

Application Reference Number:	2025/0577
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Application Type:	Full application
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Proposal Description:	Erection of two storey office building (Use Class E(g)) with formation of car park, footpath and associated landscaping.
Location:	Naylor Concrete Products Ltd, Whaley Road, Barugh, Barnsley, S75 1HT

Applicant:	Naylor
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Third-party representations:	None.	Parish:	None.
		Ward:	Darton West

Summary:
<p>This application seeks permission for a two-storey office building at the front of the existing Naylor Concrete site. There are no alterations to the wider employment/industrial operations. A very similar proposal was granted permission in July 2022 (ref: 2022/0219) though was not implemented and permission has since lapsed. The principle of the development has therefore previously been accepted.</p> <p>The proposal includes associated works including the formation of a car park; alterations to boundary treatments and formation/extension to a footpath.</p> <p>There are no outstanding consultee concerns. The proposal will maintain the existing use at the site and is expected to create 11 new jobs.</p> <p>Recommendation: GRANT subject to conditions.</p>

Site Location & Description

The application site is a large established industrial/manufacturing site located at the Barugh Green industrial park. The site is occupied by Naylor Concrete Products Ltd, with the wider site extending to circa 300m in length. The majority of the site is used for open storage with the associated buildings located along the southern boundary and at the north-eastern corner. Smaller buildings are also dotted around the site.

The front of the site is bound by a green palisade fence, and is accessed off Whaley Road. A private access road runs along the northern boundary with two vehicular entrances into the site. Mature trees border the site to the east and south, with the railway line further to the east. Smaller industrial units and offices are located to the south. To the north and west, the site is enclosed by other industrial, storage and office uses, also accessed via Whaley Road.

The application site consists of the north-western corner of the Naylor Concrete site, positioned adjacent to the main vehicular access off Whaley Road. This part of the site is currently used for open storage and is predominantly hard surfaced. The existing sliding access gate extends into the application site (when in the open position), with small vegetation along the boundary.

The application site lies within the High-Risk Development Area as per the Mining Remediation Authority maps. The site is also mapped as an historic landfill site as per the Environment Agency records. The site does fall within an inner, middle and outer area as mapped by the Health and Safety Executive.



Site History

2024/0620 - Demolition of existing 'Nissen hut' type structures and erection of new industrial unit for manufacture of concrete products, and associated works including extension of associated concrete yard and formation of new pathways (AMENDED RED LINE BOUNDARY), GRANTED, 9/1/2025

2022/0219 - Erection of two storey office building and associated works including car park, landscaping and new access, GRANTED, 13/7/2022

2006/1242 - Change of use of land to B2 waste recycling centre, GRANTED, 20/12/2006

B/04/2228/DT - Erection of new office and workshop development for manufacture of concrete products with associated parking and hardstanding, GRANTED, 18/1/205

B/01/0606/DT - Renewal of B/00/0662/DT for offices and workshop, GRANTED, 18/6/2001

B/92/0553/DT - Renewal of permission for temporary offices and workshop, GRANTED, 9/7/1992

B/89/0281/DT - Renewal of permission for temporary offices and workshop B/86/0180/DT (Expired on 30/04/92), GRANTED, 19/5/1989

B/86/1275/DT - Outline for erection of workshops and offices, GRANTED, 19/3/1987

B/86/1179/OT - Regrading of land to use as industrial compound, GRANTED, 27/2/1987

B/83/0840/DT - Erection of two storage buildings (Expired on 28/02/86), GRANTED, 14/7/1983

B/83/0820/DT - Construction of industrial estate road and associated sewers, GRANTED, 14/7/1983

B/83/0150/DT - Formation of surfaced area to use as storage area for machinery etc, GRANTED, 3/3/1983

B/82/1421/DT - Erection of boundary security fence, GRANTED, 3/3/1983

B/82/1302/DT - Siting of 2 Derrick Cranes and erection of chain link fence to enclose compound, GRANTED, 2/12/1982

B/82/0837/DT - Erection of petrol attendants office and oil store, GRANTED, 29/7/1982

B/82/0371/DT - Construction of petrol, diesel/gas oil underground storage tanks and refuelling facility, GRANTED, 31/3/1982

B/78/2628/DT - Construction of new access, layout of roads, recontouring of land and culverting of drain in connection with the use of land for industrial purposes, UNKNOWN, 20/3/1980

B/76/0605/DT - Concrete Plant and Offices, REFUSED, 20/5/1976

Proposed Development

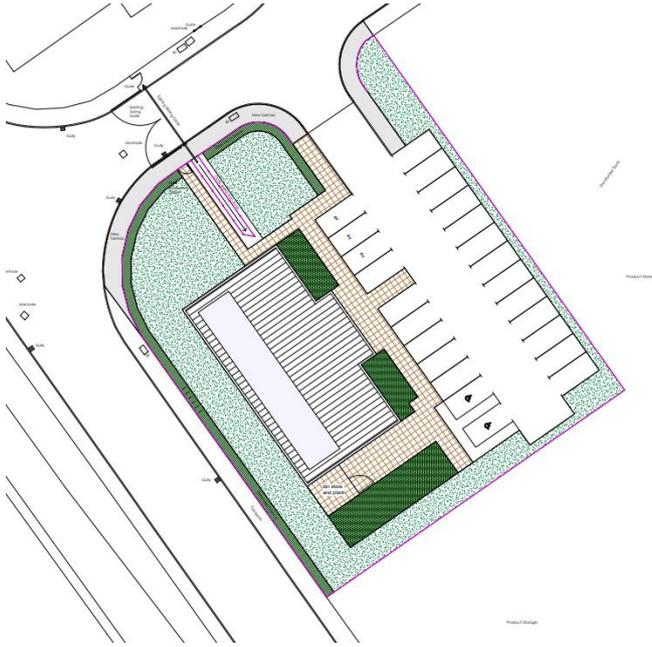
This application seeks full planning permission to erect a new two-storey office building towards the front of the Naylor Concrete site. The building would have a footprint of circa 316sqm and provide additional office spaces as well as welfare facilities such as kitchen and toilets. The building would be finished in brick with large windows, render features and a modern entrance

foyer. The office building would have a low pitch roof, with signage on the front and side elevations (subject to necessary advertisement consent).

The development also includes the installation of a new car parking area and associated landscaping. The car park would be positioned to the east of the proposed office building, with a new internal access junction to be constructed. The car park would provide 19 standard car parking bays, plus 3 EV bays and 2x disabled bays. Footpaths are proposed between the car park and the office building, as well as to a new pedestrian gate adjacent to the existing sliding vehicular gate.

The remainder of the application site would be mostly lawned, with raised bed features and a hedgerow along the northern and western boundary. A new tarmac footpath is also proposed along the northern boundary to extend the existing footpath which follows Whaley Road. The office building site would be enclosed by a paladin metal fence.





Policy Context

Allocation/Designations

The site is washed over by Urban Fabric as defined in the adopted Local Plan, which has no specific land allocation.

The application site lies within the High-Risk Development Area as per the Mining Remediation Authority maps. The site is also mapped as an historic landfill site as per the Environment Agency records.

The wider site lies within Flood Zone 2 (thus at medium risk of flooding) but the application section of the site is Flood Zone 1 (low risk).

The site falls within an inner, middle and outer area as mapped by the Health and Safety Executive.

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy GD1: General Development
- Policy D1: High Quality Design and Place Making
- Policy SD1: Presumption in favour of Sustainable Development
- Policy T4: New Development and Transport Safety

- Policy LC1: Landscape Character
- Policy POLL1: Pollution Control and Protection
- Policy E3: Uses on Employment Land
- Policy E4: Protecting Existing Employment Land
- Policy UT1: Hazardous Substances
- Policy CL1: Contaminated and Unstable Land
- Policy BIO1: Biodiversity and Geodiversity

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 6 – Building a Strong, Competitive Economy

Section 9 – Promoting Sustainable Transport

Section 11- Making Effective Use of Land

Section 12- Achieving Well-designed Places

Section 15 - Conserving and Enhancing the Natural Environment

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- Parking, November 2019
- Development on Land Affected by Contamination, November 2019
- Biodiversity & Geodiversity, March 2024

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

Biodiversity Officer – No objection subject to condition requiring pre-commencement submission of a biodiversity mitigation scheme and the pre-commencement submission of a Biodiversity Gain Plan. Informatives also attached in relation to BNG.

Local Ward Cllrs – No response.

Contaminated Land – No response.

Enterprising Barnsley – In support of proposals.

Environment Agency – No objections to the proposed development, no conditions required, though informatives are attached.

Forestry Officer – No response.

Drainage – No objection subject to pre-commencement condition requiring full drainage details.

Highways DC – No objection subject to conditions including pre-commencement submission of Construction Method Statement; surfacing and appropriate drainage. Informative also attached relating to mud and debris on the public highway.

HSE – WebApp used, does not advise against the proposal.

Mining Remediation Authority – No objection subject to conditions requiring intrusive investigations to be undertaken prior to any above ground works and a signed statement/declaration to be submitted prior to occupation. Informatives also attached.

National Highways – It is not considered that the traffic impact of this development proposal will result in a severe or safety impact on the strategic road network. No objection and no conditions required on this basis.

Pollution Control – No objection subject to condition restricting the burning of materials onsite.

South Yorkshire Mining Advisory Service – No objection subject to condition requiring further intrusive investigations (covered by Mining Remediation Authority comments).

Yorkshire Water - No objection subject to condition requiring accordance with submitted drainage strategy.

Representations

This application has been advertised in accordance with the Development Management Procedure Order 2015, as follows:

- Neighbour notification letters sent to adjoining properties/sites, consultation period expired: 21/10/2025
- Site Notice displayed (public interest), consultation period expired: 24/10/2025

No neighbour representations have been received in response to the above publicity.

Assessment

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

The site falls within urban fabric which has no specific land allocation. New buildings and extensions are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity or on highway safety and accord with the relevant policies quoted below.

NPPF Paragraph 85 states that planning decisions should create the conditions in which businesses can invest, expand and adapt.

Local Plan Policy E3 states that on land currently or last used for employment purposes the following uses will be supported:

- Research and development, and light industry;
- General industrial; or
- Storage or distribution.

Ancillary uses will be allowed where appropriate in scale.

Local Plan Policy E4 states that land or premises currently or last used for employment purposes will be retained to safeguard existing or potential jobs.

The proposed development is almost identical to a previously approved scheme, granted on 13/7/2022, with the only difference being the inclusion of the footpath along the site boundary. This demonstrates that the principle of the development has been considered acceptable previously.

The development will not introduce significant changes to the operations occurring at the wider site, with the development looking to expand/improve the current workplace facilities and create additional jobs at an existing employment site. The principle of the development is therefore considered to be acceptable subject to the considerations assessed below. The principle of the development is afforded substantial weight in the planning balance.

Design, Appearance and Amenity

NPPF Paragraph 135 relates to high quality design and states that developments should function well and add to the overall quality of the area; are visually attractive; sympathetic to local character; maintain a strong sense of place whilst optimising the potential of the site and create places which are safe and inclusive and promote well-being.

Local Plan Policy D1 states that development is expected to be of high-quality design and should respect and reinforce the distinctive, local character and features. Development should contribute to place making and make the best use of materials.

Local Plan Policy GD1 states that proposals for development will be approved if there are no significant adverse effect on the living conditions and residential amenity of existing and future residents. Proposals should be compatible with neighbouring land and should not significantly prejudice the current or future use of neighbouring land.

The proposed development involves erecting a new two-storey building which is to be finished in red brick, with small white render panels to break up the building's massing and add some interest. Large windows are proposed all on all elevations in box-like arrangements as well as a large, glazed entrance foyer which will face towards the proposed car park. The roof will be finished in composite cladding with PV panels attached.

The remainder of the application will consist of a car park which will be surfaced, with associated landscaping wrapping around the office building. The proposed development has a similar layout to the previously approved scheme, with the office building having a modern yet traditional appearance. The proposed materials reflect those used at the adjacent office buildings at Wordsworth Business Park.

The office building will have an eaves height of 6.8m with a ridge height of 7.8m. The scale and massing of the proposed office building is appropriate in this location and would improve the appearance of the site when viewed from Whaley Road, particularly when compared to the existing open storage use.

The formation/extension of the pedestrian footpath along the front of the site is also considered to be acceptable in terms of appearance, providing a functional access along the edge of the site. Limited planting details are included within the application, though the principle of landscaping is welcomed as this will help to soften the appearance of the site when viewed from Whaley Road. On this basis a condition is attached requiring full landscaping details to be submitted and agreed prior to the commencement of the development.

There is not considered to be any impact upon amenity. Whilst the building will include windows, it is not considered that harmful overlooking will occur, given the separation distances between the office building and the adjacent uses. Similarly, the proposed building is of an height and scale whereby no overshadowing upon adjacent buildings/uses would be introduced.

Overall, the proposed development is considered to be acceptable. The appearance of the building is in-keeping with the adjacent office buildings and takes into account the character of the wider industrial site. The design and impact upon amenity of the development is afforded considerable weight in the planning balance.

Highways Considerations

NPPF Paragraph 116 states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety or the residual cumulative impacts on the road network would be severe.

Local Plan Policy T4 states that new development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement. It follows on state if a development is not suitably served by the existing highway or would add to problems of safety or the efficiency of the highway, developers will be expected to take mitigating action to make sure the necessary improvements go ahead.

Table 1 of the Parking SPD (November 2019) sets out the adopted parking standards for new developments.

The Highways DC Officer has reviewed the proposal. The proposed car park access would be taken from the existing shared private industrial road, with no changes proposed to the wider site

access and/or existing access gate. The proposed car park will not provide a specific servicing area for the new office building, meaning some of the proposed parking bays may become blocked whilst service activities take place. Nevertheless, this is unlikely to have any significant adverse effect on the adjacent public highway. The proposed number of car parking spaces is appropriate for the new office building.

In summary, there are no objections subject to strict accordance with the conditions attached including the pre-commencement submission of a construction method statement. Further details regarding the proposed boundary treatments are also required as per the attached condition. The highways impact of the development is afforded considerable weight in the planning balance.

Biodiversity Considerations

Local Plan Policy BIO1 states that development will be expected to conserve and enhance the biodiversity and geodiversity features by protecting and improving habitats; maximising biodiversity opportunities in and around new developments and encouraging provision of biodiversity enhancements.

BNG became mandatory for all applications in April 2024 except where one of the exemptions (as set out in the PPG) are met.

The application submission includes a Biodiversity Net Gain assessment; metric and supplementary condition assessment sheets. This demonstrates that the development will provide a +54.24% net gain in biodiversity, which significantly exceeds the mandatory +10%. The substantial uplift is due to the existing habitats being of limited ecological value comprising of sparsely vegetated land, modified grassland and developed land.

On this basis, there is no objection in terms of biodiversity subject to the conditions relating to the biodiversity gain plan which needs to be discharged in writing prior to the commencement of any development on site. As no significant habitats are being proposed within the post development landscaping, a HMMP is not required. A further condition is also attached which requires the pre-commencement submission of a biodiversity mitigation scheme. The biodiversity impacts of the development are afforded considerable weight in the planning balance.

Conclusion

The principle of a new office building is acceptable in this location, with the application being almost identical to a previously approved scheme. The site has an established use for employment/industrial purposes, and is situated within an existing employment area. The building will have a similar appearance to the office buildings on the adjacent employment park and will positively contribute towards the character of the Whaley Road industrial area.

The development will create 11 additional full time jobs (as stated in the application form) at the existing employment site and provide improved staff welfare facilities and working environment, which is welcomed. The alterations to the wider site, including the proposed landscaping and improved pedestrian footpaths are acceptable.

There are no concerns in regard to the impact upon the highway network or parking provisions. The development is therefore recommended for approval subject to strict accordance with the attached conditions.

Recommendation

Approve with conditions

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.
2. The development hereby approved shall be carried out strictly in accordance with the plans:
Location Plan, Drawing No: NDWR - MWA - 02 - XX - DR - A – 0006, Rev: P3
Proposed Elevations, Drawing No: NDWR - MWA - 02 - XX - DR - A – 0002, Rev: P2
Proposed Floorplans, Drawing No: NDWR - MWA - 02 - XX - DR - A – 0001, Rev: P2
Proposed Overall Site Plan, Drawing No: NDWR - MWA - 02 - XX - DR - A – 0003, Rev: P3
Immediate Site Plan, Drawing No: NDWR - MWA - 02 - XX - DR - A – 0004, Rev: P3
and specifications as approved unless required by any other conditions in this permission.
Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.
3. The Biodiversity Gain Plan shall be prepared in accordance with the Ecological documents submitted with the application: Biodiversity Net Gain Assessment by Whitcher Wildlife Ltd, reference 250784 and dated 18th September 2025.
Reason: In the interests of clarification and to help deliver a biodiversity net gain on site in accordance with Schedule 7a of the Town and Country Planning Act 1990.
4. Prior to the commencement of development full-foul and surface water drainage details, including Yorkshire Water Permission to discharge, shall be submitted to and approved in writing by the Local Planning Authority.
Once agreed, the development shall not be occupied or brought into use until the approved scheme has been fully implemented in accordance with the approved details , which shall be retained for the lifetime of the development.
Reason: To ensure the satisfactory drainage of the area in accordance with Local Plan Policy CC3: Flood Risk.
5. Prior to the commencement of development, a Construction Method Statement shall be submitted to, and approved in writing by, the Local Planning Authority. The Statement shall provide details for:
 - The parking of vehicles of site operatives and visitors;
 - Means of access for construction traffic;
 - Loading and unloading of plant and materials;
 - Storage of plant and materials used in constructing the development;
 - Measures to prevent mud/debris being deposited on the public highway.Once agreed, the approved Statement shall be adhered to throughout the period of engineering operations and construction.
Reason: In the interests of highway safety in accordance with Local Plan Policy T4: New Development and Transport Safety.
6. Prior to the commencement of the development, a scheme for the following additional biodiversity mitigation and enhancement measures shall be submitted to and approved in writing by the local planning authority:
 - Integrated bat and bird boxes to be installed in suitable locations within the new building;
 - Invertebrate boxes to be installed in suitable locations on site;

- Species used within the landscaping scheme should be beneficial for a variety of pollinators.
Once agreed, the mitigation shall be implemented prior to the occupation/use of the development hereby approved, and all features shall be retained for the lifetime of the development.
Reason: In the interests of Biodiversity and in accordance with Local Plan Policy BIO1: Biodiversity and Geodiversity and the adopted Biodiversity and Geodiversity SPD.

- 7. Prior to the commencement of the development, full details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. The details shall include the proposed planting species, positions and planted heights of any proposed trees and shrubs; together with details of the position and condition of any existing trees and hedgerows to be retained. The information shall also include all boundary treatment and surfacing materials details.
Once agreed, the approved details shall be implemented prior to the occupation/use of the development.
Reason: To provide a high quality development in accordance with Local Plan Policy D1: High Quality Design and Place Making.

- 8. No above ground development/works shall commence until;
 - a) a scheme of intrusive investigations has been carried out on site to establish the risks posed to the development by past shallow coal mining activity; and
 - b) any remediation works and/or mitigation measures to address land instability arising from past coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.
 The intrusive site investigations, remedial works and mitigatory measures shall be carried out in accordance with authoritative UK guidance.
Reason: To ensure that adequate information pertaining to ground conditions and coal mining legacy is available an enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site in accordance with paragraphs 196 and 197 of the National Planning Policy Framework 2024.

- 9. Prior to the occupation/use of the development hereby approved, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.
Reason: To ensure that adequate information pertaining to ground conditions and coal mining legacy is available an enable appropriate remedial and mitigatory measures to be identified and carried out before building works commence on site in accordance with paragraphs 196 and 197 of the National Planning Policy Framework 2024.

- 10. Prior to the occupation/any use of the development hereby approved, the parking / manoeuvring facilities indicated on the submitted site plan (ref: Immediate Site Plan, Drawing No: NDWR - MWA - 02 - XX - DR - A – 0004, Rev: P3) shall be surfaced in a solid bound material (i.e. not loose chippings) and be made available for the manoeuvring and parking of motor vehicles. The parking area shall be retained for that purpose for the lifetime of the development.

Reason: To ensure satisfactory off street parking and manoeuvring areas are provided in the interests of highway safety and in accordance with Local Plan Policy T4: New Development and Transport Safety.

11. All surface water run off shall be collected and disposed of within the site and shall not be allowed to discharge onto the adjacent public highway.

Reason: In the interests of highway safety and in accordance with Local Plan Policy T4: New Development and Transport Safety.

12. There shall be no burning of any material on the development site during demolition and/or construction phases.

Reason: To reduce or remove adverse impacts on health and quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1: Pollution Control and Protection.

13. The development shall be carried out in accordance with the details shown on the submitted plan: Drainage Strategy, Document No: 221070 GEN 0002, Rev P2, prepared by Melia Smith & Jones, dated 31/08/22.

Reason: In the interest of satisfactory and sustainable drainage.