

**FIRST FLOOR PLAN**

**ABOVE GROUND DRAINAGE:-**  
 All sanitary fittings to have PVC-U wastes to BS EN 1229 of the following sizes:  
 WC - 100mm dia.  
 WC wastes from appliance to SVP to be laid at min 1in50 fall (18mm fall per meter run).  
 Baths, showers & sinks - 40mm dia.  
 All wastes to have 75mm deep resealing traps.  
 SVP's and wastes to WC's to be in black PVC-U so that no light is visible through the pipe walls thereby discouraging damage by rodents.  
 All fittings to connect to SVP above or min 200mm below WC entry.  
 Soil pipes to be 100mm dia and where running to external air to terminate min 900mm above any opening light within 3m of the discharge point and finished with a vermin proof cage which does not restrict the flow of air.  
 Where SVP terminates inside building an air admittance valve to be fitted BBA certified.  
 Rooding points to be provided to any lengths of drainage which cannot be reached from any other part of the system.  
 A branch pipe discharging to a gully to terminate below grate level but above water level.

**HEATING AND HOT WATER:-**  
 Dwelling to incorporate central heating system throughout with radiators in all rooms with TRV's and pressurized 150L hot water cylinder with min 100mm foam insulation operating from a high efficiency gas fired balanced flue boiler of 89.6% SEDBUK such as Ideal Logic+ or an equivalent to mfr's recommendations.  
 Space heating control system to comply with regulation G3, British Standards and Codes of Practice and give both thermostatic and timed control via recommended programmable control unit and room stats in suitable positions to suit the recommended zoning of the overall system.  
 Gas appliances to be compliant with The Gas Appliances (Safety) Regulations 1995 and The Gas Safety (Installations & Use) Regulations 1998.  
 Balanced flues to be located in external walls as detailed in Diagram 3.4, Section 3, Approved document J of the current Building Regulations.  
 No combustible material to be installed within 40mm of any flue.  
 Full details to be subject to Mechanical Eng's calculations and recommendations to be confirmed prior to relevant work proceeding.

**Internal Lighting:-**  
 Dwelling to have non-tradable low Energy Lightings throughout by providing fixed lighting that only takes lamps having a luminous efficacy greater than 40 lumens per circuit-watt.

**External Lighting:-**  
 Provide effective control with automatic switch off and/or the use of energy efficient lamps with capacity not exceeding 150W per light fitting, or using light fittings that take non-tradable lamps having an efficacy greater than 40 lumens per circuit watt.

**Electrical work generally:-**  
 All electrical work to be undertaken by a competent person operating under an accredited competent persons scheme generally in accordance with BS 7671; The Wiring Regulations including all necessary testing and certification with a copy of all certificates being issued to Building Control for info record upon completion.  
 The dwelling is also to be provided with suitable physical infrastructure for high speed electronic communication in accordance with Approved Document R, Building Regulations 2010, 2016 Edition

**DISABLED REQUIREMENTS:-**  
 Staired approach to be incorporated to main entrance from garage/drive and any necessary stepped approaches to have steps having a max rise of 150mm and any ganges between 250 and 400mm to suit particular circumstances.  
 Heights of switches, door bell, etc to be not higher than 1200mm above finished floor level. Heights of socket outlets, TV points, etc to be not lower than 450mm above finished floor level.  
 Internal doors generally to be 838mm wide to give min 775mm clear openings throughout with only secondary ensuite and dressing room doors being not less than 732mm wide except GF to ensure to remain 838mm wide.

**Conditional Approval requested for the following:-**  
 \*Structural details from Structural Engineers and/or Structural Timber Specialists for glulam roof supports inc feature truss over sitting room.  
 All details to be submitted to and approved by Building Control Authority Prior to commencing on site with the relevant section of work.

**SOLID WASTE STORAGE:-**  
 Provide handstanding for storage of waste containers with paved access as shown on Site layout. Storage area sited so that it is discrete but also to ensure that carry distance to waste collection point specified by the Waste Collection Authority is kept to a minimum.

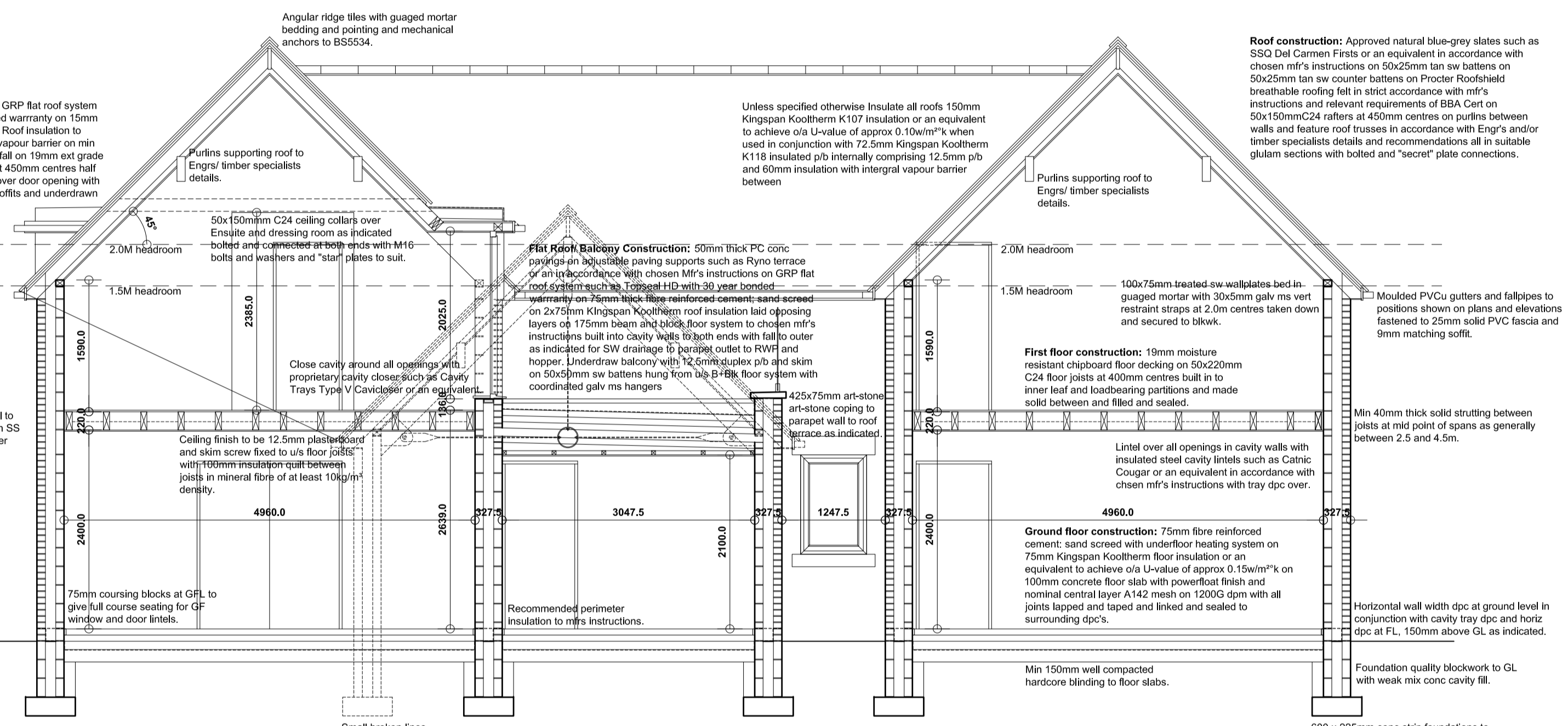
**ENERGY PERFORMANCE ASSESSMENTS:-**  
 The thermal performance of the property is to be assessed under the current Standard Assessment Procedure pre-construction and post construction its thermal performance is to be re-assessed to enable the production of the Energy Performance Certificate to confirm the Energy Rating of the property. Refer to specialist assessments and LABC Registered Construction Details for further information.

The completed building is also to be the subject of air permeability testing in accordance with Approved Document L1A as agreed with Local BCO by Specialist using the testing procedure laid out in ATTMA's 'Air Tightness Testing and Measurement Association / Code of Practice - Measuring Air Permeability of Building Envelopes 2006 to verify air permeability of 5m³/m²hr used in SAP assessments.

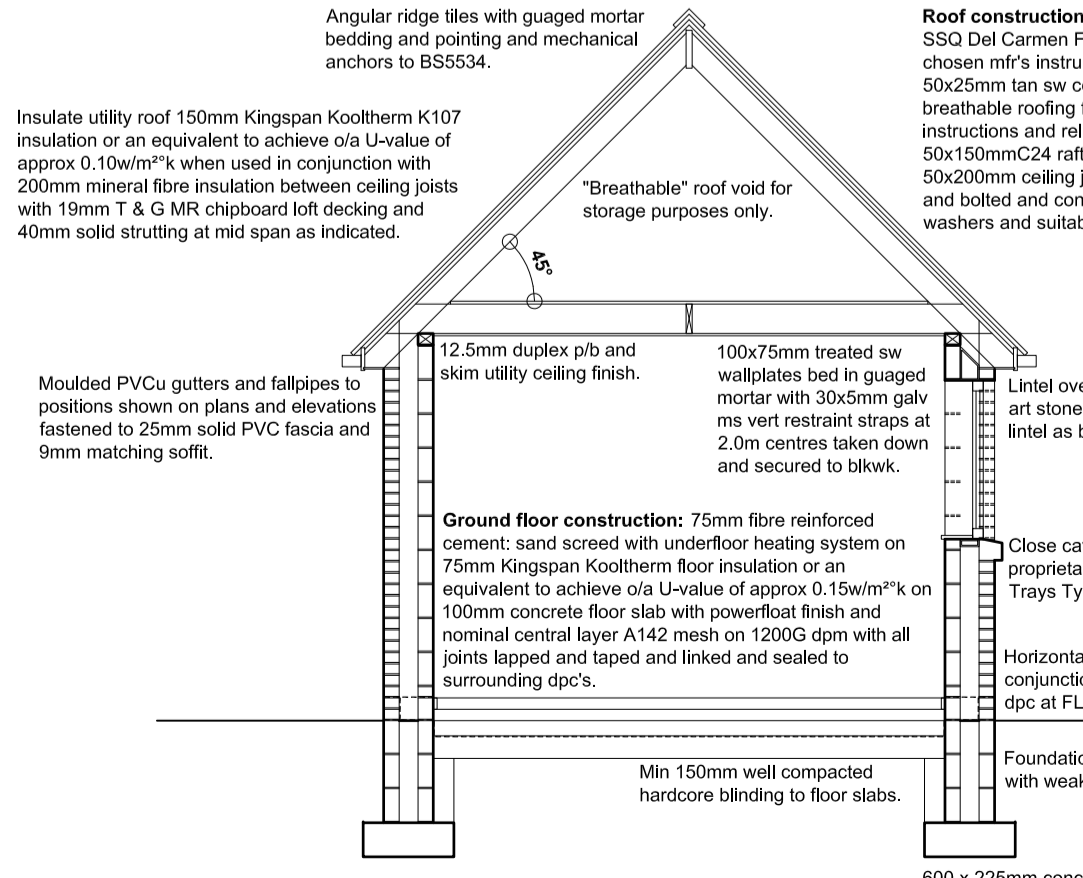
**HOT WATER & WATER EFFICIENCY:-**  
 Wholesome water supply to be provided by local water supply undertaker. All baths to be fitted with a suitable thermostatic device to limit hot water temperature to not more than 48 degrees C.  
 All hot water taps to be fitted on left hand side of relevant sanitary appliances. Hot water system to be designed supplied and installed by specialist generally in accordance with BS 6700 and is to be provided with the relevant notices/warnings described in para's 3.23 & 3.24 AD G, B Regs 2000, 2010 edition. Water efficiency to be assessed to ensure max wholesome water use of 125 litres per person per day in accordance with Governments national calculation methodology.

**Roof Construction:-** Dark grey GRP flat roof system such as Topseal HD with 30 year bonded warranty on 15mm ext grade ply deck on 120mm Kingspan Roof insulation to achieve max 0.18w/m²k oia u-value on vapour barrier on min 25mm tan sw firings giving min 1 in 80 fall on 19mm ext grade ply sub deck on 50x100mm C24 joists at 450mm centres half housed over 100x100mm eaves beam over door opening with 25mm PVC fascia and matching 9mm soffits and underdraw with 12.5mm duplex pb and skim.

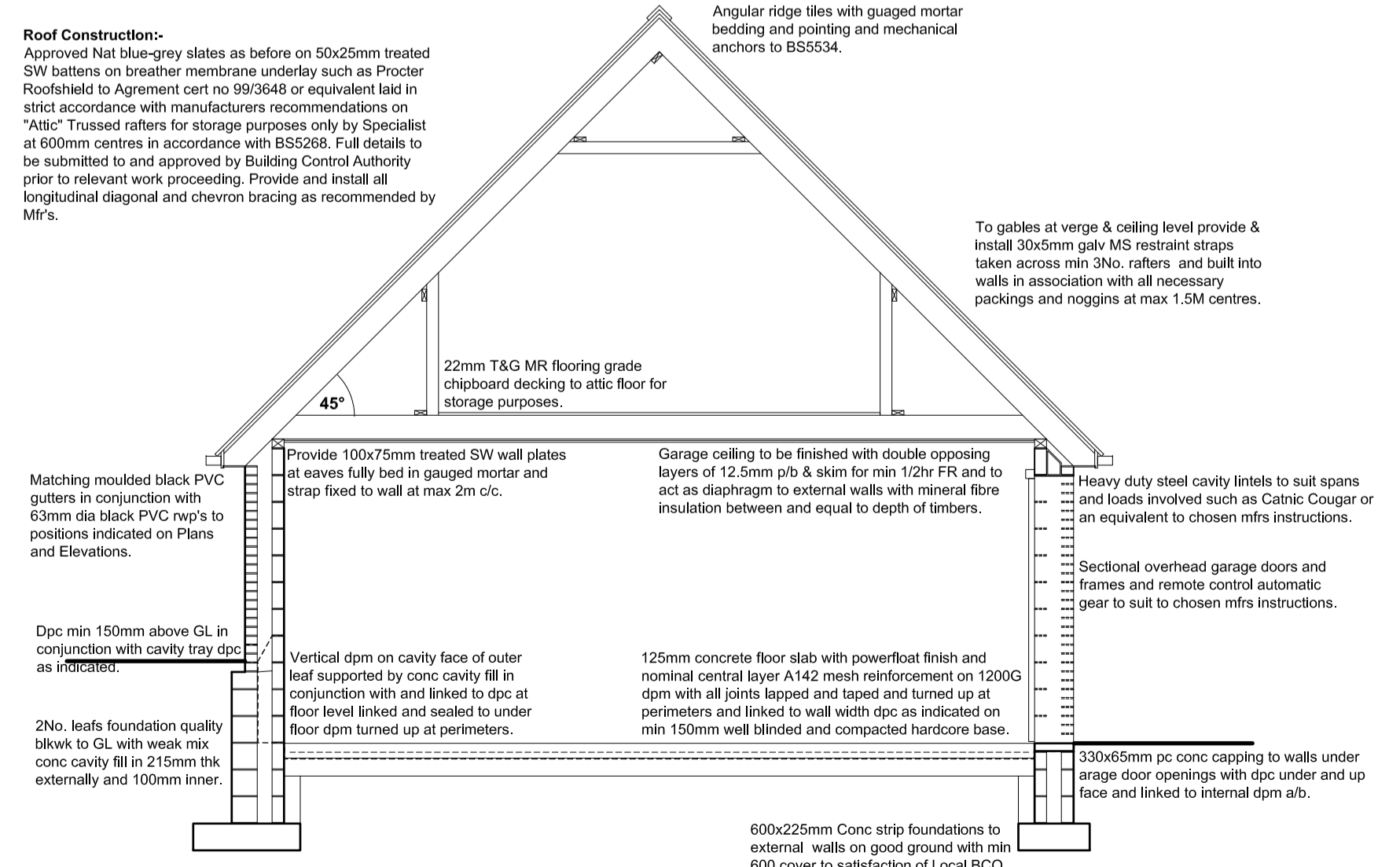
At verge and 1st FL where joists parallel to gable walls provide and install 30 x 5mm SS restraint straps at 1.5M centres taken over min 3No rafters/joists as down and secured to b/wk as necessary.



**SECTION AA**



**SECTION CC**



**SECTION DD**

Revision	Date	Description
A	20/10/2021	Ex GL to rear of Garage clarified.

**2 ROB ROY LANE,  
KERESFORTH HILL,  
BARNLEY, S70 6NR.**

**DETAILED PROPOSALS 2**

FIRST FLOOR PLAN & SECTIONS 1

Mr and Mrs Farnsworth

**JEA**  
 Building Design Services

**JE Architectural Ltd**  
 23 Windmill Road, Wombwell,  
 Barnsley, S73 8PW.  
 Tel: 01226 754507  
 Email: jea@jeabconnect.com

This drawing and the copyright is the Architectural Company's property and may be used or reproduced only by agreement. All Dimensions in Millimeters unless specified otherwise and subject to verification on site.

Scale: 1:50 @ A1 Date: JUNE 2021  
 Ref: 202048 Drwg No: 04

0 cm	1.2 cm	2.4 cm	4.8 cm
------	--------	--------	--------