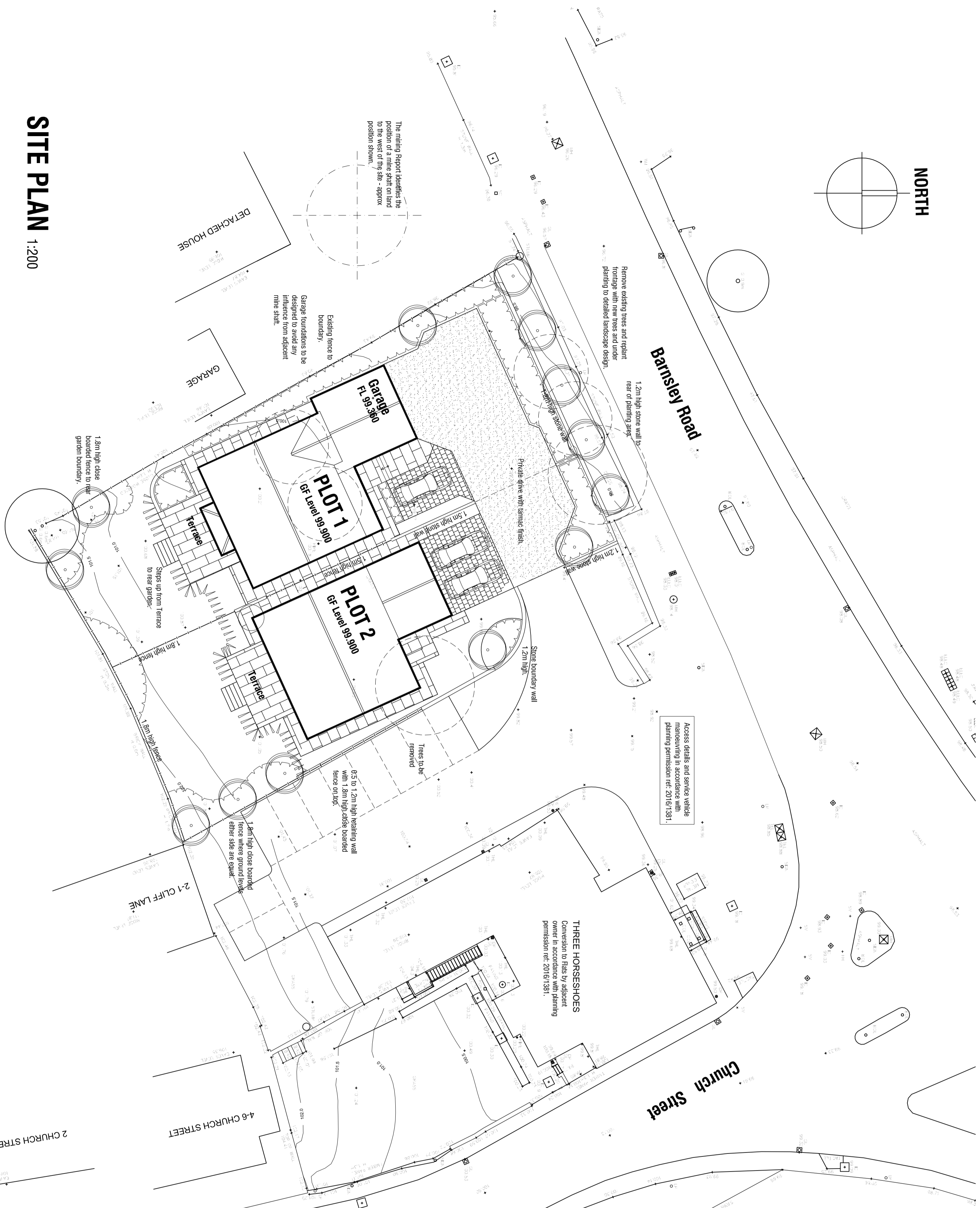
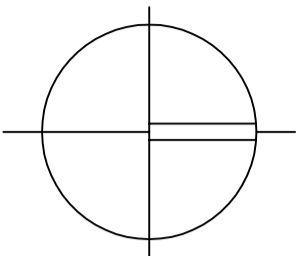


NORTH



SITE PLAN 1:200

External Materials:

- Tarmac finish to private drive.
- Marshalls Tegula block paving colour left Traditional.
- Natural stone flags with pointed joints.
- Stone walls in Ripon Fall regularly coursed stone flush pointed.
- 1.8m or as shown, close boarded timber fence with dark brown stain finish.
- New tree and shrub planting in accordance with Landscaping Proposals to be submitted for approval prior to commencement.
- Trees to be removed

Rev D 17.10.2017 - Update plan to coordinated with revised landscape design.
 Rev C 28.09.2017 - Reposition garage to Plot 1.
 Rev B 20.07.2017 - Amend to coordinate with Landscape Design and Site Investigation Report.
 Rev A 18.07.2017 - Update for planning submission.

LAND ADJ THREE HORSESHOES
 BARNSELEY ROAD
 BRIERLEY

PROPOSALS

SITE PLAN

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Scale AS SHOWN @ A2 Drawn MJB
 Date June 2017 Ref: 17.13
 Dwg No. P01 Rev. D

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The mining Report identifies the position of a mine shaft on land to the west of the site - approx position shown.

Garage foundations to be designed to avoid any influence from adjacent mine shaft.

Remove existing trees and replant frontage with new trees and under planting to detailed landscape design.

1.2m high stone wall to rear of planting area.

Private drive with tarmac finish.

Stone boundary wall 1.2m high.

Access details and service vehicle manoeuvring in accordance with planning permission ref: 2016/1381.

THREE HORSESHOES
 Conversion to Flats by adjacent owner in accordance with planning permission ref: 2016/1381.

0.75 or 1.2m high retaining wall with 1.8m high close boarded fence on top.

1.8m high close boarded fence where ground levels either side are equal.

Steps up from Terrace to rear garden.

1.8m high close boarded fence to rear garden boundary.

DETACHED HOUSE

GARAGE

Garage FL 99.360

PLOT 1 GF Level 99.900

PLOT 2 GF Level 99.900

Garage

Terrace

Terrace

2-1 CLIFF LANE

4-6 CHURCH STREET

Church Street

Barnsley Road