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2024/0996

Mr Dariusz Ciomek

110 Wood Walk, Wombwell, Barnsley, S73 0NE

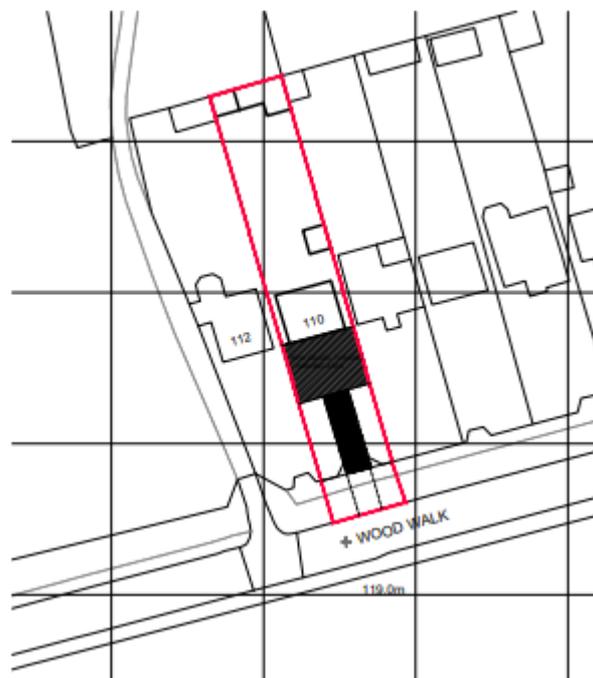
**Widening of existing drop kerb, widening of existing drive, and erection of new boundary wall and gates.**

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### Site Description

The application site is on the north side of Wood Walk, Wombwell – a classified highway (B6096) with a speed limit of 40mph. The highway is aligned relatively straight with a gradual gradient which falls south-west to north-east. There is a dip in the highway to the south-west.

The development site consists of a large, detached dwelling fronted by a modest sized garden and a driveway which is aligned to the west of the site. The site is enclosed by a low-built stone wall and mature tree specimen to the south and vegetation and brick walls and timber fencing to the east and west. To the front of the stone wall is an area of hardstanding and a grass verge. The surrounding area is predominantly residential and is characterised by detached and semi-detached dwellings. The development site forms part of a row of detached houses which are fronted by modest sized gardens and driveways with front boundary treatments comprising stone and brick walls, and timber and wrought iron gates of varying heights.



## Planning History

There is one previous planning application associated with this site.

1. 2024/0716 – Widening of existing drop kerb, widening of existing drive, and erection of new boundary wall and gates. – Refused.

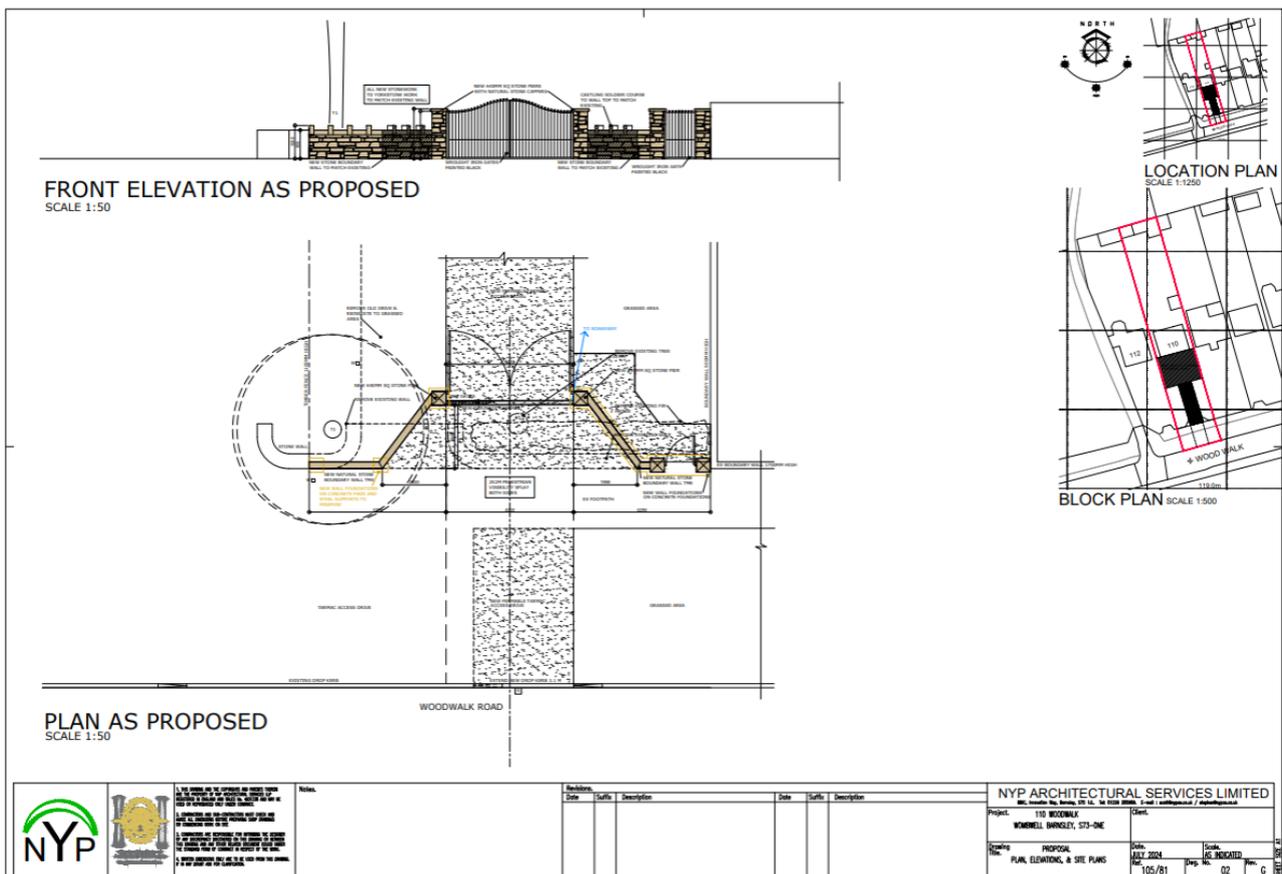
*The proposed development would have a detrimental impact on visual amenity as it would diminish the current sense of place and character of the area. As such, the development would be contrary to the Walls and Fences SPD (2019) and D1 of the local Plan.*

## Proposed Development

The applicant is seeking permission for the widening of an existing dropped kerb and driveway and the erection of a new boundary wall and gates.

An existing dropped kerb would be extended by approximately 3.1 metres. An existing grassed area to the front would be replaced with an area of new permeable tarmac of approximately 15.4m<sup>2</sup>. A new Yorkstone boundary wall with a castling soldier course top approximately 1.1-metres-high would be erected on the southern boundary of the application site alongside new Yorkstone piers with natural stone cappers approximately 1.6-metres-high. Moreover, new pedestrian and vehicular wrought iron gates painted black would be installed and would be approximately 1.4-metres-high and 1.8-metres-high respectively.

The proposal was amended during the application process to reduce the overall height of the pillars and gates in the interests of visual amenity.



## **Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***
- ***Policy GD1: General Development.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Walls and fences.***
- ***Parking.***

### National Planning Policy Framework (December 2024)

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 9: Promoting sustainable transport.***

*Paragraph 116. Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network, following mitigation, would be severe, taking into account all reasonable future scenarios.*

- ***Section 12: Achieving well-designed places.***

### Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

## Consultations

Local Ward Councillors	<i>No comments.</i>
Highways Development Control	<i>No objection subject to condition and informative.</i>
Highway Drainage	<i>No objection.</i>
Forestry Officer	<i>The document provided deals with the issues surrounding the protection of the tree and the specialist construction techniques required to ensure it remains as unaffected as possible during the works. I would therefore ask that this document be added to the list of those to be complied with on the decision notice.</i>

## Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

## Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

## Principle of Development

Planning permission is required for access onto and development upon a classified highway and permission will be granted where such development does not impinge upon highway safety. The erection of boundary walls and gates is acceptable in principle if the design and appearance of such development would sympathetically reflect the character of the surrounding area.

## Visual Amenity

The application dwelling is fronted by a large garden and driveway that is bounded by low-built stone and brick walls and timber fencing, and neighbouring dwellings are fronted by similar sized gardens with similar boundary treatments, although the adjacent boundary wall to the front of 108 Wood Walk appears somewhat as an anomaly within the street scene due its height and the materials used.

The proposed development would see the existing driveway realigned centrally within the application site alongside an increased parking and turning area fronting the dwelling. The proposal would also see the erection of a new low-built natural stone walls with stone pillars and wrought iron pedestrian and vehicular gates painted black. Generally, the proposed development is much improved from the scheme that was previously refused and is much more in-keeping with the character of the locality. The height of the pillars and gates remain larger than preferred; however, their height was reduced during the application process and the vehicular gate would be set back within the application site,

therefore reducing its prominence within the street scene. The proposal would also closely reflect the design and appearance of similar development in the locality and would not significantly detract from or alter the character of the street scene. This is therefore considered to weigh significantly in favour of the proposed development.

*The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and is considered acceptable regarding visual amenity.*

#### Highway Safety

The proposed development would see the existing driveway realigned centrally within the application site alongside an increased parking and turning area fronting the dwelling. Highways Development Control were consulted on the proposals. It was stated that the 'proposals would improve the existing access without affecting the off-street parking provision within the site.' The proposed access gates would be set back providing adequate pedestrian visibility splays, and a new drainage channel would also be installed. As such, no objections to the scheme were raised, although it was suggested that a condition should be used to secure appropriate surfacing materials. This is therefore considered to weigh moderately in favour of the proposed development.

*The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.*

#### Residential Amenity

The proposed development would not be significantly detrimental to the amenity of the occupant(s) of the application property or nearby neighbouring properties and would not contribute to significantly increased levels of overshadowing, overlooking and loss of privacy or reduced levels of outlook. This is therefore considered to weigh modestly in favour of the proposed development.

*The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and is considered acceptable regarding residential amenity.*

#### Trees

There is a mature tree specimen located to the south-western corner within the application site and immediately adjacent to the existing site access and driveway. It is proposed that part of an existing wall surrounding the tree would be removed and the new wall foundations would be implemented on concrete pads to minimise any potential impact. This application is supported by an Arboricultural Method Statement which adequately deals with the issues surrounding the protection of the tree and the specialist construction techniques required to ensure it remains as unaffected as possible during the works. The Council's Forestry Officer was consulted, and no objections were raised.

#### Planning Balance and Conclusion

In considering the above assessment, the proposed development is acceptable regarding residential and visual amenity and highway safety. The development would be in-keeping with and sympathetic to the character of the local area and would not significantly detract from or alter the character of the street scene. As such, this application is recommended for approval.

**Recommendation -  
Approve with Conditions.**