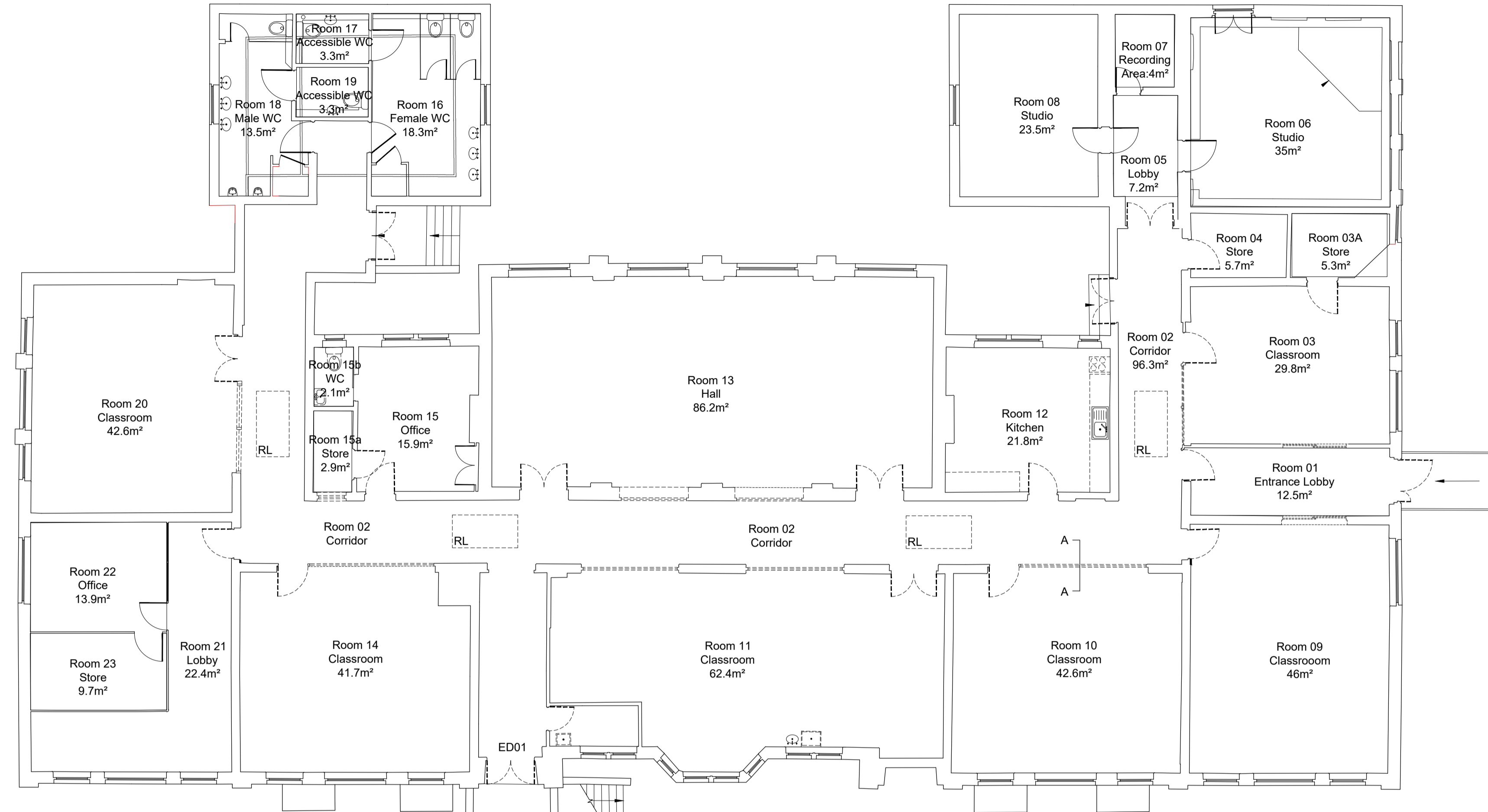


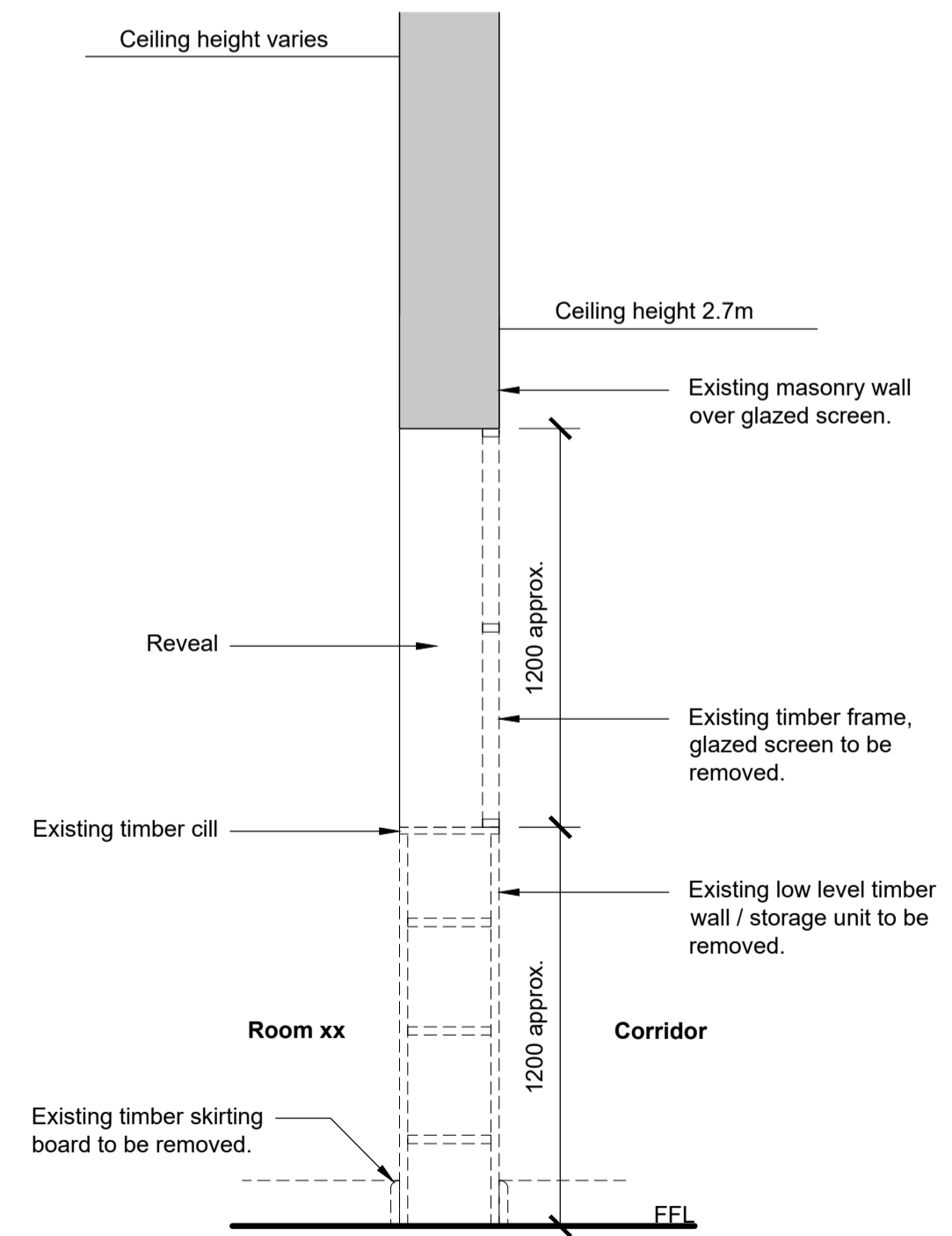
Notes

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Contractors shall verify and be responsible for all dimensions and conditions and shall report any discrepancies to the issuing office before proceeding with any work. Drawings shall not be scaled.



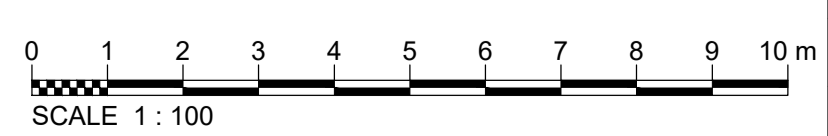
Existing Ground Floor Plan
 Scale 1:100
Enabling Works (Internal)

- Remove all existing fixtures, fittings and furniture including as required from walls and ceilings in work areas. Contractor to include for the temporary removal and re-installation of any large wall fixtures and fittings including kitchen units, sinks and shelving etc. associated with the installation of new wall linings. Include for the temporary isolation / disconnection of plumbing / services as required. Carefully set aside items for re-use on completion. Include for 1no 20ft storage container.
- Contractor to provide and install adequate surface protection for all internal surfaces including all floors which are to be retained. Contractor to make good any disturbed surfaces / finishes in like materials.
- Remove all internal ceilings (presumed lath and plaster) throughout the building (500m² approx.) and dispose off site. Include for a working platform and protection to all internal surfaces. Make good any damaged surfaces in like materials. Contractor to site measure and confirm areas.
- Hack off plaster to internal masonry walls (1520m² approx.) as indicated including window / door reveals, all half height ceramic wall tiles to rooms 02, 11 & 13, associated dado rails and skirting boards and dispose off site. Include for protection to all internal surfaces. Make good any damaged surfaces in like materials. Contractor to appoint a damp specialist (Peter Cox) to inspect the condition of all walls following the removal of the plaster / internal finishes. Contractor to site measure and confirm areas.
- Remove all timber windows cills (50m approx.) from external windows where new insulated plasterboard is to be installed.
- Remove 13no single and 5no double internal timber door sets and dispose off site. Make good reveals in preparation for new.
- Remove 4no external double door sets and dispose off site.
- Remove 11no (30m) timber framed glazed screens / windows along the main corridor and dispose off site. Include for removing half height timber walls, cupboards / shelving below and make good reveals and affected surfaces in preparation for receiving new.
- Isolate and disconnect services as required and remove existing toilet pan and sink from WC (Room 15b) and dispose off-site. Include a **PROVISIONAL SUM** for removing any existing lead pipework as required and replacing with new (TBC).
- Remove timber boxing (1m² approx.) in female WC and dispose of site.



Key:
 - - - - - Items to be demolished, removed and or set aside.

Typical section through existing timber wall / shelving unit and glazed screen (Section A-A)
 Scale 1:20



P1	Planning	NRL	B.J.L.	SAS
Ver.	Details	Author & Date	Checked & Date	Approved & Date
Client Mount View, Standard Way, Northallerton, North Yorkshire, DL6 2YD Tel: 01609 797373				
Project name Barnsley Metropolitan Borough Council				
Drawing Title The Dearne Renaissance Centre Roofing and Internal Refurbishment				
Existing Floor Plans				
Purpose Planning				
Scale	Drawn	Checked	Approved	
1:10, 1:50, 1:100	NRL	B.J.L.	SAS	
Original Size	Date	Date	Date	
A1	01.02.23	01.02.23	01.02.23	
Drawing Number	Version			
BC2206-APP-XX-XX-DR-B-000110	P1			