenance, the water main is shown on the technical drawings the development has been designed to comply with the requirements in the properties deeds.



Aerial View

1.3. Consultation

The response below to the pre application enquiry was received from planning officer Laura Bibby on the 24th Nov 2017.

All comments were taken on board, including the red line boundary amended in line with Highways comments and a tree report supplied as part of the application.

With regards to the siting & design comments: The building has been moved to the south by approximately 1m to increase the distance to the neighbouring property (No6); bedrooms have been rearranged so that there is now only a guest bedroom with a north facing window towards No6, fencing and dense screening from existing trees prevent any overlooking issues to this ground floor window, a rooflight has been added to this room to improve daylight and as this will only be an occasional bedroom it is felt the aspect of fence and trees at 2.5m from the window is acceptable given there are 3 other bedrooms with east, west or south facing aspects available for this single couple property.

The site is set within the Housing Policy area as allocated within the UDP Proposals Map. The site is set outside of the Thurlstone Conservation Area.

As the site is set within the housing policy area, the principle of a dwelling on this site is acceptable subject to compliance with the guidance set within the SPD – Designing New Housing Development and the South Yorkshire Residential Design Guide.

I have no objection to the design put forward, however given the proximity of the proposed dwelling to the properties on Stottercliffe Road (in particular number 6), careful consideration must be made to the position of the dwelling and habitable room windows. This is to ensure that there is no significant overbearing/overshadowing impact and overlooking to habitable room windows and private garden areas is restricted. Guidance within the SPD states that there should be 21m separation between habitable room windows, 12m from habitable room windows and a blank elevation and 10m between first floor habitable room windows and the boundary with a private garden. I note that the proposal does not currently meet these separation distances, however sections have been provided showing the levels and proposed screen fencing. It would be preferable to alter the design and siting of the dwelling so that it is away from other properties, in line with the separation distances above and to re-arrange the internal layout to show the habitable room windows facing the south.

I have also received the following responses from the consultees which should be taken into consideration when designing the proposal:-

Highways

The following comments have been made by our Highways Officer: -

‘Stottercliffe Road is a Public Right of Way – Penistone UD Footpath no: 82. Stottercliffe Road is a metalled but potholed single track route. Access to the property is taken from Stottercliffe Road via the access to Stone House, which will become a shared access. It is proposed to install gates at the access to the proposed dwelling.

The proposed garage's internal dimensions do not meet the standards in the South Yorkshire Residential Design Guide, in terms of length and should be amended accordingly. However, there is sufficient room for the parking and turning of 2 no. cars outside the garage.

The red line boundary must include a means of access to an adopted highway.

Subject to resolution of the above, it is not wished to raise highway objections to the proposals should a formal planning application be submitted. However, I would wish to see the following conditions attached to any subsequent permission granted:-

The parking/manoeuvring facilities indicated on the submitted plan shall be surfaced in a solid bound material (i.e. not loose chippings) and made available for the manoeuvring and parking of motor vehicles prior to the development being brought into use, and shall be retained for that sole purpose at all times.

Reason: to ensure that satisfactory off-street parking/manoeuvring are provided, in the interests of road safety and the free and safe flow of traffic, and in accordance with Core Strategy Policy CSP26 – New Development and Highway Improvement.

Pedestrian intervisibility splays having the dimensions 2m x 2m shall be safeguarded at the drive entrance/exit such that there is no obstruction to visibility at a height exceeding 600mm above the nearside channel level of the adjacent highway (Stottercliffe Road), in the interests of road safety.

All surface water run off shall be collected and disposed of within the site and shall not be allowed to discharge onto the public highway (Stottercliffe Road), in the interests of road safety.

Development shall not commence until details of measures to prevent mud/debris from being deposited on the public highway to the detriment of road safety, have been submitted to and approved in writing by the Local Planning Authority and such measures shall be retained for the entire construction period, in the interests of road safety.

Vehicular and pedestrian gradients within the site shall not exceed 1:12 to ensure safe and adequate access.'

SYMAS

Response attached. 'Coal Authority Standing Advice would be applicable.'

Tree Officer

'The site contains a significant number of trees which will need to be considered during the design of the final layout submitted. Understandably at this stage no tree survey has been provided and as such it is not possible to offer particularly meaningful comments on the indicative layout. However, as noted in the design and access statement a tree survey will be required with the application and this will need to be used to inform the layout. If any trees are implicated in the proposals then an arboricultural impact assessment will also be required as part of the application.'

Drainage

'I would confirm that in my opinion the details provided are sufficient and that I have no further observations to make with respect to land drainage.'

Conclusion

In light of the above responses there are no objections to the proposal put forward in principle; subject to the scheme being designed in line with the comments from the consultees.

2.1. Access

The proposal will use Stottercliffe Road for access, no alteration is required to the highways access on Manchester Road, a new 1.8m drystone wall and automatic gates will be formed to separate the dwelling from Springhouse as shown on the plans.

Although the new dwelling will create a slight increase in vehicle movement along Stottercliffe, it should be considered that 1 property which was served by Stottercliffe road is now accessed from Hornthwaite Close and also 2 detached properties have been converted into 1, so there has been a 2 property decrease in vehicle movement on the Stottercliffe in recent years.

Emergency services can gain access to the property from the Stottercliffe and there will be a turning circle for a fire appliance provided on site, the gate will be fire service accessible.

Although the dwelling is built into a sloping site and utilises an existing building, it is intended that the building can be readily adapted for disabled access in the form of an external ramp to overcome the existing step into the building and an area set aside for a platform lift in the stairwell, given the nature of the site it is considered that this will comply with part M of the approved documents.

The driveway will provide parking for at least two vehicles in line with BMBC planning policy.

Refuse & recycling area is provided to the side of the property and will be transported to Manchester Road for weekly roadside collection

A new connection will be made to the drain serving Springhouse which feeds directly to the mains sewer on the Stottercliffe Road

Surface water will be dealt with on site with soakaways.

The site is currently a garden area with greenhouses and bedding areas and there is little opportunity for protected species so it is not felt a wildlife survey is required.

Although there is a culvert that runs adjacent to the site, the site is not within an area at risk of flooding according to the Environment Agency flood map.

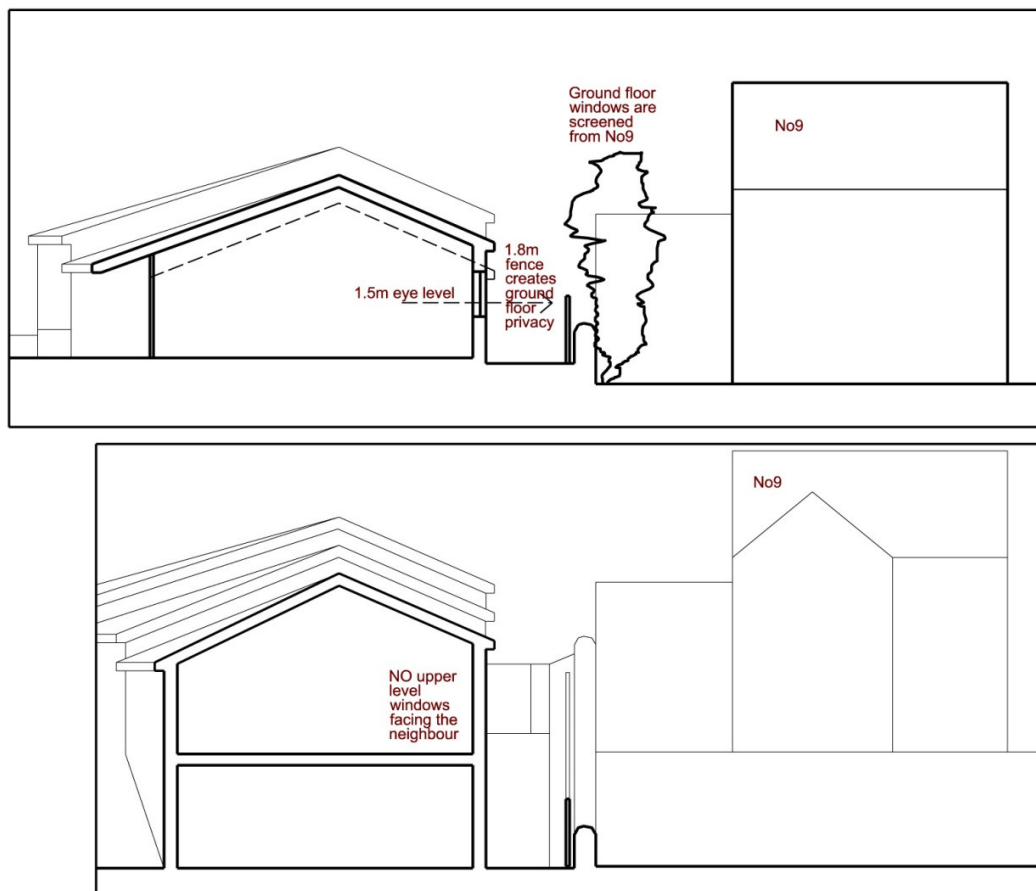
A tree survey and report is included as part of the application that provides recommendations for the development.



Site Plan

2.3. Scale

The proposal is designed to work with the sloping landscape, the building comprises three terraces cutting into the hillside; the first terrace is of two storeys to enable access to the main single storey level, the following two stories each step up the hillside. The scale is kept low in comparison with surrounding building as can be seen on the site section below. The proposal does not have a detrimental impact on neighbouring properties. The majority of windows are at ground level and privacy will be afforded by a 1.8m fence between facing windows.



2.4. Appearance

The stepped single storey building is designed to nestle comfortably into its site; the stepped wedge plan will give the building a strong identity, pitched blue slate roofs and natural stone walls will respect the vernacular of the area.

The images below are for general appearance and may differ slightly from the technical drawings.



Aerial view from the south



View from the garden



Entrance area

2.5. Landscaping

A new 1.8m timber feather edge fence alongside the existing dry stone wall will be provided to the northern boundary with No9, the existing mature hedge will remain to the eastern boundary and the existing timber fence to the western boundary. The driveway and parking area will be asphalt and a new 1.8m stone wall and gates will be constructed to give separation with Springhouse. To the garden there will be a central hard landscaped area connecting the house into the garden this will terminate with a cedar clad contemporary 'shed' backed with a greenhouse and raised beds; to the west of the plot will be terraced areas with indigenous shrubs.

2.6. Sustainability

Good orientation and a clever building section will harness the sun's power to heat the building naturally in the winter and utilise natural stack effect ventilation to cool the building in summer.

High levels of insulation will be used throughout the build.

The building will achieve a high degree of airtightness.

A Mechanical Ventilation Heat Recovery system will eliminate leaky trickle vents and distribute warm air throughout the building.

The building will have a high thermal mass so retaining a more constant internal temperature, taking the strain off any heating system.

Materials and trades will be sourced locally wherever possible

The cedar cladding will be chosen for its sustainability as well as its appearance.

A high performing gas condensing boiler will provide central heating (via underfloor heating).

Rainwater from roofs will be stored in water butts for use in the garden.

The applicant has set aside areas for growing of food to provide a degree of sustainability.

4.1. Contact

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*All illustrations in this document are indicative only and should not be used for detailed consideration of massing or heights in relation to other buildings, please consult the technical drawings in this regard.

5.1. Design Space Architects - Projects

DSA are award winning architects who specialise in one off, sustainable, contemporary & traditional homes.



New Dwelling, Thurlstone

The first sedum roof and environmentally aware building in the area, with a striking form on a hilltop location overlooking the market town and conservation area.



New Dwelling, Penistone

A ground-breaking building of local stone and cedar, totally unique while blending into its landscape



New Dwelling, South Ferriby

A contemporary house overlooking the Humber in South Ferriby which is inspired by the nearby brick and corrugated metal farm buildings. It addresses the client's current and anticipated restricted mobility. Winner of the LABC best new dwelling award (S Yorkshire & Humber)



New Earth Sheltered Dwellings in the Green Belt, Penistone

Two contemporary new homes now constructed in South Yorkshire, gained planning permission under PPS7 green belt policy for their exceptional design.