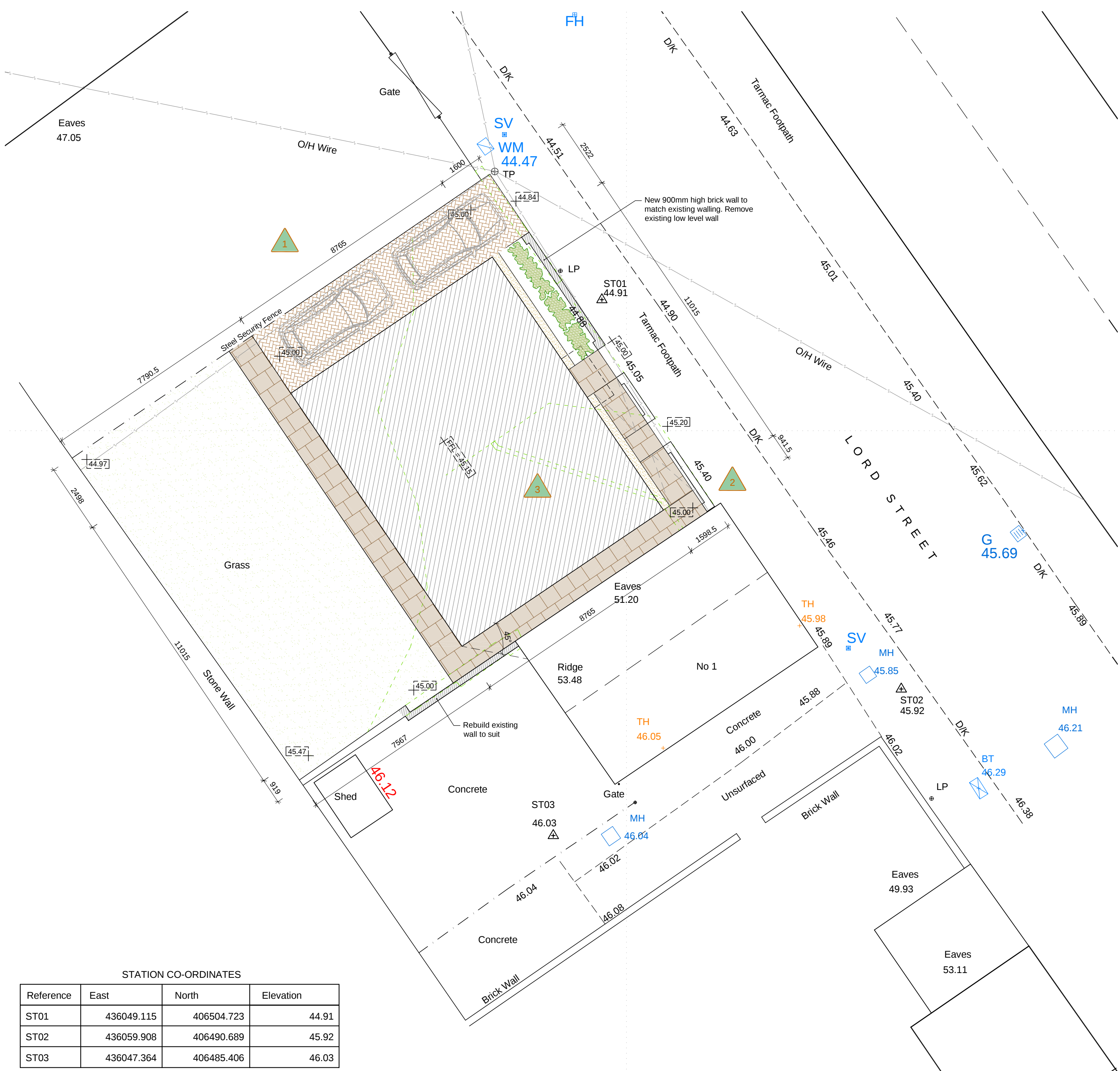
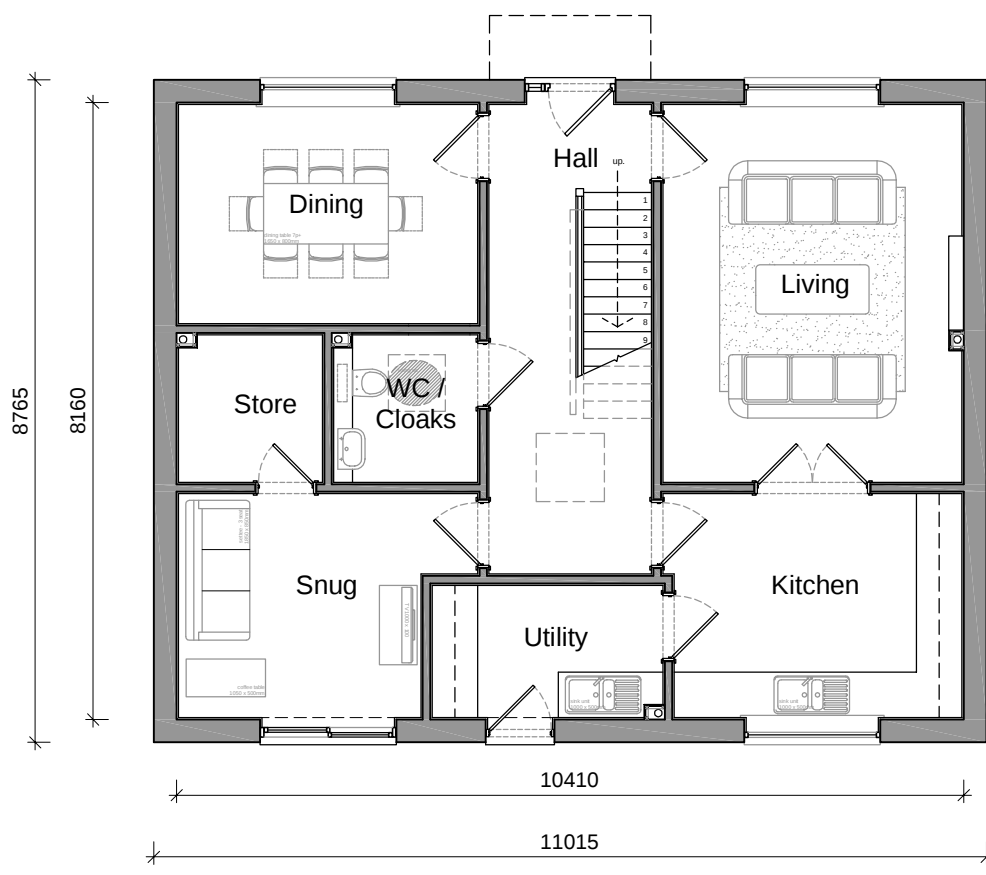




STATION CO-ORDINATES			
Reference	East	North	Elevation
ST01	436049.115	406504.723	44.91
ST02	436059.908	406490.689	45.92
ST03	436047.364	406485.406	46.03

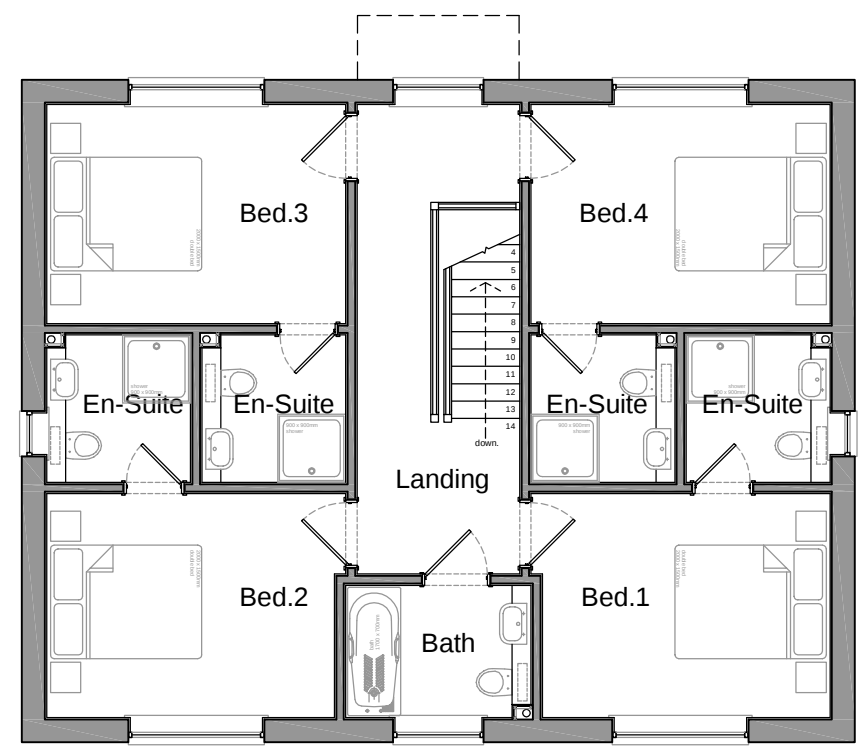
EXTERNAL WORKS KEY

- Existing trees to be retained
- Proposed new trees and planting. Bird Cherry, Maple, Carpinus Betulus (Hornbeam) 3 - 3.5m high
- Existing trees to be felled
- Turf grassed areas to be graded as required
- Gravel areas / Pea Gravel Margin
- Concrete Block Pavements to driveway TBA
- Concrete paving slabs to paths and patios with sand filled gaps TBA
- Soft landscaping - Shrubby borders of mixed content with: Artemisia Arborescens; Cornus Alba; Contoneaster Horizontalis; Deutzia Alegantissima; Eleagnus Pungens; Euonymus Fortunei; Forsythia; Hebe 'great orme'; Hypericum; Viburnum Plicatum; Vinca Major
- 1200mm close boarded fence.
- 1500mm post and rail fence.
- 1800mm close boarded fence.
- Existing boundary treatment retained.
- Existing Levels
- Proposed Levels (To be agreed on site)
- Line of demolition items.



Ground Floor Plan
Gross Internal GF Area = 84.9m²

Total Floor Area = 169.8m²
1827.7ft²



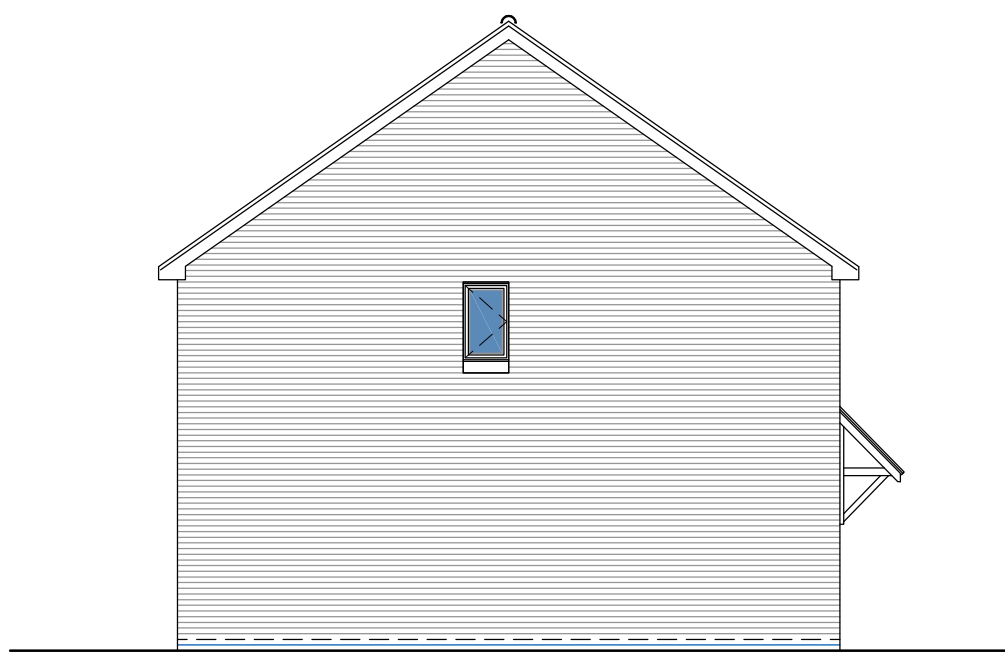
First Floor Plan
Gross Internal FF Area = 84.9m²



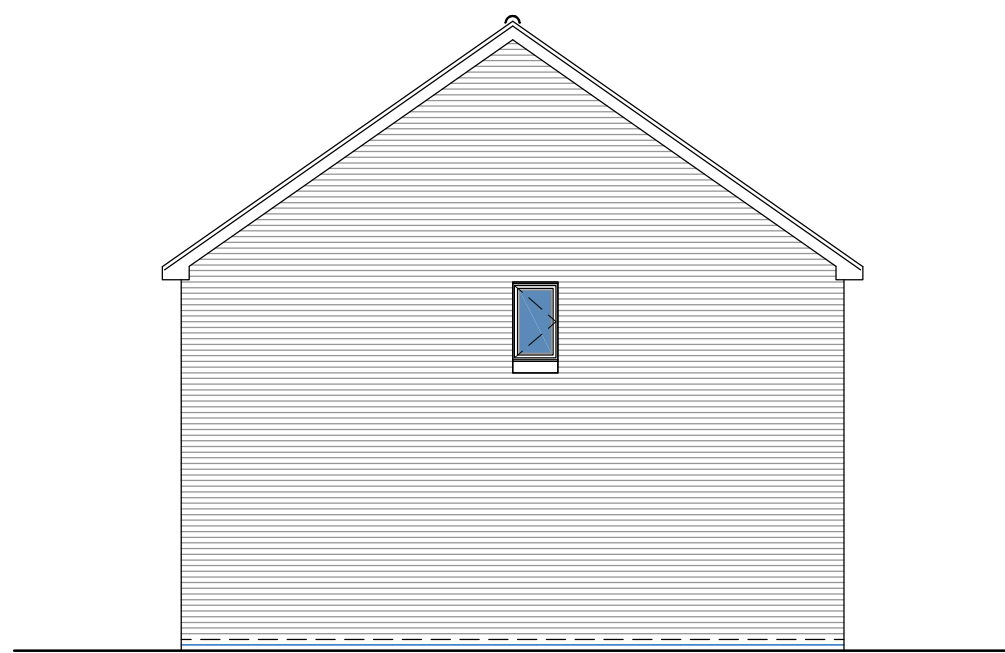
North East (Front) Elevation 1:100



South West (Rear) Elevation 1:100



South East (Side) Elevation 1:100

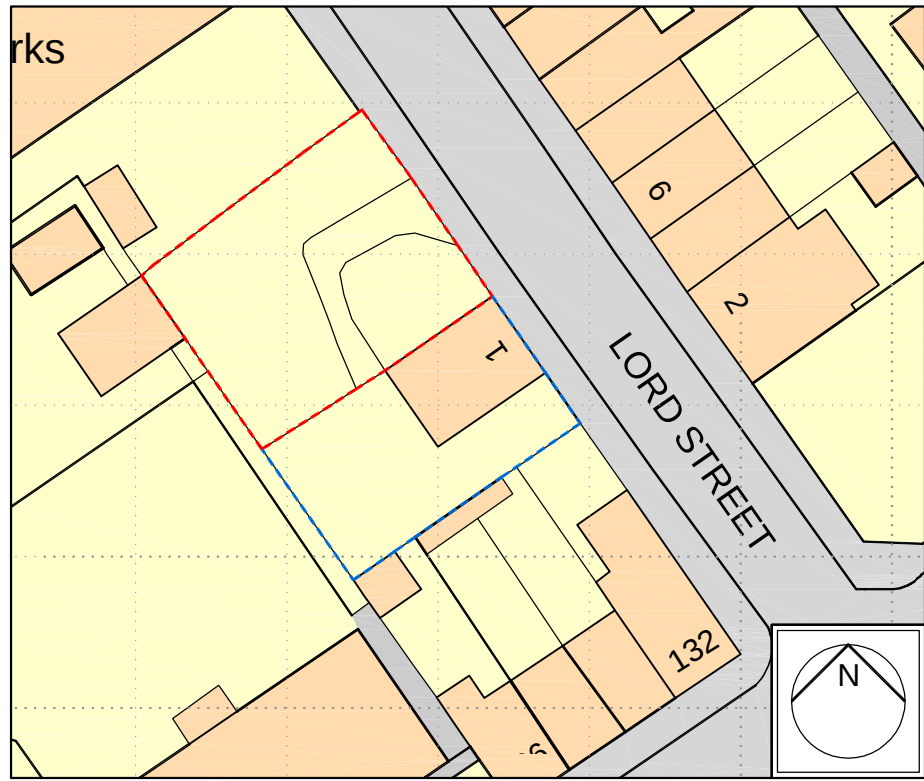


North West (Side) Elevation 1:100



Site Location Plan (1:1250)

Ordnance Survey, (c) Crown Copyright 2013. All rights reserved. Licence number 100022432



Site Block Plan (1:500)

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The main contractor must not scale off the drawing for the purposes of ordering materials or prefabricated components. Use figured dimensions only. All dimensions and levels to be checked on site by main contractor before placing any orders.

The drawing is to be read in conjunction with all relevant consultant and/or specialist drawings and documentation. Any discrepancies or variations MUST be notified to the author.

Consultants:

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Web: hh-surveys.com

Notes:

CDM Hazard Identification

CDM Regulations 2015: Residual Design Risk

- Coal Mining Works below ground - Ground investigation to be carried out.
- Foundations adjacent to existing structures - Support and stabilisation of excavations.
- Demolition of existing structures - Contractor to provide method statements for areas of demolition works.

Proposed Materials:

Interlocking Slate effect roof tile

Red Facing Brickwork

White UPVC Windows and Doors

Rainwater goods in Black UPVC

A 02.05.16 Layout amended to planning and client requirements PH

Rev Date Revision Note Drawn

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Client Name:

Yield Property Services Ltd

Project Title:

Proposed New 4Bed Detached Dwelling

Project Address:

Land Adjacent 1 Lord Street
Hoyle Mill
Barnsley
S71 1HZ

Drawing Title:

Proposed Site Layout Plan
Proposed Plans & Elevations

Drawn: P.H. Date: 17.02.16 Scale @ A1: 1:100

Status: **PLANNING** Checked By: ph

Project Ref: Y.2119 Drawing No: L.01 Rev: A