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Notes:

This drawing is based on:

- Condition Assessment Survey conducted by Dean Fisher 31st March 2026

Rev	Date	Description	Drawn	Checked
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Client

Fenwood Estates

Project

Cudworth Parkway
Barnsley

Title

Baseline Habitats

Drawing Status

FOR PLANNING APPROVAL

Drawn	DF	Checked	MB
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Date	06.05.26	Scale	1:1,448
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Environmental Consultants to the Construction Industry

BREEAM - Code for Sustainable Home Assessors - Landscape Architecture - Transportation - Life Cycle Costing - Energy Assessment - SAP - EPC - SBEM - Daylight Calculations

10 Chapel Lane
Nottingham
NG5 7DR

Job Number	Drawing Number	Rev
A5956	-	-



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Notes:

This drawing is based on:

- Encon Associates (2026). A5656-07C/08D
Landscaping Scheme Area Sheet 1 and 2.

Rev	Date	Description	Drawn	Checked
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Client

Fenwood Estates

Project

Cudworth Parkway
Barnsley

Title

Proposed Habitats

Drawing Status

FOR PLANNING APPROVAL

Drawn	DF	Checked	MB
Date	12.05.26	Scale	1:1,448



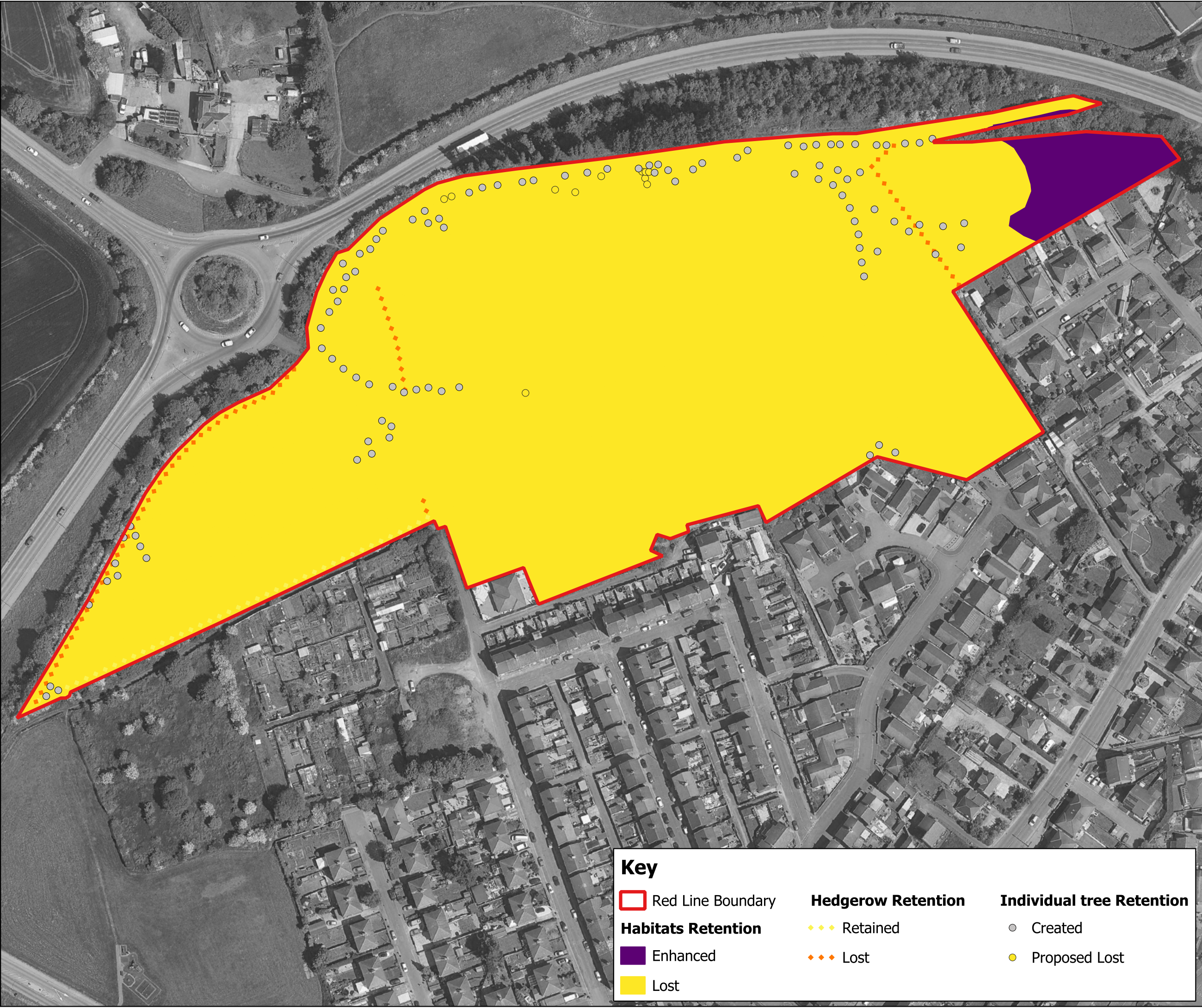
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Job Number	Drawing Number	Rev
A5956	-	-



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- Encon Associates (2026). A5656-07C/08D Landscaping Scheme Area Sheet 1 and 2.

Rev	Date	Description	Drawn	Checked
Client				
Fenwood Estates				
Project				
Cudworth Parkway Barnsley				
Title				
Retained Habitats Plan				
Drawing Status				
FOR PLANNING APPROVAL				
Drawn		DF	Checked	
Date		12.05.26	Scale	
			1:1,448	

Key

Red Line Boundary

Habitats Retention

Enhanced

Lost

Hedgerow Retention

Retained

Lost

Individual tree Retention

Created

Proposed Lost

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Job Number	Drawing Number	Rev
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Rev	Date	Description	Drawn	Checked
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Client

Fenwood Estates

Project

Cudworth Parkway
Barnsley

Title

Baseline Habitats Condition and
Distinctiveness Plan

Drawing Status

FOR PLANNING APPROVAL

Drawn	DF	Checked	MB
Date	12.05.26	Scale	1:1,448



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Job Number	Drawing Number	Rev
A5956	-	-

Key

 Red Line Boundary

Baseline Habitat Condition

 Good

 Moderate

 Poor

 N/A - Other

 Condition Assessment N/A

Baseline Habitat Distinctiveness

 Medium

 Low

 V.Low

Baseline Hedgerow Condition

 Moderate

Baseline Hedgerow Distinctiveness

 Medium

 Low

Baseline Individual tree Condition

 Poor

 Moderate



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Rev	Date	Description	Drawn	Checked
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Client

Fenwood Estates

Project

Cudworth Parkway
Barnsley

Title

Proposed Habitats Condition and
Distinctiveness Plan

Drawing Status

FOR PLANNING APPROVAL

Drawn	DF	Checked	MB
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Job Number	Drawing Number	Rev
A5956	-	-

Key

 Red Line Boundary

Proposed Habitats Condition

 Moderate

 Poor

 N/A - Other

Proposed Habitats Distinctiveness

 Medium

 Low

 V.Low

Proposed Hedgerow Condition

 Moderate

 N/A

Proposed Hedgerow Distinctiveness

 Medium

 N/A