

NOTES

All efforts have been made in measuring existing site. However the contractor / builder is responsible, for checking & confirming all given dimensions on site prior to pricing & works.

Extent of boundary ownership confirmed by applicant.

Proposal -

Planning application for the change of use from A2 - Financial Services (former Bank) to Sno. A1 Retail Shops to meet end user requirements as shown on the plans.

Current/Former Use -
Former A2 - Bank Premises

Proposed Use -
A1 (new class E) - Retail Shops

1) GENERAL BUILDING NOTES

- All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
- All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
- All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
- The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.

2) APPROVED DOCUMENT A STRUCTURE

- All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.

PLANNING ISSUE

Rev	Description	Date	By	App'd
-----	-------------	------	----	-------

tractus:dma
architectural design

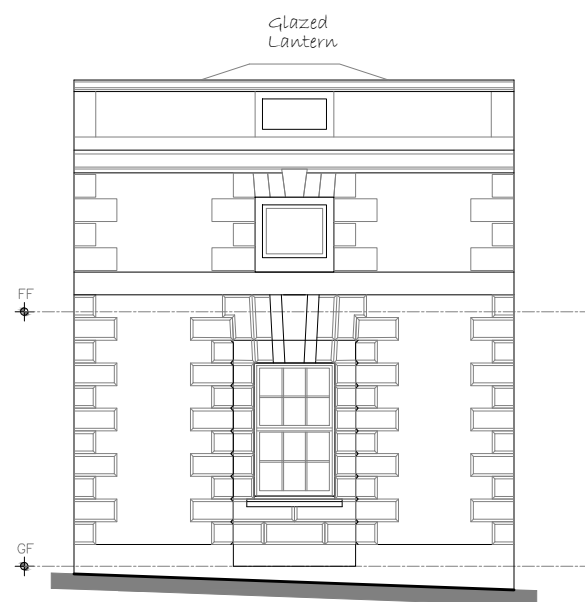
Headfield Business Centre, Headfield Mills
Savile Road, Dewsbury, West Yorkshire, WF12 9LQ
t: 01924 462 550 m: 07791 717 404
e: asif@tractusad.co.uk

Client
Mr. M Rodgers

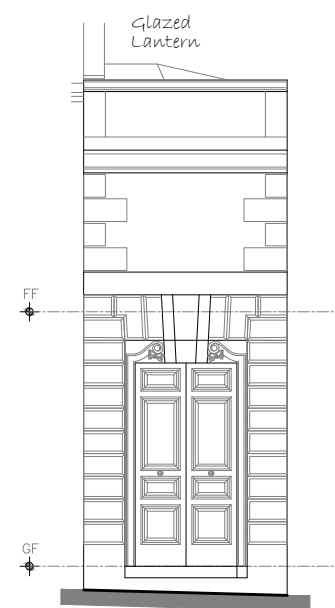
Project
2 Market Street, Penistone
S36 6NA

Drawing title
Proposed Elevations

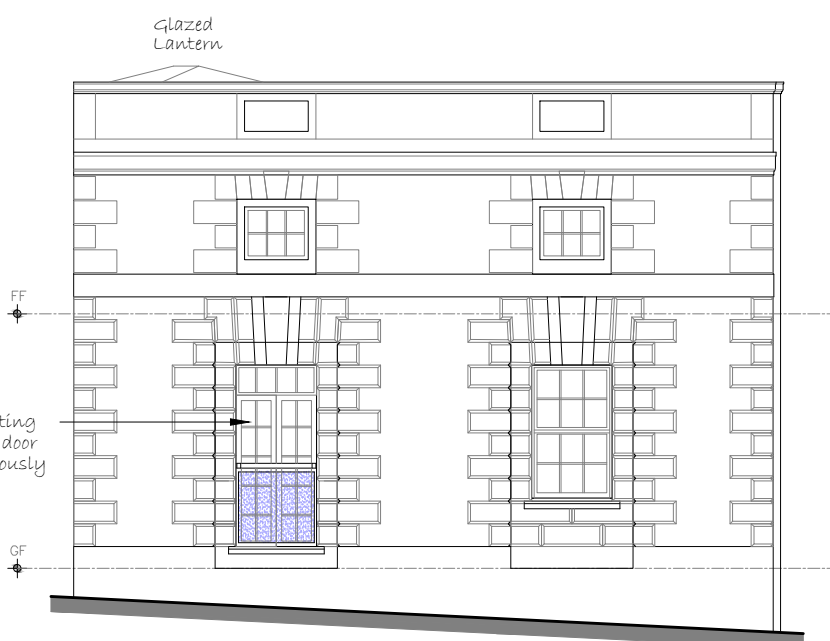
Drawn by	Date	App'd	
AM	08/22	-	
Drawing no	Project no	Scale @ A3	Rev
PL-02	19-621	1:100	-



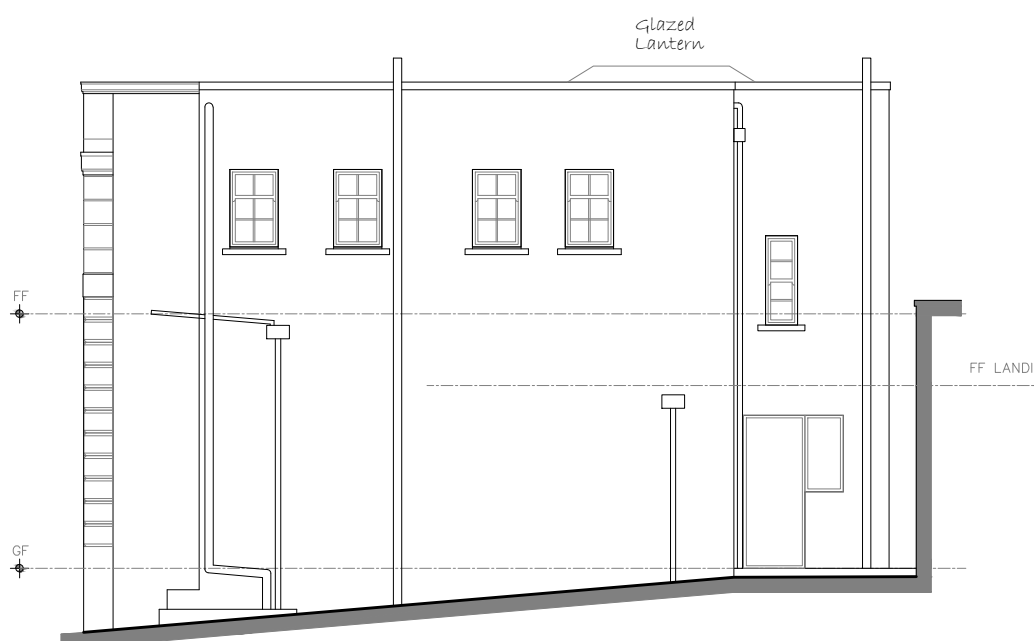
PROPOSED MARKET STREET
ELEVATION
SCALE - 1:100



PROPOSED FRONT
ENTRANCE ELEVATION
SCALE - 1:100



PROPOSED ST. MARYS STREET
ELEVATION
SCALE - 1:100



PROPOSED REAR
ELEVATION
SCALE - 1:100

Materials -

Walls - Coursed stonework with ashlar stone detailing & painted render (side elevation) finish.

Doors - Painted timber framed doorset(s).

Windows - Painted timber framed single glazed sash windows.

Roof - Flat parapet roof bitumen felt finish with glazed lantern.

Guttering - Black cast iron guttering/downpipes.

Alteration to existing window forming door opening (as previously approved).

CDM 2015

RISKS

- Working adjacent to live road/restricted access.
- Site welfare requirements.
- Site clearance.
- Temporary support/Concrete works.
- Working at height.
- Installation of temporary and re-routed services.
- Handling loads.