

Application Reference: 2025 0269

Site Address: 5 Avon Close, Higham, Barnsley, S75 1PD

Introduction:

This application seeks full planning permission for the erection of single storey rear extension

Relevant Site Characteristics

The application site is a two storey house built with the gable facing the road. The house has a catslide pitched roof covering the main two storey element of the house and an (as originally built) single storey element. The house has previously been extended to the rear with a two storey extension and a conservatory. The proposed extension is to replace the conservatory.

The house is in a residential area with a mixture of two storey house types in the immediate vicinity of the application site and bungalows on the opposite side of Avon Close.

Site History

Application Reference	Description	Status (Approved/Refused)
B/93/0099	Erection of two storey (rear) extension	Granted
B/02/1487	Erection of rear conservatory	Granted

Detailed description of Proposed Works

The proposed single storey rear extension is to be built in the place of an existing conservatory. Unlike the conservatory the extension will extend to align with the southern (side) wall of the existing house.

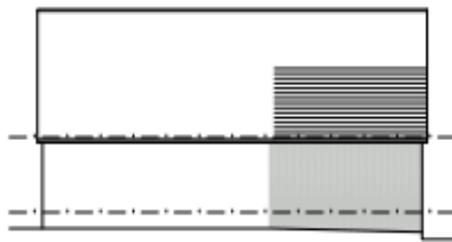
The application has been amended to change the red outline of the application site following the receipt of representations from a neighbour.



EXISTING SIDE ELEVATION
SCALE 1:100



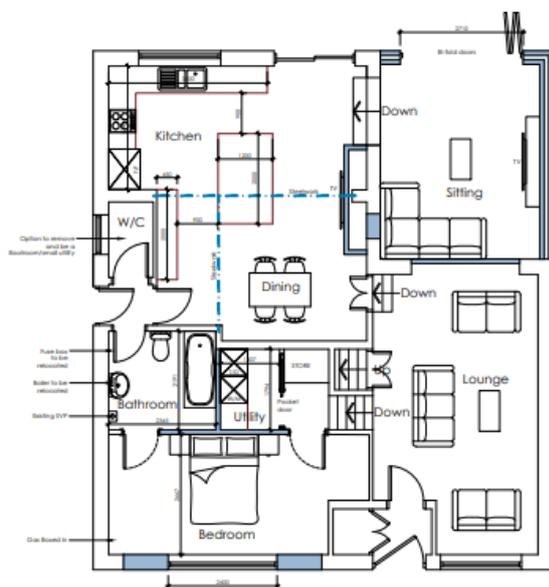
EXISTING REAR ELEVATION
SCALE 1:100



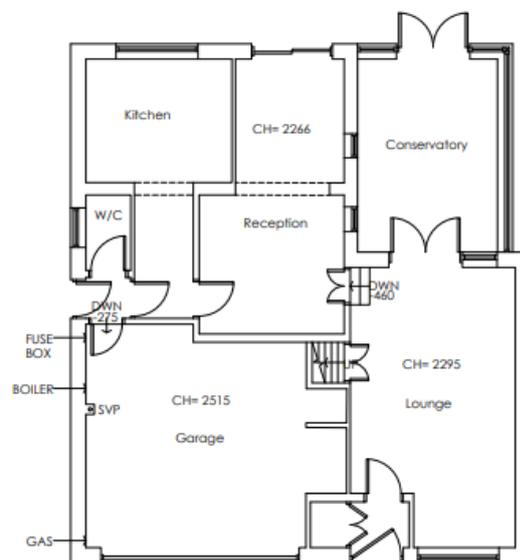
PROPOSED SIDE ELEVATION
SCALE 1:100



PROPOSED REAR ELEVATION
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



EXISTING GROUND FLOOR PLAN
SCALE 1:50

Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.

- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD in this case is:

- House extensions and other domestic alterations

The adopted SPD should be treated as material considerations in decision making and is afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

Representations have been received from one neighbour pointing out that the original red outline was incorrect as they have purchased part of the garden to 5 Avon Close. On notification of the amended plan with a revised red outline the neighbour confirmed that they had no further comments.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric as designated in the Barnsley Local Plan policies map. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

The Supplementary Planning Document for House extensions and other domestic alterations establishes general principles for house extensions, including that they should be of a scale and design that harmonises with the existing building and be subordinate.

The scale and design of the extension reflects the character of the existing dwelling and are considered to be acceptable. The application indicates that the extension would be built of facing and roofing materials to match those on the existing house and a condition would secure this.

The extension is considered to be acceptable in visual terms and to be in compliance with Local Plan policy D1, and as such carries significant weight in favour of the application.

Impact on Neighbouring Amenity

The Supplementary Planning Document for House extensions and other domestic alterations establishes general principles for house extensions, including that they should not adversely affect the amenity of neighbouring properties. The extension does not include any new windows in the south facing side wall which could affect the privacy of the neighbouring house to the south.

The rear wall of the proposed extension approximately aligns with the rear wall of the neighbouring house to the south. The neighbouring house also has a rear conservatory which is set in from the shared boundary with the application site. It is concluded that the impact of the proposed extension on the neighbouring house will not be unacceptable, bearing in mind also that there is existing evergreen hedge on the boundary between the two dwellings.

In light of the above and given that the objection from the neighbouring property to the red outline boundary has been resolved and the neighbour had no further comments, it is considered that the proposal would not result in any material harm to the amenity of neighbouring properties and is in compliance with Local Plan policy GD1. This carries significant weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- The red outline boundary was alleged to extend into a neighbouring garden. The red outline boundary was amended and the neighbour acknowledged the change and confirmed they had no further comments.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.