

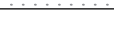








## Proposed Roof Plan

Scale 1:100

### Key:

- |  |   |
|--|---|
|    | New 'Greys Roofing Products, Reproduction Welsh Roofing Slate' or equal and approved artificial slate. Total pitched roof area: 910m² (approx.)                       |
|   | New Alumasc flat roof overlay roof system as per Alumasc Proposed Specification, Reference: SP138889, Dated: 03.19.2024 Total area: 65m² (approx.)                    |
|  | New Alumasc warm flat roof system on new 18mm plywood deck as per Alumasc Proposed Specification, Reference: SP138889, Dated: 03.19.2024. Total area: 120m² (approx.) |
|  | New timber roof structure and Alumasc roof covering to roof light infill.   |
|  | Location of 3 x new reduced height UPVC windows to replace existing.  |
|  | New 150mm wide x 75mm deep (min) UPVC Ogee gutters UPVC gutters to replace existing (black)   |
|  | New 100mm square rainwater pipes / downpipes & hoppers to replace existing (black)  |
|  | Direction of roof fall.   |
|  | New ventilation ridges.   |

## Proposed Works (All Pitched Roofs)

3. Where roof eaves and ventilation cowls have been removed the roof structure is to be made good in like materials and to match the existing including for new timbers as required, splicing and repairs.
4. Treat all woodwork with 2no coats 'Cuprinol Complete Wood Treatment or Equal and approved'.
5. Strengthen the existing purlins to the **Paramount roof** only by doubling up and installing new timber trimmers as per structural calculations and specification. Contractor to consider access for the installation of the new timber trimmers. Refer to drawings; BC2202 37-APP-XX-XX-DR-B-000320 & 321.
6. Install new 300mm (min) 'Rockwool Twinroll' loft insulation (450mm<sup>2</sup> approx.) over the existing ceilings to pitched roof areas (**excl. main paramount roof**) in accordance with manufacturers guidance. Where there are original stained glass windows within the ceiling, insulation is not to be laid over the top.
7. Install new 'Kingspan Nilvent' or equal or approved breathable membrane under roof slates for the full extent of roof. Tie into existing system and lap below existing slates.
8. Install new treated 37 x 37mm timber counter battens at centers not exceeding 600mm.
9. Install new treated 50 x 25mm timber battens at centers not exceeding 600mm to suit slate coursing and in accordance with manufacturers guidance and recommendations..
10. Install new 'Greys Roofing Products, Reproduction Welsh Slate' (Grey / Blue) or equal and approved artificial roof slates (910m<sup>2</sup>). To be installed strictly in accordance with manufactures guidance and recommendations.
11. Install new 'Grey Roofing Products, Reproduction Stone' (Natural Weathered) or equal and approved ridge tiles (115m). To be installed strictly in accordance with manufactures guidance and recommendations. Ridge tiles to be installed with manufactures dry fix ridge system including for 2no. ventilation ridges to each duo pitched roof (8no in total).
12. Install new 'Ubbink Ubiflex B3' or similar and approved simulated lead to all valleys, abutments, aprons, cover flashing's, slate soakers and where previously removed. Contractor to strip existing covering and confirm build up of details. Contractor to include for new abutment, gutter and flashing details as per drawing; BC2202 37-APP-XX-XX-DR-B-000320 & 321.
13. Install new 'Eurocell' or equal and approved UPVC fascia boards to replace existing (170mm). Quantity also includes for fascia's to flat roofs. 20year min guarantee required against cracking, warping and fading / discolouration. Additional fascia boards to be installed to the flat roof (east) following the removal of the parapet (17m approx.).
14. Install new 150mm wide x 75mm deep (min) UPVC ogee gutters, 100mm square downpipes and hopper heads (black) in exiting locations (245m approx.). Quantity includes for gutters and downpipes to flat roofs. 10 year (min) guarantee required. Include for new gullies and ground works as required to any downpipes that run into the ground.
15. Install new and additional 150mm wide x 75mm deep (min) UPVC ogee gutters, 100 square downpipes and hopper heads (black) in locations shown (50m approx.) 10 year (min) guarantee required. Includes new rainwater goods to flat roofs.
16. Install new Marley Universal Dry Verge system to all verge details (16m) and to both gable ends of the Masonic Lodge. Install as per manufacturers recommendations. Colour: Black.
17. The contractor is to allow for and submit proposals for temporarily removing and isolating any cables and services fixed to the existing roof structure including fascia's and soffits as required. There should be no loss of service to any of the buildings i.e. data and telephone however if temporary downtime is required the contractor should notify the CA and building tenant immediately.
18. Where existing timber rafters are present to existing pitched roofs at 800mm centres, contractor to supply and install new timber rafters to match existing at 400mm centres. Contractor to include for new rafters to all pitched roofs (460m<sup>2</sup>) excl. the Paramount roof.
19. Create new hidden gutter (28m approx.) details behind each parapet of the Paramount Cinema roof as shown including for trimming out new battens, framing and lining with new Ubbink Ubiflex simulated lead. Include for new flashings to parapet wall. Include for relocating 1no vent pipe and include for new pipe / ductwork as required.

### Proposed Works (Bituminous Mineral Felt)

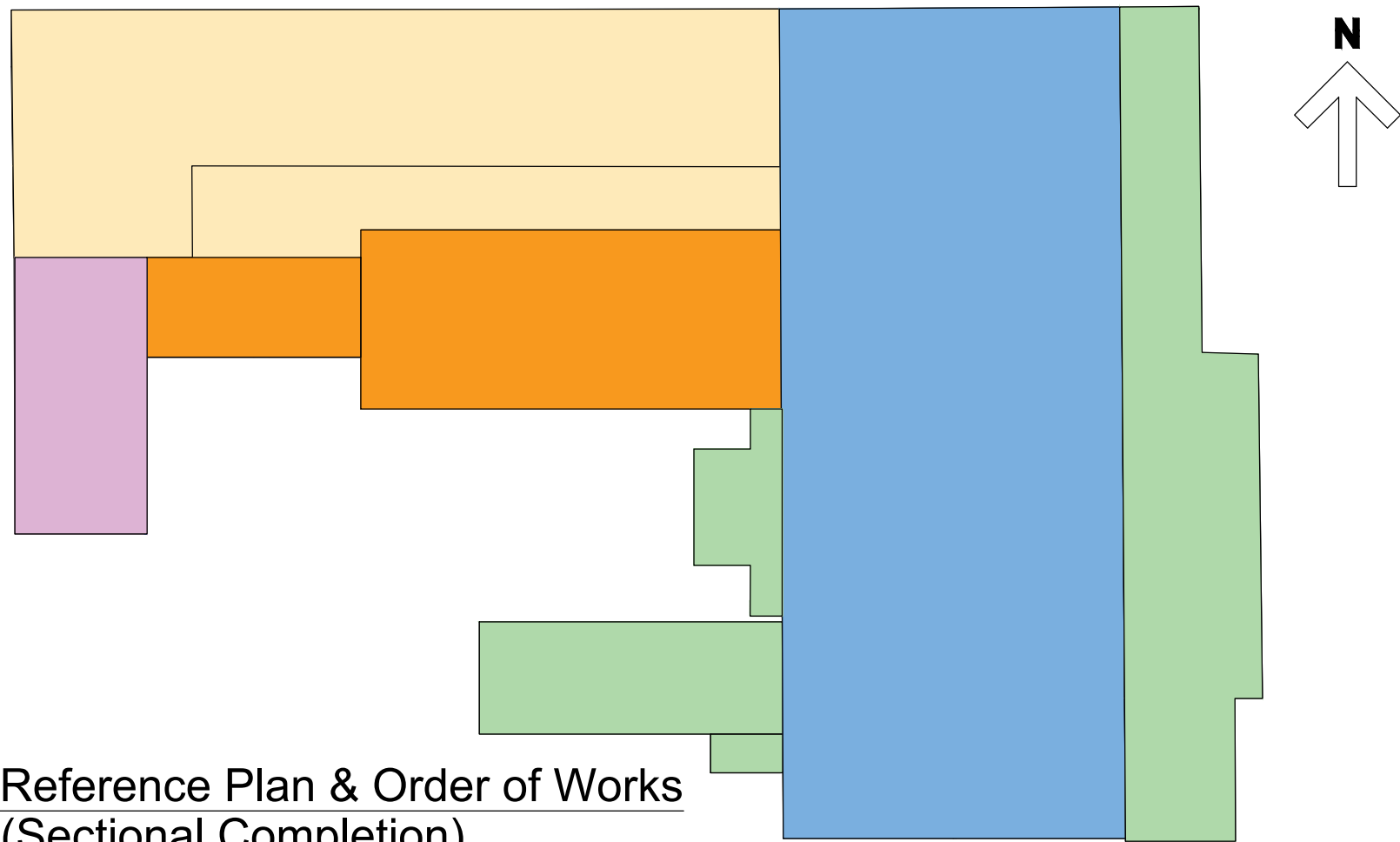
The following works are to be carried out in accordance with the Alumasc Roofing Proposed Specification, Reference: SP138889, Dated 03.19.2024. Items below are extracts from the aforementioned specification, the contractor must read the specification in full prior to pricing and onsite works.

1. Install new 18mm plywood roof deck over the existing timber joists to the full Roof Area 2 as shown per the Alumasc roof area plan.
2. Form a new 30mm deep chase to accommodate the increase in upstand height required by the installation of the new waterproofing system. Ensure that a minimum 150mm above the new finished roof level is achieved. Where the existing chases are to be utilised, they must be re-formed (if required) and cleaned
3. Prior to application of the primer coat, all surfaces must be dry, clean, and free from all contaminants. Prime the new deck roofing with Alumasc Bitumen Primer by roller or brush at the specified coverage rate ensuring an even and full coat across the substrate, allow to dry completely.
4. Install Eurofloc Torch-On AVCL to the primed substrate by torch application to achieve a continuous bond across the full width of the membrane, with 100mm side and 150mm end laps, leaving a continuous bead of bitumen extruded from all laps.
5. All surface must be clean, dry and free of any foreign materials. Install Alumasc BGT PIR Cut to Falls Insulation. Contractor liaise with roofing manufacturer for the production of a cut to falls plan. U-value target 0.15W/m<sup>2</sup>K.
6. Install Hi-Ten Universal Underlay by torch application to achieve a continuous bond across the full width of the membrane, with 100mm side and 150mm end laps, leaving a continuous bead of bitumen extruded from all laps.
7. Install Derbigum Mineral Gap Sheet by torch application to achieve a continuous bond across the full width of the membrane, with 100mm side and 150mm end laps, pressure rolled simultaneously with a long handled 15kg lap roller, leaving a 5-10mm continuous bead of bitumen extruded from all laps. Any excess compound is to be left as a continuous bead - do not spread or remove.
8. Inspect and carry out any repairs to the upstand to ensure the substrate is suitable to receive the new waterproofing system. Dress the specified waterproofing system to the upstand, ensure separate flashings are formed. Install Code 4 lead flashing chased into the upstand by a minimum of 25mm, secure in place with Hall Clips at 450mm centres and where flashing pieces overlap.

## Notes






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Contractors shall verify and be responsible for all dimensions and conditions and shall report any discrepancies to the issuing office before proceeding with any work. Drawings shall not be scaled.



### Reference Plan & Order of Works (Sectional Completion)

Scale: NTS

- |   |  |
|---|--|
|  | 1. Paramount Cinema roof works.  |
|  | 2. Masonic Lodge roof works to run concurrently with the Paramount Cinema roof works. (Section 1: 05.08.24 - 03.09.24) |
|  | 3. Physio's House roof works to start following completion of the Paramount Cinema and Masonic Lodge roof works.       |
|  | 4. Town Hall roof works inc. central flat roof to start following completion of Physios House roof works.              |
|  | 5. Other flat and monopitch roof works to run concurrently with Physio's House and Town Hall.                          |

## General Note

It is essential that all roofing works and ancillary tasks are carried out in accordance with the Control of Asbestos Regulations 2012, and that all licensable work is undertaken by a licensed asbestos contractor. It is strictly the responsibility of the appointed contractor to ensure that they are appropriately licensed, and it should be noted that carrying out asbestos work without the relevant license is an offence that can lead to prosecution. The Health & Safety Executive should be contacted for further information if guidance on this matter is required.

Refer to R&D Survey Report by Lancall Yorkshire Limited, Reference: LYL5412/CN, Dated: 11.03.2024

All other roofs including, Town Hall, Masonic Lodge and Physio's House all comprise a full timber structure (no metal truss).

A preliminary ecology assessment has found potential for roosting bats and birds. Further emergence surveys have been scheduled for the beginning of roosting season in May. Refer to provisional sums.

Do not disturb the line of site equipment to the west facing gable elevation of the Masonic Lodge

Contractor to include for a full environmental clean of each roof space upon completion of the works.

Contractor to liaise with the building tenant of the Paramount Cinema in relation to the timely removal and reinstatement of satellite dish located on the east flat roof.

## Proposed Works (Ashphalt Flat Roofs)

The following works are to be carried out in accordance with the Alumasc Roofing Proposed Specification, Reference: SP138889, Dated 03.19.2024. Items below are extracts from the aforementioned specification, the contractor must read the specification in full prior to pricing and onsite works.

- Where the existing stained glass ceiling window is to be retained in the Town Hall, the contractor shall carefully and gently wash / clean both sides with soapy water. The window reveals are to be prepared as necessary to receive new 'Dulux Trade' or equal approved Satinwood paint, Colour Brilliant White. The opening over the window is to be boarded over in 18mm exterior grade plywood. Where applicable, all areas are to be built-up using compatible materials to match the adjacent finished roof level to avoid a step prior to installation of the proposed works. The inside face of the plywood is to be painted in Satinwood paint, Colour (Brilliant White).
- Upstand details are likely to be compromised by the installation of the new waterproofing system. Where applicable, provision should be made to raise the upstand heights to achieve a minimum 150mm above the new finished roof level. Alumatic cannot take responsibility in the event of water ingress over and above the termination of our waterproofing. NB. The position of existing damp proof course/cavity trays must be considered. Care must be taken to ensure that termination of the new roofing system below, or appropriate rectification is made to ensure water cannot ingress behind the system.
- Prior to application of the primer coat, all surfaces must be dry, clean, and free from all contaminants. Prime the existing roofing with Alumatic Bitumen Primer by roller or brush at the specified coverage rate ensuring an even and full coat across the substrate, allow to dry completely. Typical coverage rate: 6-12m<sup>2</sup>/L (150-300m<sup>2</sup> per 25 litre drum). Rough or porous surfaces will reduce the coverage rate, Drying time approx. 30 mins. dependent on ambient conditions, adapt accordingly to suit the temperature and humidity at the time of the installation. Do not apply if rainfall is imminent.
- Install Eudoror Torch-On AVCL to the primed substrate by torch application to achieve a continuous bond across the full width of the membrane, with 100mm side and 150mm end laps, leaving a continuous bead of bitumen extruded from all laps.
- Install 130mm Alumatic BGT PIR Insulation to achieve U-value of 0.18W/m<sup>2</sup>K.
- Install Ten Universal Underlayment by torch application to achieve a continuous bond across the full width of the membrane, with 100mm side and 150mm end laps, leaving a continuous bead of bitumen extruded from all laps.
- Install Derbigum Mineral Cap Sheet by torch application to achieve a continuous bond across the full width of the membrane, with 100mm side and 150mm end laps, pressure rolled simultaneously with a long handled 15kg lap roller, leaving a 5-10mm continuous bead of bitumen extruded from all laps.
- For upstands into pitched roofs, dress the specified waterproofing system over a layboard to achieve a minimum 150mm upstand height parallel with the finished roof level and mechanically fasten the membrane at the top edge of the flashing detail using Alumatic Termination Bar. Ensure separate flashings are formed and the waterproofing is fully supported. Any breather membrane/underfelt felt is to overlap the installed waterproofing ensuring best practice is maintained. Refer to drawing: BC2202 37-APP-XX-XX-DR-B-000320.
- Encapsulate Parapets in accordance with Alumatic specification.
- Install 3no new ProDrain rainwater outlets in existing locations and in accordance with Alumatic specification.
- Raise upstand to the north facing elevation in accordance with drawing: BC2202 37-APP-XX-XX-DR-B-000321 (Detail D).

## Other Building Works

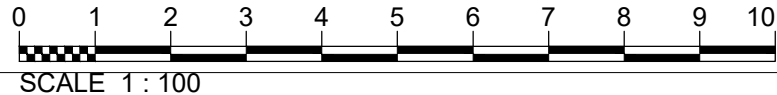
- Install 1no. "Eurocell" or equal and approved UPVC side hung casement window within the existing central (larger) opening. Contractor to site measure and ensure there is a 150mm upstand from new roof finish to window cill. Refer to window schedule drawing: BC2202 37-APP-XX-DR-B-000710. Include for new plaster and paint decoration to make good internally.
- Install 2no "Eurocell" or equal and approved UPVC sash windows within the remaining existing openings. Contractor to site measure and ensure there is a 150mm upstand from new roof finish to window cill. Refer to window schedule drawing: BC2202 37-APP-XX-DR-B-000710. Include for new plaster and paint decoration to make good internally.

## Provisional Sums


- Contractor to include a provisional sum for potential bat and bird mitigation works following emergence surveys scheduled in May 2024.
- Contractor to include a provisional sum for timber repairs / replacement as required following inspection during the enabling / opening up works. Contractor to inform the CA on the condition of the existing roof timber and the extent to which need repairing and replacing.
- Include a provisional sum for structural survey to the north facing gable elevation / parapet detail to paramount cinema including remedial action as required.
- Contractor to include a provisional sum for alterations and re-routing to the existing ventilation system/ductwork. Mechanical engineer to confirm the requirements

## Contractor Design Portion

- The contractor shall be responsible for providing internal protection in the roof voids to protect the existing stained-glass ceiling windows in the Town Hall, Paramount and Masonic Lodge. 0 1



P1	Tender	NRL 19.03.24	B/L 19.03.24	SAS 19.03.24
Ver.		Checked & Date	Checked & Date	Approved & Date



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 Thurston Road, Northerton, DL6 2NA Tel: 01609 797373

**Barnsley Metropolitan Borough Council**

Project name  
**Penistone Paving & Town Hall  
 Full Re-roofing Works**

Drawing Title  
**Proposed Roof Plan and Enabling Works**

Purpose				
<b>Tender</b>				
Scale	Drawn	Checked	Approved	
1:20, 1:100	NRL	B/L	NRL	
Original Size	Date	Date	Date	
A1	19.03.24	19.03.24	19.03.24	

Drawing Number <b>BC2202 37-APP-XX-XX-DR-B-000131</b>	Version <b>P1</b>
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