



**2 ROB ROY LANE, KINGSTONE, BARNSLEY,  
SOUTH YORKSHIRE, S70 6NR.**

**DESIGN PLANNING AND ACCESS STATEMENT**

**JUNE 2021  
REF: 202048 DAS01**

**DESIGN AND ACCESS STATEMENT**

**1.0 Physical Context.**

As can be seen on the attached site location plan, the property is located roughly at the eastern end of Rob Roy Lane close to its junction with Keresforth Hall Road, roughly 1.7km south-west of Barnsley town centre.



View of western elevation



View of eastern elevation.



**View of south elevation.**



**General view of drive/ access and grounds**

**The site is a parcel of land to the north-west of Rob Roy Lane and is currently occupied by a late twentieth century detached 3 bed bungalow with linked garage and conservatory that will be demolished to enable the construction of the proposed new dwelling.**

The overall parcel is roughly triangular with maximum dimensions of approximately 41m long by 39m wide equating to about 925m<sup>2</sup> or 0.092Ha or 0.23 acres and has main aspects facing roughly to the west and to the east.

To the north and east of the site are other residential properties that are mainly double storey structures in various styles and ages of the same and subsequent era's and to the west of the site is the adjacent green belt.

## **2.0 Planning Context.**

From a review of local planning policies, the relevant policies seem to be contained within the Local Authority's adopted Local Plan and this indicates that the site is within the existing settlement boundary within the existing Urban Fabric of Barnsley where no specific planning allocations exist and existing and associated uses are to remain predominant. Next to the site is the local green belt.

Planning history in the immediate vicinity has also been reviewed online and this has revealed numerous applications in the vicinity which mostly seem to be domestic extensions and alterations and construction of new dwellings such as the dormer bungalow behind 49 Keresforth Hall Road and 2No contemporary dwellings on land formerly occupied by Broadacres a detached dormer bungalow off Keresforth Hall Drive.

## **3.0 General Context/Constraints**

Historic mapping, dating back to the 1850's, has been the subject of the preliminary review and this has shown that the area has been predominantly rural in character apart from a small local colliery (Victoria) in the mid-19<sup>th</sup> century that seems to have been abandoned in the late nineteenth century and was over 250m to the east of the site. Since then there doesn't appear to have been any other uses that may influence the development and the site appears to be outside the High-Risk Area identified by the Coal Authority.

Flood risk has also been reviewed and the site is outside the locally affected areas.

Sustainable drainage techniques will be applied to surface water drainage by means of permeable surfacing of private drive and parking area and soakaways for roof drainage, subject to results of ground porosity tests in due course, and, therefore, it is not anticipated that this will adversely affect surface water drainage or flooding downstream. Foul water drainage is "off-mains" by means of a new septic tank and the existing sub-surface irrigation system.

Although it is not anticipated that the redevelopment will have a significant effect on the local socio-economic context it will create a more contemporary and sustainable dwelling that is more efficient and comfortable to use.

## **4.0 Evaluation**

4.1 The assessment of the proposals has highlighted the main considerations relevant to the scheme and these factors have been used to influence the design process discussed further in the remainder of this statement.

## **5.0 Design**

### **5.1 Use**

Existing residential property/land within the Urban Fabric of Barnsley and it is proposed that the site will remain in residential use albeit with a more contemporary dwelling to optimise the use of the land and the efficiencies embodied in a more contemporary construction.

### **5.2 Amount**

It is proposed to replace the existing single storey dwelling of 132.8M<sup>2</sup> footprint with a a more contemporary storey and a half dwelling of 224.8M<sup>2</sup> footprint inclusive of the single storey linked double garage and utility to east and sitting room off-shoot to west.

### **5.4 Layout**

The main section of the new dwelling is sited over the footprint of the original dwelling with the main aspects to the east and west as before and to enable the continued use of the existing access from Rob Roy Lane

### **5.5 Scale**

As previously mentioned, the proposed dwelling will be a storey and a half construction only to "sit" in to the site and its surrounding landscape.

### **5.6 Landscaping**

Paths and terracing adjacent the dwelling will be laid out in artificial stone pavings and the drive/parking area will be surfaced with permeable block pavers and the existing domestic soft landscaping will be retained and re-modelled as necessary by the incoming residents in due course.

### **5.7 Appearance**

The dwelling will be constructed in brickwork walls under a natural blue/grey slate pitched roof with art-stone heads and sills to all openings with dual colour PVC doors and windows generally together with feature hardwood entrance doors and canopy to east elevation forming main entrance to new dwelling

### **5.8 Access**

The dwelling will be served by the existing private drive off Rob Roy Lane that will be widened to 6M wide for improved manoeuvrability and inter-visibility and to serve the new double garage of approx. 6.0 x 6.0m internal dimensions for parking and storage purposes. Pedestrians will approach the main entrance via the drive and path to the front door with a nominal slope from outside the garage to the "level" entrance area under the proposed canopy outside the dwelling which has all main facilities at ground floor level which has a single floor level without any steps nor ramps.

## 6.0 **Summary**

Taking all factors in to consideration it would seem the proposed dwelling is compatible with local and national planning policy and will optimise the use of this previously developed parcel of land with a more contemporary and efficient dwelling and as a result it is hoped that this planning application can be viewed favourably during the planning process.

**Signed.**

*J E Architectural Ltd*

**Appendix A**  
**Site Location Plan.**



0 cm | 2 cm | 4 cm | 6 cm | 8 cm | 10 cm | 12 cm | 14 cm | 16 cm | 18 cm

**2 ROB ROY LANE, KERESFORTH HILL,  
BARNSELY, SOUTH YORKSHIRE,  
S70 6NR.**

**SITE LOCATION PLAN**



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**Ref: 202048**

**Date: JUNE 2021**

**Scale: 1:1250 @ A4**

**Drwg No: 07**

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## **Appendix B**

### **Flood Risk Information.**

## 2, ROB ROYD LANE, BARNESLEY, S70 6NR

### Rivers and sea risk

#### Very low risk

Very low risk means that each year this area has a chance of flooding of less than 0.1%.

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### Surface water risk

#### Low risk

Low risk means that each year this area has a chance of flooding of between 0.1% and 1%.

Lead local flood authorities (LLFA) manage the risk from surface water flooding and may hold more detailed information. Your LLFA is **Barnsley**.

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### Reservoir risk

There is no risk of reservoir flooding

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### Groundwater risk

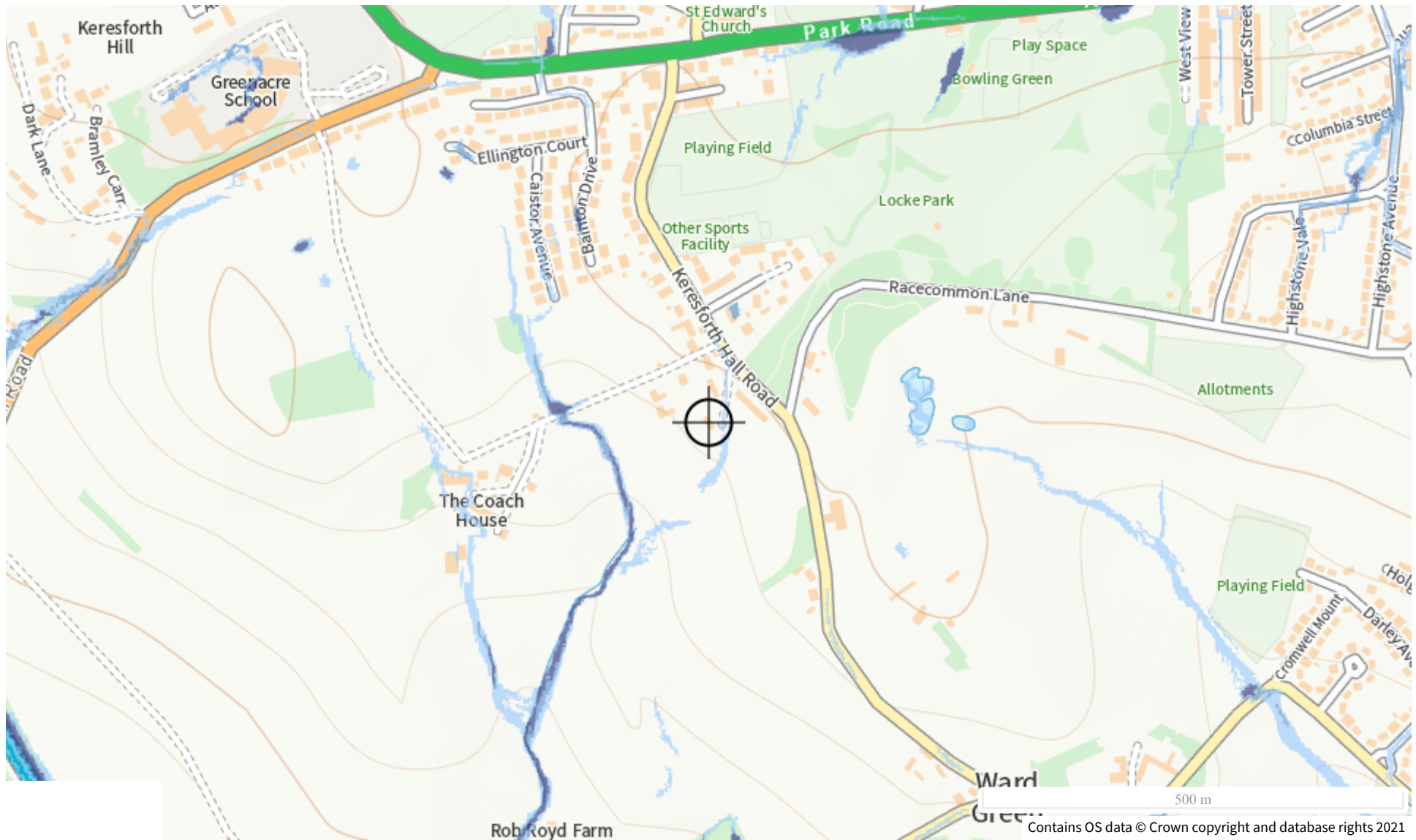
No risk of groundwater flooding

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Extent of flooding from rivers or the sea

[High](#)
[Medium](#)
[Low](#)
[Very low](#)
 Location you selected



Extent of flooding from surface water

[High](#)

[Medium](#)

[Low](#)



[Very low](#)

Location you selected