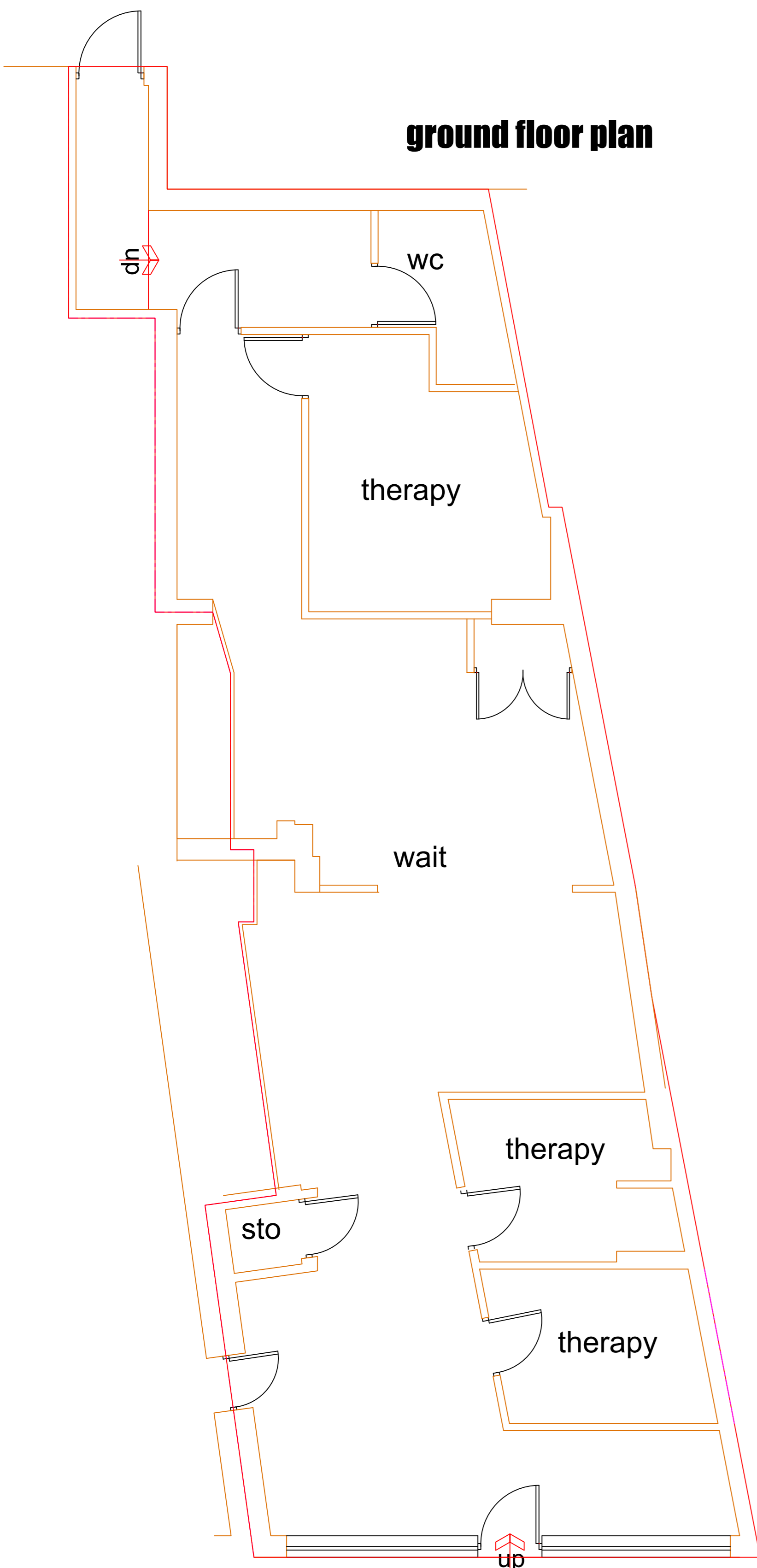


plans as existing

open shared yard



ground floor plan

Approved Doc B - Fire Safety
60 Min fire separation to be achieved between ground and first floor-fire resistant ceiling required
Final exit doors should be only fitted with simple fastenings that can be readily operated from the side approached by people making an escape without the use of a key
A fire alarm and detection system is required in accordance with BS5839-1:2013. A min Category M system is to be installed. Manual call points are to be provided adjacent the final exit door Call points to comply with BSEN 54-11:2001
A certificate to certify that the fire alarm system has been installed and tested by a competent person in accordance with BS5839-1:2013 is to be sent to Sheffield Building Standards on completion of the work
Exit signage is to be provided and directional arrow escape signs to be provided at the rear corridor
Emergency escape lighting is required to the wc areas in accordance with BS5266-1:2011. This to be integral to the escape signage described above
A completion certificate to certify the emergency lighting system has been designed, installed and commissioned by a competent person in accordance with BS5266-1:2011 is to be sent to Sheffield Building Standards on completion of the work
The person carrying out the work shall give fire safety information to the responsible person no later than the date of completion of the work, or the date of occupation of the building.

FIRE DOORS
FD30SC-SS denotes 30 minute fire resisting door with self closing device and intumescent seal. Permanent smoke seals also to be fitted if there are smoke detectors within rooms only. No permanent smoke seals to be fitted if smoke detectors are in circulation area only
Approved Document H - Drainage and waste disposal
We intend to connect the new wcs into the existing SVP
Please note any Yorkshire Water conditions, if applicable will be added to any approval given.
The new above ground drainage should be constructed in accordance with AD H1. Section 1.

Approved Doc J - Combustion appliances and fuel storage systems
No boilers or flues are affected by the works
Part L - Conservation of fuel and power
note the existing fabric to remain; therefore no requirement to thermally insulate
INSULATION
all to be lapped as recommended in DLTR guidance for ensuring robustness of construction-no gaps or thermal bridges
max. u values of o/a constructions :-
external doors
1.6w/sq.m k - thermal core door sets
windows 1.2w/sq.m k
or window energy rating band c
provide dpc, weather checks to BS 743 and close cavities at eaves & reveals to all new external openings with proprietary closers max. u value 3.5w/sq.m k.
lintels to have max u value of 0.35w/sq.m k
half hour fire resistance to elements of structure. 12mm plasterboard and 3mm skim.
opening lights to all new rooms to be equal to 5% of floor areas and fitted with ironmongery to provide controllable secure ventilation
total area min. 8000 sq.mm /habitable room, 4000 sq.mm /non habitable room.
ventilation to w.c's.
w.c.'s to have opening lights to equal 1/20 floor area or mechanical ventilator to give min 3no. air changes / hour switched with light to over run min. 15 min.
anti syphon traps to new sanitary fittings.
new drainage to connect to existing svp

Document L - Conservation of fuel and power
Any retained thermal elements should be no worse than the threshold U-values given in AD L1B Table 3 column (a) or should be upgraded in accordance with Approved Document L1B Table 3 column (b).
No existing windows to remain; all to be replaced and to achieve a WER Band C or better or a Standard of 1.6 W/m2.K
The common stairway is unconditioned the stairway is to be insulated and achieve the standards set out in AD L1B Table 3 for existing. Upon completion of the work the person carrying out the work shall give an Energy Performance Certificate for the building to the owner of the building.

Thermostatic controls to all new radiators
NOTES
All structural timber to be strength graded
VENTILATION
All habitable rooms to have opening lights with aggregate area equal to not less than 1/20th floor area of respective room. 8000mm2 trickle vents to be provided to each habitable room
INSULATION
all to be lapped as recommended in DLTR guidance for ensuring robustness of construction-no gaps or thermal bridges

FINISHING JOINERY
Skirtings and architraves
Skirtings and architraves to be mdf torus moulded unless noted otherwise

PARTITIONS
150 o/all sound insulated Jumbo stud walling due to height and 30min fire protected
70mm metal stud with 15mm Soundshield board to each side of studs. Walls built on strips of RESI-Foam applied to head and base track.

external dark grey aluminium liveried shutterbox with signage
new shopfront with shutter and guides
min clear door width to new pub shop front not less than 900mm
Manifestation will be provided to new shopfront at 1400-1600mm above floor level

Doors which might be expected to serve more than 60 persons at the time of a fire must open in the direction of escape
Doors on escape routes from rooms with an occupant capacity of more than 60 should either not be fitted with lock, latch or bolt fastenings, or be fitted with panic fastenings in accordance with BS EN 1125:2008
Smoke detection will be provided in all areas.
All fire doors on escape routes should be fitted with suitable self-closing devices.

Approved Document F - Ventilation
A suitable mechanical extract system will be installed to augment the openable windows in the shopfront.

Approved Document A - Structure
The suitability of the existing floors to carry the additional loads from the new stud walls should be to the satisfaction of the District Building Surveyor.

GROUND FLOOR AREAS
floor assumed to be on dpm and will be thermally insulated

Electrical Installation
All to be carried out in accordance with Approved document P all to be carried out by competent person and design, installation, inspection and test certificate under BS7671 to be produced
allow low energy light fittings to 1 hr suspended ceiling number as advised by lighting engineer suitable for pub ambient lighting levels
allow for moisture resistant fittings to wc areas

Part M - Access to and use of buildings
Electrical sockets/switches to be located between 450 - 1200mm from floor level
handrinse and drainage to be added when layout agreed
cellar door to corridor kept locked shut in business hours restocking only occurs out of hours

Approved Document H - Drainage and waste disposal
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The common stairway is unconditioned the stairway is to be insulated and achieve the standards set out in AD L1B Table 3 for existing. Upon completion of the work the person carrying out the work shall give an Energy Performance Certificate for the building to the owner of the building.

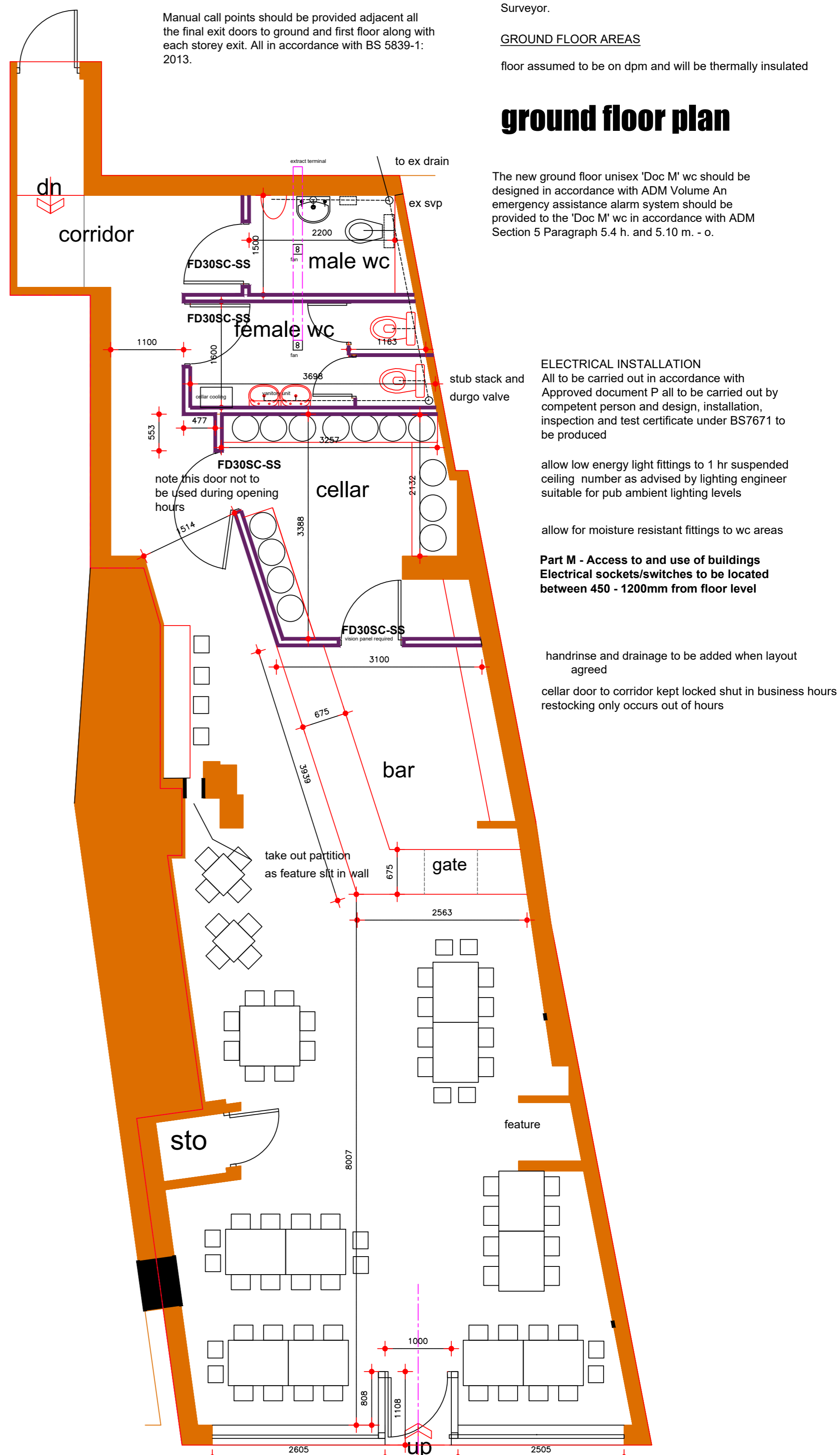
Thermostatic controls to all new radiators
NOTES
All structural timber to be strength graded
VENTILATION
All habitable rooms to have opening lights with aggregate area equal to not less than 1/20th floor area of respective room. 8000mm2 trickle vents to be provided to each habitable room
INSULATION
all to be lapped as recommended in DLTR guidance for ensuring robustness of construction-no gaps or thermal bridges

FINISHING JOINERY
Skirtings and architraves
Skirtings and architraves to be mdf torus moulded unless noted otherwise

PARTITIONS
150 o/all sound insulated Jumbo stud walling due to height and 30min fire protected
70mm metal stud with 15mm Soundshield board to each side of studs. Walls built on strips of RESI-Foam applied to head and base track.

plans as proposed

open shared yard



ground floor plan

Manual call points should be provided adjacent all the final exit doors to ground and first floor along with each storey exit. All in accordance with BS 5839-1: 2013.

Approved Doc B - Fire Safety
60 Min fire separation to be achieved between ground and first floor-fire resistant ceiling required
Final exit doors should be only fitted with simple fastenings that can be readily operated from the side approached by people making an escape without the use of a key
A fire alarm and detection system is required in accordance with BS5839-1:2013. A min Category M system is to be installed. Manual call points are to be provided adjacent the final exit door Call points to comply with BSEN 54-11:2001
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FD30SC-SS denotes 30 minute fire resisting door with self closing device and intumescent seal. Permanent smoke seals also to be fitted if there are smoke detectors within rooms only. No permanent smoke seals to be fitted if smoke detectors are in circulation area only
Approved Document H - Drainage and waste disposal
We intend to connect the new wcs into the existing SVP
Please note any Yorkshire Water conditions, if applicable will be added to any approval given.
The new above ground drainage should be constructed in accordance with AD H1. Section 1.

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No boilers or flues are affected by the works
Part L - Conservation of fuel and power
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INSULATION
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max. u values of o/a constructions :-
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windows 1.2w/sq.m k
or window energy rating band c
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lintels to have max u value of 0.35w/sq.m k
half hour fire resistance to elements of structure. 12mm plasterboard and 3mm skim.
opening lights to all new rooms to be equal to 5% of floor areas and fitted with ironmongery to provide controllable secure ventilation
total area min. 8000 sq.mm /habitable room, 4000 sq.mm /non habitable room.
ventilation to w.c's.
w.c.'s to have opening lights to equal 1/20 floor area or mechanical ventilator to give min 3no. air changes / hour switched with light to over run min. 15 min.
anti syphon traps to new sanitary fittings.
new drainage to connect to existing svp

Document L - Conservation of fuel and power
Any retained thermal elements should be no worse than the threshold U-values given in AD L1B Table 3 column (a) or should be upgraded in accordance with Approved Document L1B Table 3 column (b).
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The common stairway is unconditioned the stairway is to be insulated and achieve the standards set out in AD L1B Table 3 for existing. Upon completion of the work the person carrying out the work shall give an Energy Performance Certificate for the building to the owner of the building.

Thermostatic controls to all new radiators
NOTES
All structural timber to be strength graded
VENTILATION
All habitable rooms to have opening lights with aggregate area equal to not less than 1/20th floor area of respective room. 8000mm2 trickle vents to be provided to each habitable room
INSULATION
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FINISHING JOINERY
Skirtings and architraves
Skirtings and architraves to be mdf torus moulded unless noted otherwise

PARTITIONS
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external dark grey aluminium liveried shutterbox with signage
new shopfront with shutter and guides
min clear door width to new pub shop front not less than 900mm
Manifestation will be provided to new shopfront at 1400-1600mm above floor level

Doors which might be expected to serve more than 60 persons at the time of a fire must open in the direction of escape
Doors on escape routes from rooms with an occupant capacity of more than 60 should either not be fitted with lock, latch or bolt fastenings, or be fitted with panic fastenings in accordance with BS EN 1125:2008
Smoke detection will be provided in all areas.
All fire doors on escape routes should be fitted with suitable self-closing devices.

Approved Document F - Ventilation
A suitable mechanical extract system will be installed to augment the openable windows in the shopfront.

Approved Document A - Structure
The suitability of the existing floors to carry the additional loads from the new stud walls should be to the satisfaction of the District Building Surveyor.

GROUND FLOOR AREAS
floor assumed to be on dpm and will be thermally insulated

Electrical Installation
All to be carried out in accordance with Approved document P all to be carried out by competent person and design, installation, inspection and test certificate under BS7671 to be produced
allow low energy light fittings to 1 hr suspended ceiling number as advised by lighting engineer suitable for pub ambient lighting levels
allow for moisture resistant fittings to wc areas

Part M - Access to and use of buildings
Electrical sockets/switches to be located between 450 - 1200mm from floor level
handrinse and drainage to be added when layout agreed
cellar door to corridor kept locked shut in business hours restocking only occurs out of hours

Approved Document H - Drainage and waste disposal
We intend to connect the new wcs into the existing SVP
Please note any Yorkshire Water conditions, if applicable will be added to any approval given.
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Approved Doc J - Combustion appliances and fuel storage systems
No boilers or flues are affected by the works
Part L - Conservation of fuel and power
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INSULATION
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INSULATION
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Approved Document A - Structure
The suitability of the existing floors to carry the additional loads from the new stud walls should be to the satisfaction of the District Building Surveyor.

GROUND FLOOR AREAS
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FINISHING JOINERY
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Skirtings and architraves to be mdf torus moulded unless noted otherwise

PARTITIONS
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Smoke detection will be provided in all areas.
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Approved Document F - Ventilation
A suitable mechanical extract system will be installed to augment the openable windows in the shopfront.

Approved Document A - Structure
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GROUND FLOOR AREAS
floor assumed to be on dpm and will be thermally insulated

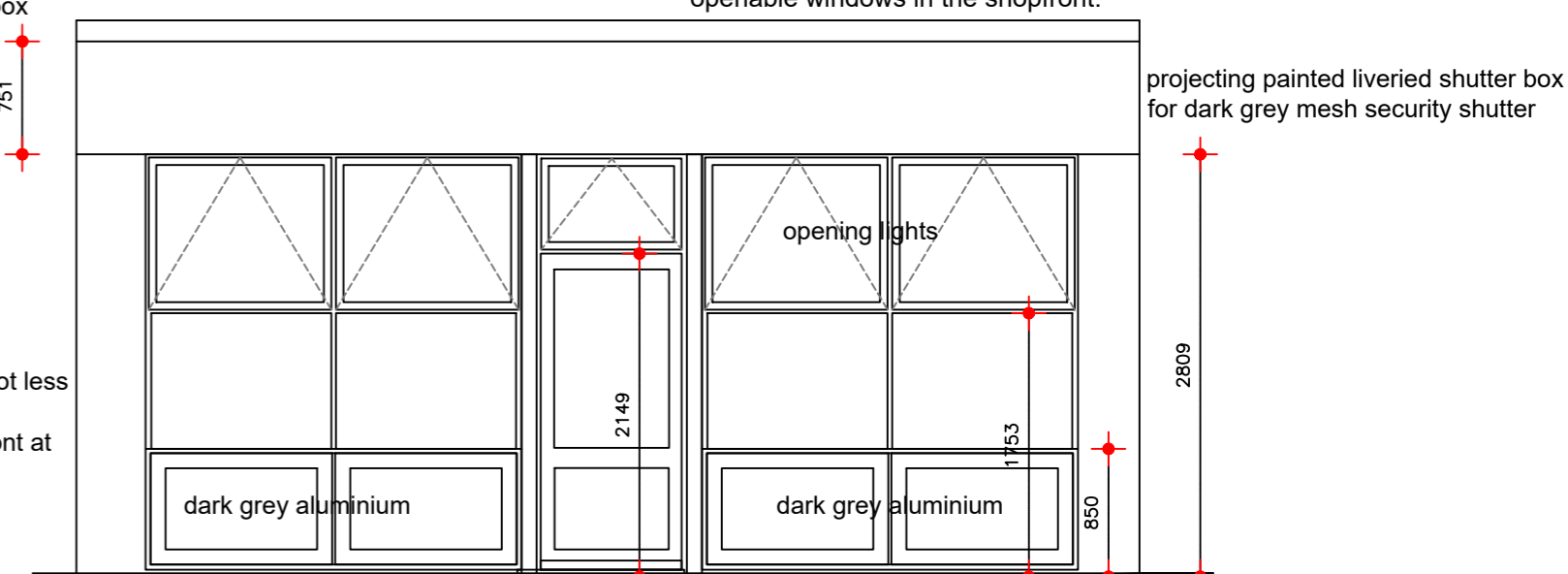
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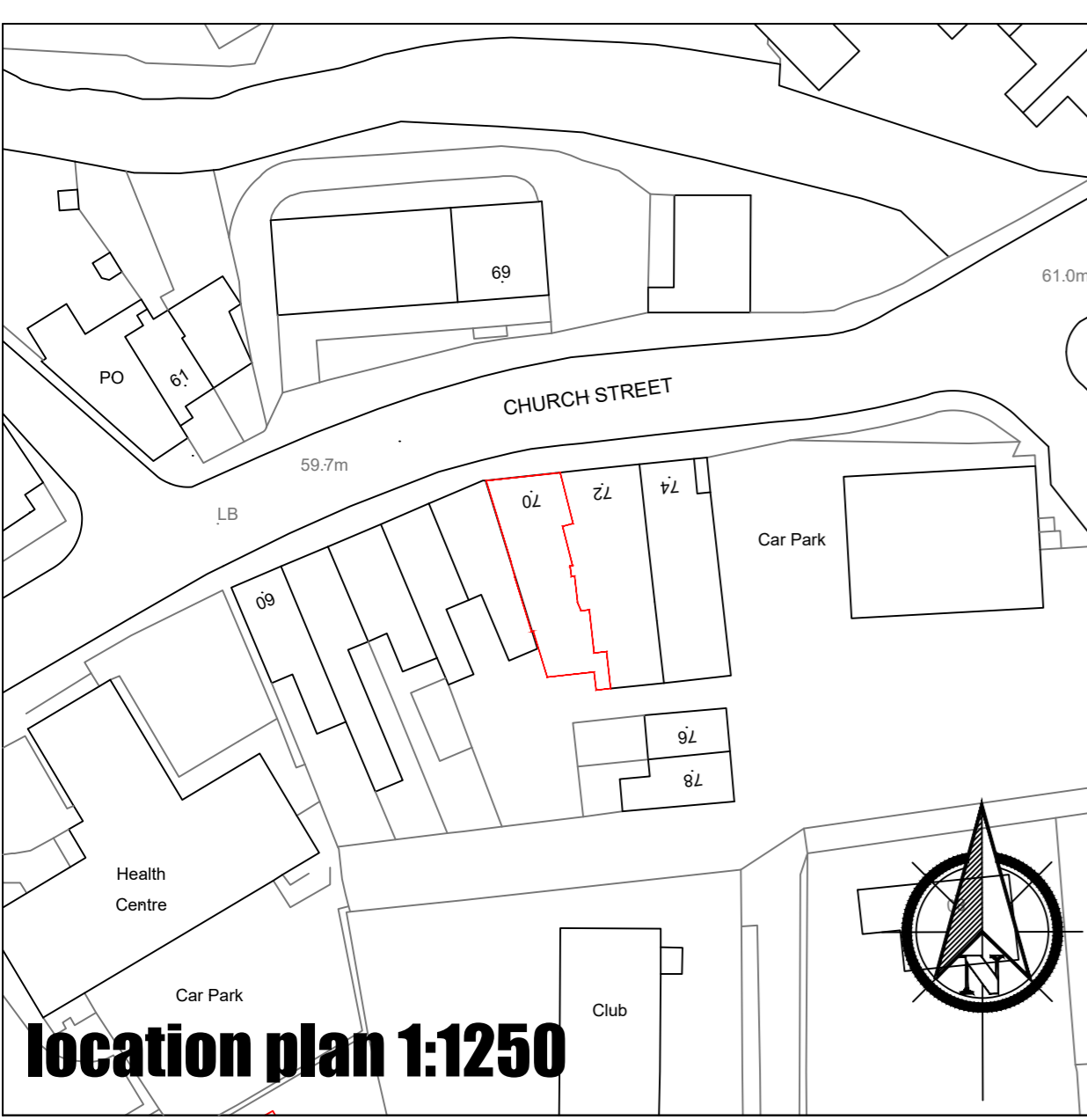
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front (north) elevation of shopfront

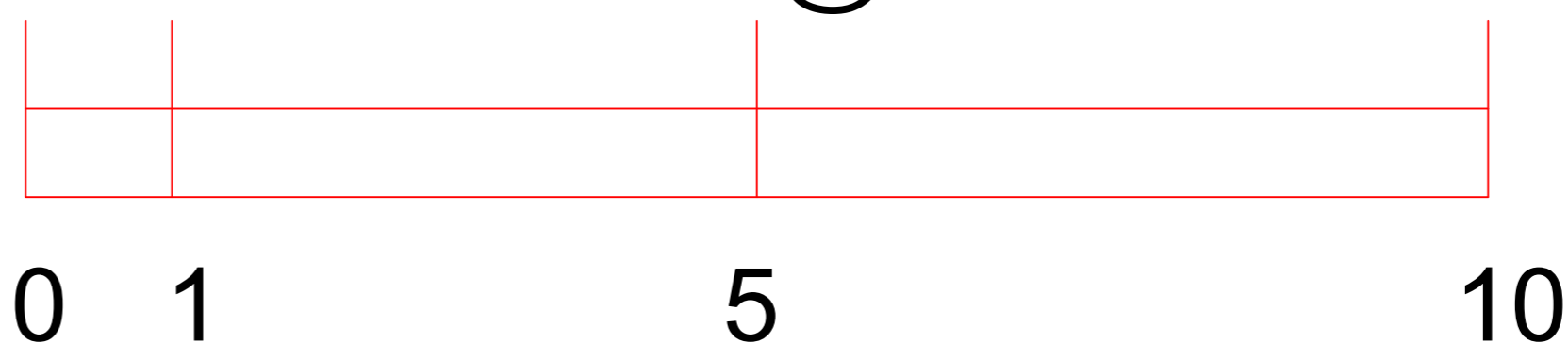


front (north) elevation of shopfront



location plan 1:1250

Scale 1 to 100 @A3



JULIE MURRAY ARCHITECTURE
4 BROOKSIDE CLOSE, HACKENTHORPE
SHEFFIELD S12 4LE 0114 247 0602

TITLE change of use
ground floor to micropub
70 Church St DARTON
BARNSELEY
CLIENT Mr I Simpson

DATE 25/3/2018 SCALE 1:100 @A3 and 1:50 @A1

DRAWING No. s/18/01

REVISION a,b,c