

Application Reference: 2026/0529

Site Address: Aldi Foodstores, Hunningley Lane, Stairfoot, Barnsley, S70 3DU

Proposal: Installation of air source heat pump, associated infrastructure and 2.4m palisade fence enclosure.

Relevant Site Characteristics

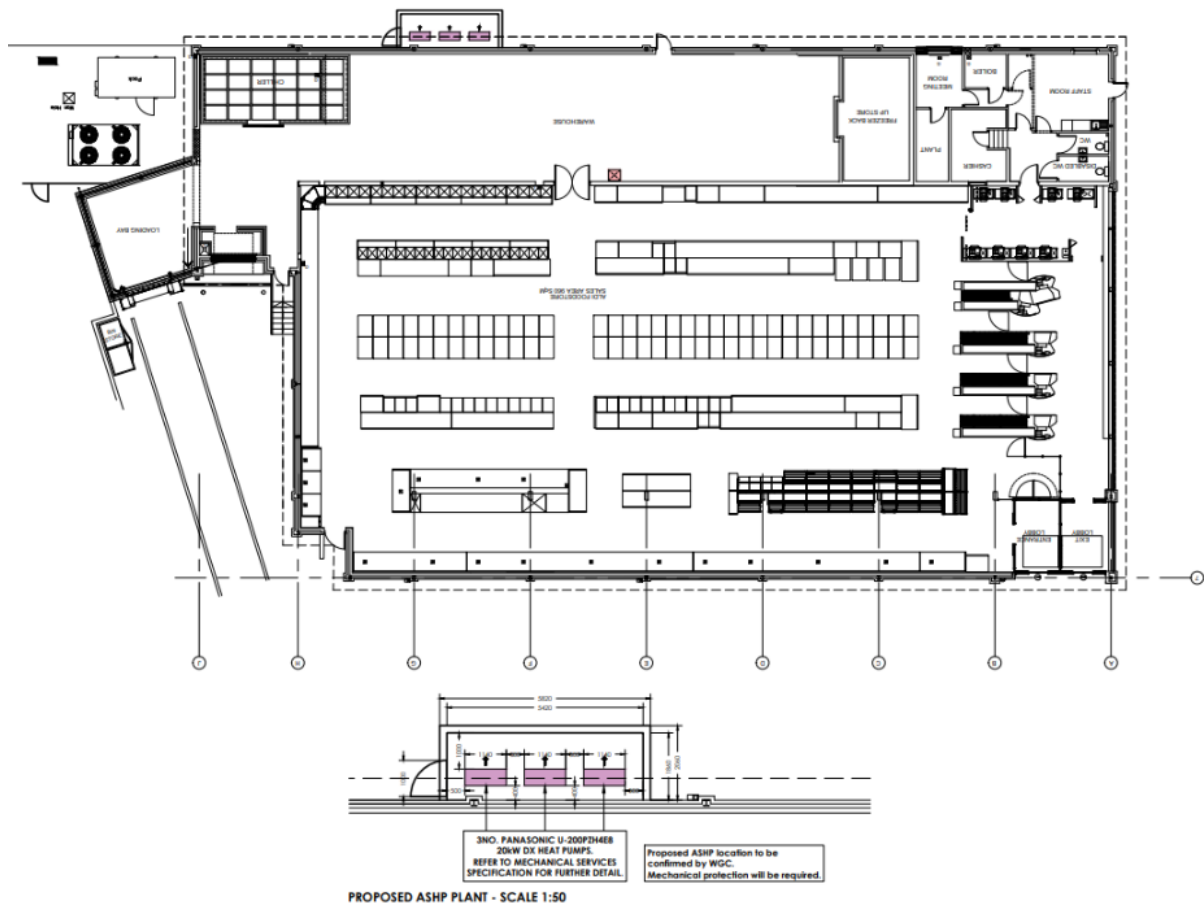
The application site is located on the southwest side of Doncaster Road within the Stairfoot Area. The site is accessed via Stanley Road, off Hunningley Lane. The immediate area is characterised by predominantly commercial sites with Stairfoot roundabout located to the east of the site. Highgrove Care Home is located to the north of the site. Grassed verge is located to the rear of the building, extending from the north of the site and circling round clockwise to the south of the site. The site provides a car park to the south of the site. The store is located to the north and east of the site. The store provides various advertising to the rear elevation, facing Doncaster Road.

Planning History

Reference	Description	Decision
2006/0050	Erection of single-storey extension to retail store	Approve with Conditions
2006/0063	Display of illuminated signs to retail store	Approve
2008/0567	Erection of extension to foodstore.	Approve with Conditions
2008/0858	Display of internally illuminated double sided gantry sign over canopy.	Approve with Conditions
2015/0735	Proposed extension to food store loading dock area with new loading bay door.	Approve with Conditions
2015/0882	Display of 1 no. illuminated double sided post mounted sign, 2 no. illuminated wall mounted fascia signs and 1 no. illuminated double sided sign fixed to existing posts	Approve with Conditions
2018/0761	Installation of new ground attached plant and 2.4m high palisade fence within existing plant compound	Approve with Conditions

Detailed description of Proposed Works

The applicant is seeking permission to install an Air Source Heat Pump plant along with the associated infrastructure and an enclosing 2.4 metre palisade fence to the north of the building. Three Panasonic U-200PZH4E8 20kW DX Heat Pumps are detailed. The heat pumps would be surrounded by 2.4-metre-high palisade fencing along with galvanised top hats.



Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy CC1: Climate Change
- Policy CC2: Sustainable Design and Construction
- Policy RE1: Low Carbon and Renewable Energy
- Policy BIO1: Biodiversity and Geodiversity
- Policy POLL1: Pollution Control and Protection

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- Sustainable Construction and Climate Change Adaption

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

This application was advertised on the Council website, and a site notice was placed nearby, expiring 31st July 2026. No representations were received.

Consultee	Summary of Comments
Pollution Control	No Objection
Local Ward Councillors	No Response

Representations

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. No representations have been received

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of development

The proposal is in a designated Local Centre and is predominantly surrounded by commercial properties. Planning policies for the local centre indicate that we will support development that will meet the needs of the local area and is appropriate to the local centre.

Visual Amenity and Character

The proposal includes the erection of a 2.4 metre high palisade fence surrounding the Air Source Heat Pumps. The heat pumps themselves would therefore be somewhat screened from view. The fence itself would be similar to the palisade fencing located to the north of the site. Although the ASHP and fencing would be located at an elevated position above Doncaster Road, the street scene and rear of the store does not provide any distinctive character or particularly positive visual amenity. The addition of the proposal would therefore not be likely to have any detrimental impact on the building or street scene. It is therefore compliant with Policies GD1 and D1 of the Local Plan and is acceptable in terms of visual amenity. This weighs significantly in favour of the proposal.

Residential Amenity

Highgrove Care Home is located to the north of the site, however, is distanced by approximately 40 metres and would be screened by the store, reducing any impacts from the proposal. No residential properties are located within 100 metres of the proposal and would therefore not be significantly impacted by the proposal. Furthermore, the properties nearest to the proposal are separated by Doncaster Road or screened by the store itself.

The proposal includes the installation of air source heat pumps which can increase noise generation and general disturbance to neighbouring properties however given the above distance this is not deemed to be impactful. Pollution Control have been consulted and raised no objections based on the data provided.

Overall, the proposal is considered to comply with Local Plan Policy GD1: General Development and would provide an acceptable standard of residential amenity. This weighs significantly in favour of the development.

Highway Safety

The proposal would not be impactful on highway safety. Doncaster Road is located to the north and east of the site. The proposal would be distanced from the highway by 'highway verge' and located at a higher level, reducing the impact on the highway.

As such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries moderate weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

No amendments have been requested from the applicant.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions

- 1) The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.
- 2) The development hereby approved shall be carried out strictly in accordance with the approved plans

Proposed Elevations GOL014 THPW XX EL DR A (00)12
Location Plan GOL014 THPW XX XX DR A (90)00
Proposed Site Plan GOL014 THPW XX XX DR A (90)11
Proposed Floor Plan GOL014 THPW XX 00 DR A (00)11
20260529 Specification Sheet for Panasonic Heat Pump model U-200PZH4E8 20kW DX Heat Pumps

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality in accordance with Local Plan Policy D1 High Quality Design and Place Making.

Informatives

- 1) The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

- 2) This permission shall not be construed as granting rights to carry out works on, under or over land not within the ownership, or control, of the applicant.
- 3) It is recommended that measures are taken to prevent a nuisance/ or effect the quality of life of local residents. Please note that the Council's Pollution Control Team have a legal duty to investigate any complaints about noise, smoke or dust. No waste should be burnt. If a statutory nuisance is found to exist, they must serve an Abatement Notice under the Environmental Protection Act 1990. Failure to comply with the requirements of an Abatement Notice may result in a fine of up to £20,000 upon conviction in Magistrates' Court. It is therefore recommended that you give serious consideration to the steps that may be required to prevent a noise, dust or smoke nuisance from being created.