

Application Reference: 2025/0372

Location: 1 The Gate, Barnsley Road, Dodworth, Barnsley, S75 3LE.

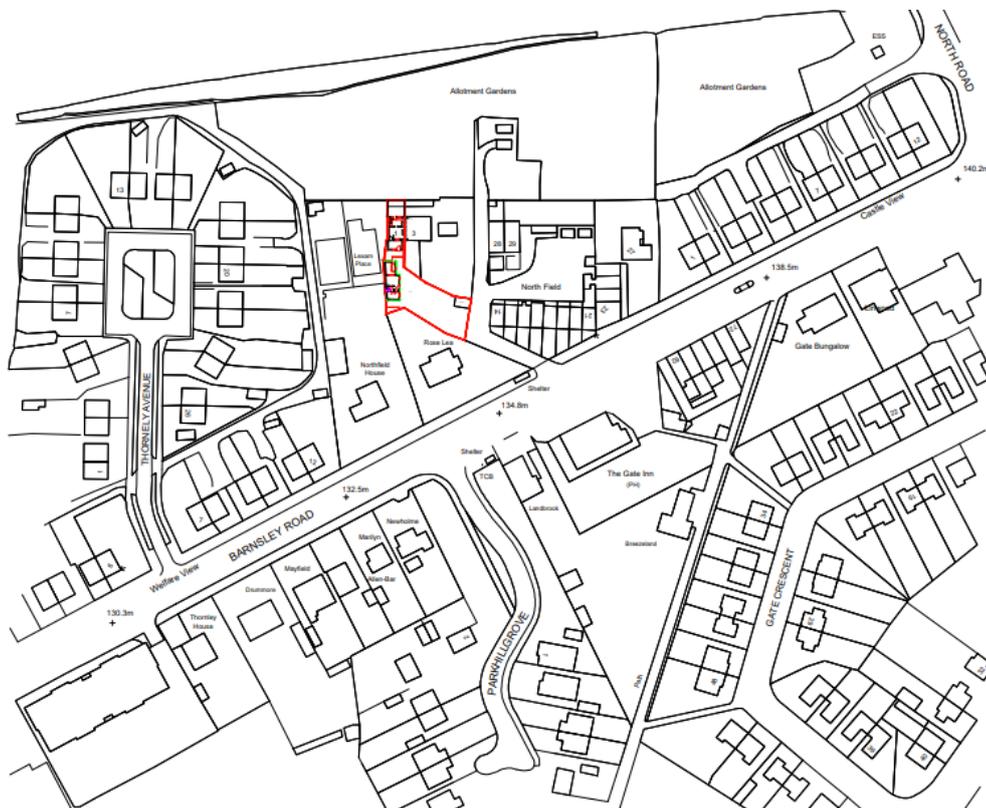
Introduction

This application seeks planning permission for the replacement of an existing conservatory with a single storey extension to the south elevation of the dwelling and the conversion of and extension to existing stables to form a residential annexe with associated alterations, including the installation of cladding, and the erection of 1.8-metre-high fence to western boundary.

Relevant Site Characteristics

This application relates to a modest L-shaped back land plot located on the north side of Barnsley Road and in an area that is principally residential characterised by a mix of dwelling types of varying scale and appearance alongside intermittent commercial uses. Capitol Park and Junction 37 of the M1 motorway are located to the north and east. Fall Bank Industrial Estate is located to the west.

The application property is a relatively small two-storey semi-detached dwelling constructed of stone with a pitched concrete pantile roof. The application property benefits from an existing single storey glazed conservatory on its south elevation. Fronting the property and adjacent to the west boundary is an existing detached stable and store building constructed of breeze block painted off-white with a sheet metal roof. To the north-east corner within the plot is an existing detached store constructed of timber with a metal sheet roof. Adjacent to this is a blue container. The plot is relatively level but steps up on approach to the dwelling. The plot benefits from a shared access off Barnsley Road and opposite the Gate Inn building.



Site History

B/92/0172/DO	Extension to domestic curtilage and erection of stable and private garage.	Approved.
B/04/2529/DO	Erection of stable, feed shed and garden store/shed to dwelling.	Approved.

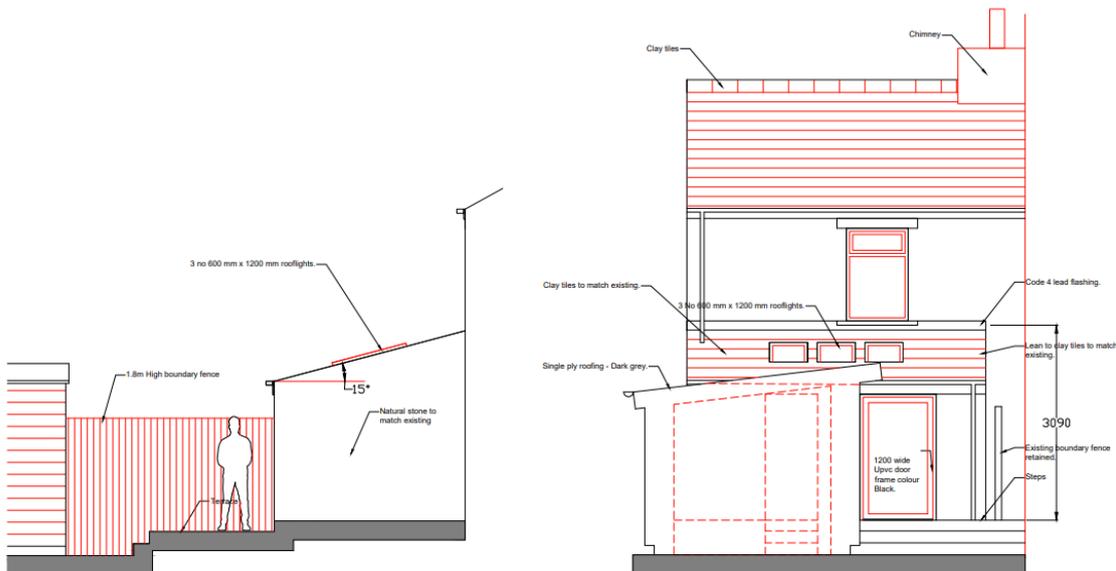
Detailed Description of Proposed Works

The applicant is seeking planning permission for the replacement of an existing conservatory with a single storey extension to the south elevation of the dwelling and the conversion of and extension to existing stables to form a residential annexe with associated alterations, including the installation of cladding, and the erection of 1.8-metre-high fence to western boundary.

The proposed extension would measure approximately 3 metres (L) x 4.9 metres (W) x 3.1 metres (H) and would be constructed of closely matching external materials, including stone and roof tiles.

The proposed extension to the existing stables and store would measure approximately 1.2 metres (L) x 4.3 metres (W) x 3.1 metres (H). The building would be converted to a residential annexe that would comprise a bedroom, en-suite and lounge. A new single ply roof in dark grey would be installed and black Cedral board cladding would be installed to its north, east and south elevations.

During the application process, the proposal was amended to provide a mono pitched roof to the proposed extension to the south elevation of the dwelling, and to remove a link element between the proposed annexe and dwelling.

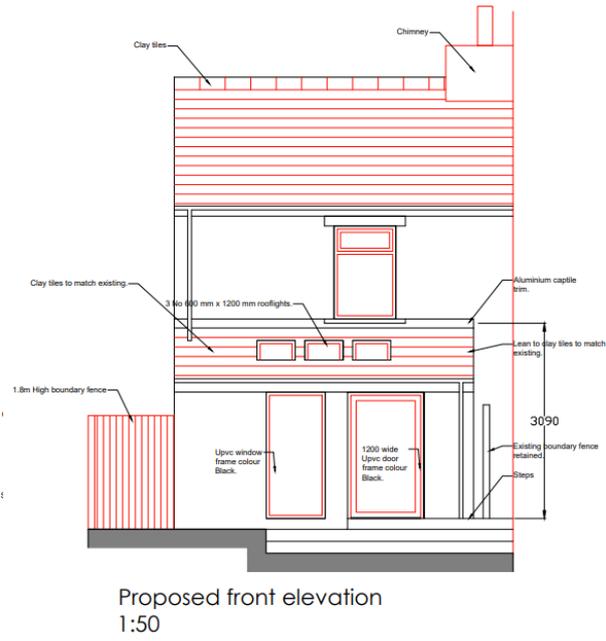
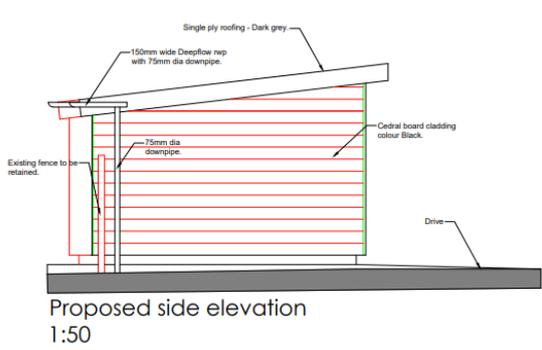


Proposed front elevation
1:50

	C. Glass link refined.	03-07-25
	B. Rooflights amended.	16-06-25
Revisions	A. House extension changed to lean to and glazed link added.	16-06-25
This drawing is for planning permission only and is not a construction drawing.		
Drawing Title: PROPOSED ELEVATIONS		
Job No. - Des No.	AJ/2025/000	
Client:	4 Willow Road, South Haverhill 5, The Green, South Haverhill CB23 3JF	
Scale:	1:50	
	D. Glass link omitted.	11-07-25

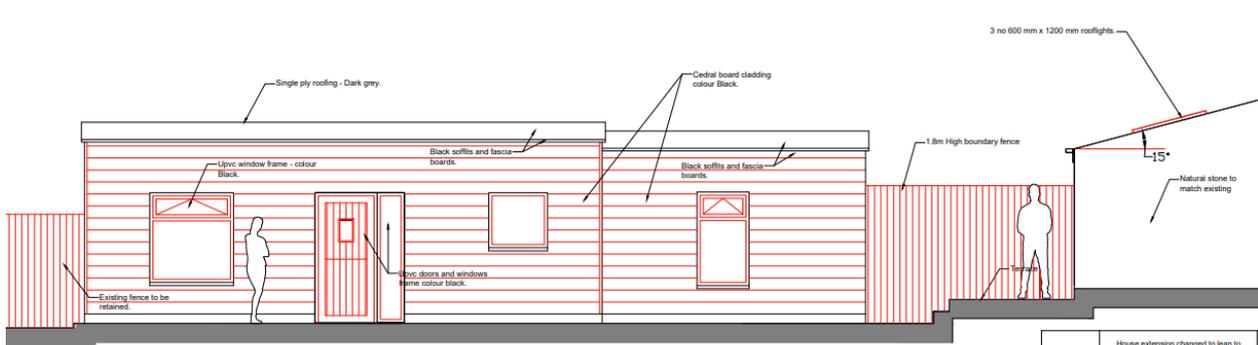
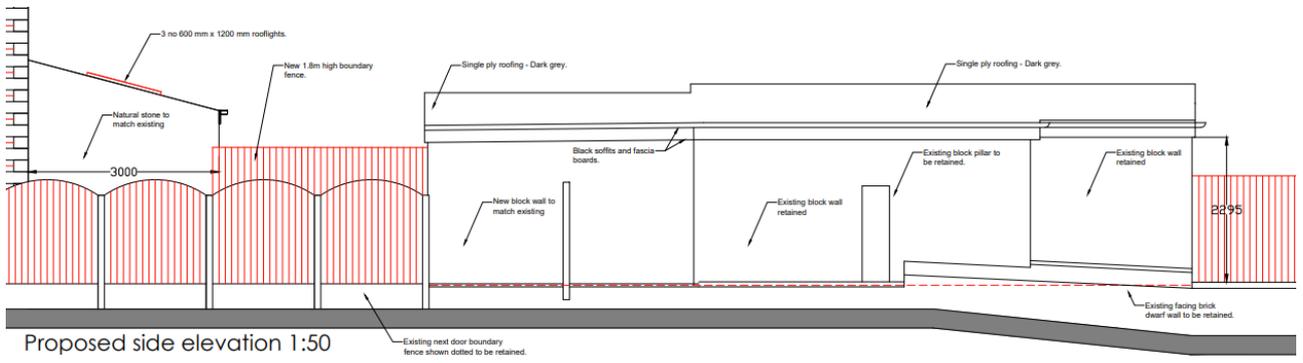
0 500 1000 1500 2000 2500mm
SCALE 1:50





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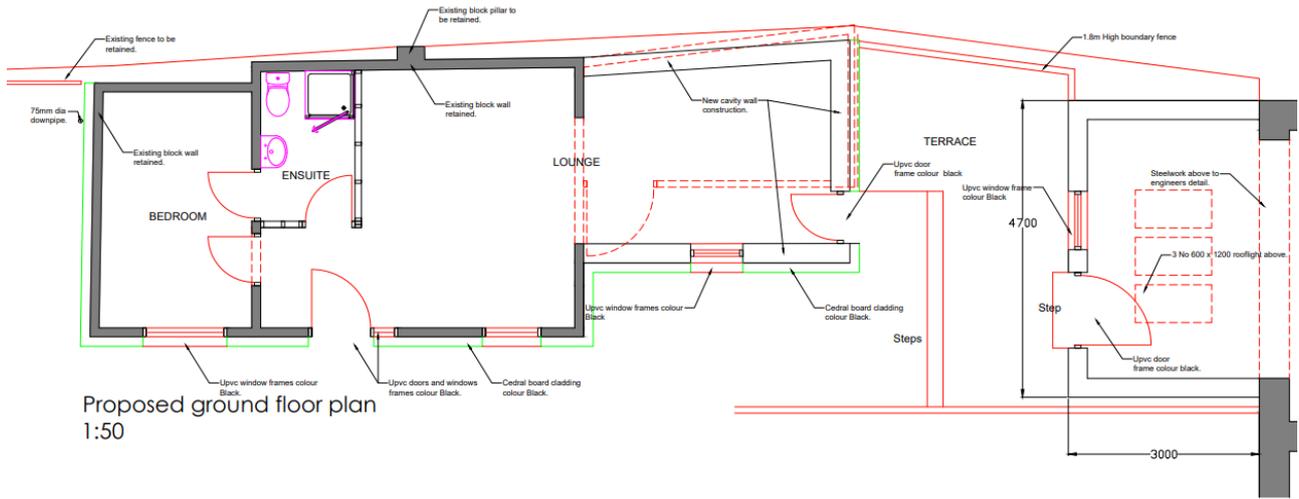
Revisions	A. Proposed front elevation shown.	11-07-25
This drawing is for general information only and is not a construction drawing.		
Drawing Title	PROPOSED-SIDE-ELEVATIONS	
Job No. - Day No.	AJ2025/12A	-
Client	Alison and Jack Howards 5, The Grange 25000th Barnway S15 3AT	
Scale	1:50	



0 500 1000 1500 2000 2500mm
SCALE 1:50

Revisions	A. House extension changed to lean to and glazed link added.	16-06-25
This drawing is for general information only and is not a construction drawing.		
Drawing Title	PROPOSED-FRONT-AND-SIDE-ELEVATION	
Job No. - Day No.	AJ2025/11D	-
Client	Alison and Jack Howards 5, The Grange 25000th Barnway S15 3AT	
Scale	1:50	





Proposed ground floor plan
1:50

0 500 1000 1500 2000 2500mm
SCALE 1:50

	D. Glazed link omitted	11-07-25
	C. Glazed link refined	03-07-25
	B. Glazed link amended.	14-04-25
Revisions	A. Plan updated to show glazed link.	14-04-25
<small>This drawing is for planning permission only, and is not a construction drawing.</small>		
Drawing Title: PROPOSED-PLAN		
Job No. - Draw No.	A-100201/00	--
Client:	480m gnd Jack Hawkins 2 The Gate Eastwold Lincolnshire LN10 3JF	
Scale:	1:50	



Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. The following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy D1: High quality design and place making.*
- *Policy GD1: General Development.*
- *Policy T4: New Development and Transport Safety.*

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 2: Achieving sustainable development.*
- *Section 4: Decision-making.*
- *Section 12: Achieving well designed places.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *House extensions and other domestic alterations (Adopted March 2024).*
- *Parking (Adopted November 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

This planning application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 (as amended).

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. No representations have been received.

No statutory or non-statutory consultees were consulted on this application.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Scale, Design and Impact on Character

The House extensions and other domestic alterations SPD sets out that modest single storey front extensions which are in-keeping with the style of the existing house, may be allowed.

The proposed extension to the south elevation of the dwelling would adopt a modest scale, including a restrained projection and roof height and would be constructed of matching external materials. The proposed extension would also adopt a mono pitched roof which is a sympathetic roof type. Because of the back land location of the development site, the extension would not significantly alter or detract from the character of the street scene. Moreover, it is considered that the proposed extension would better reflect the character of the dwelling and would be a great improvement on the existing glazed conservatory.

The House extensions and other domestic alterations SPD states that detached outbuildings should be single storey structures that relate sympathetically to the main dwelling in style, proportions and external finishes. The eaves height should not normally exceed 2.5 metres from ground level, whilst the ridge height should not normally exceed 4 metres. In most cases, it will not be appropriate for a garage or outbuilding to be sited between the house and the road.

In this instance, the proposal includes the conversion of an existing detached stables and store that was previously approved to a residential annexe. The existing stables and store are located adjacent to the western site boundary and between the dwelling and the road. The proposal includes a modest extension to the north elevation of the existing building, a re-roof and other external alterations which include the installation of black Cedral board cladding on the north, east and south elevations. Whilst the existing building is sited forward of the dwelling, it is not considered that the proposal would have a significantly greater impact on its character. The proposed re-roof and installation of cladding would

somewhat improve the appearance of the existing building and provide a more sympathetic contrast with the darker tones of the materials used in the external construction of the dwelling, and because of the back land location of the development site, the proposal would not significantly alter or detract from the character of the street scene, and therefore, the proposal is considered acceptable in this instance.

It is understood that the siting of the container within the development site is temporary. Nonetheless, a condition could be used to secure its removal should planning permission be granted.

Considering the above, on balance, the development is not considered to significantly alter or detract from the character of the street scene or the original property which is therefore considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and is considered acceptable regarding visual amenity.

Impact on Neighbouring Amenity

It is not considered that the proposal would contribute to significant overshadowing, overlooking and loss of privacy, or reduced outlook impacts which may otherwise adversely affect the amenity of the occupants of the application and neighbouring properties.

The proposed extension to the south elevation of the dwelling would replace an existing conservatory of a similar scale and new apertures would face away from surrounding properties.

The proposed extension to the north elevation of the existing stables and store would not significantly alter or increase the scale and height of the existing building, nor would the proposed re-roof of this building. New apertures would face into the development site and away from surrounding properties. The development site is also well screened by existing boundary treatments. An additional 1.8 metre-high fence is proposed for part of the western boundary which would be installed fronting an existing neighbouring fence in the same location. Whilst the new fence would be higher it would not be any more impactful than the existing fence which matches the eaves height of the neighbouring dwelling.

The proposal would not cover a disproportionate amount of the available private amenity space in the development site, and the proposed annexe use would remain ancillary to the dwelling with some reliance maintained and shared facilities. However, it is acknowledged that the proposed floorspace of the annexe (approximately 50.3 sqm) would exceed the 39 sqm allowed by the Council's adopted guidance. Whilst the proposal would not be compliant in this regard, the majority of the floorspace is existing with only approximately 5.3 sqm being new floorspace. On balance, the proposal is therefore considered acceptable in this instance. The applicant has stated that the proposed annexe would be used to accommodate visits from relatives due to the small size of the dwelling and would provide a long-term solution to ongoing health conditions, which because of the size of the dwelling, makes it difficult to access first-floor habitable spaces. Should permission be granted, it will be subject to conditions requiring the annexe to remain ancillary to the dwelling, be of the same family occupancy and prevents it being used, sold or rented as an independent dwelling or separate planning unit later.

It is not considered that the proposal would result in significantly reduced levels of outlook.

Adjacent neighbouring properties were notified, and no representations were received.

Considering the above, on balance, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and is considered acceptable regarding residential amenity.

Impact on Highways

The proposed development is not considered to be prejudicial to highway safety as existing off-street parking arrangements would not be significantly impacted and at least two off-street parking spaces would be maintained.

Considering the above, this is considered to weigh modestly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.

Planning Balance and Conclusion

In accordance with the provisions of paragraph 11 of the NPPF(2024), the proposal is considered in the context of the presumption in favour of sustainable development and therefore, for the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant local and national planning policies and guidance and planning permission should be granted subject to necessary conditions.

RECOMMENDATION: Approve subject to conditions.

Justification

Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.

In dealing with the application, the local planning authority (LPA) has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- Provide a pitched roof to the proposed extension on the south elevation of the dwelling.
- Remove a link element between the dwelling and proposed annexe.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.