



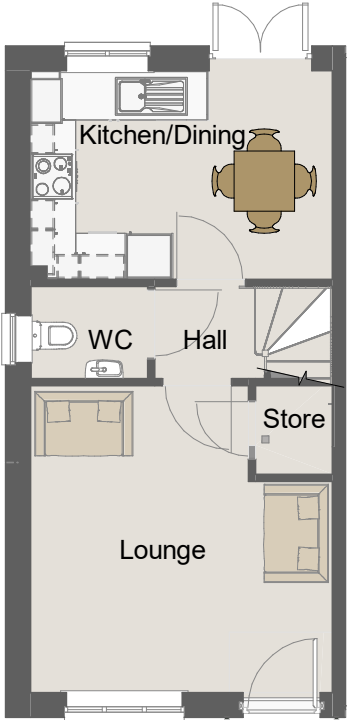
Proposed Housetypes Brochure

Barugh Green Road, Barugh Green – April 2026 - Third Issue

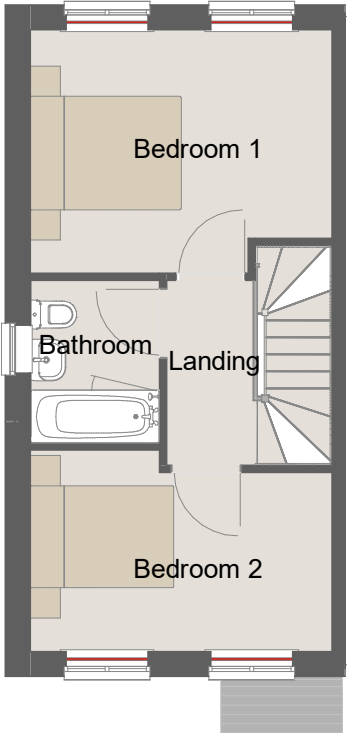


Proposed Housetypes – Open Market

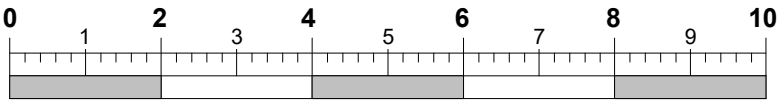
Barugh Green Road, Barugh Green – April 2026 - Third Issue



Ground Floor.
1 : 100



First Floor.
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with
Part M4 Category 2.

B	22/07/2024	JM	Wall separating WC & Lounge moved south 70mm. Wall separating Bathroom & Landing moved 13mm east. Wall separating Bathroom & Living moved south 80mm. All first floor door structural openings increased to 838. GF Store wall moved south. WWHR Box moved into Kitchen. M4(2) Compliance note added.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS

AVANT
homes

AV23 SPECIFICATION

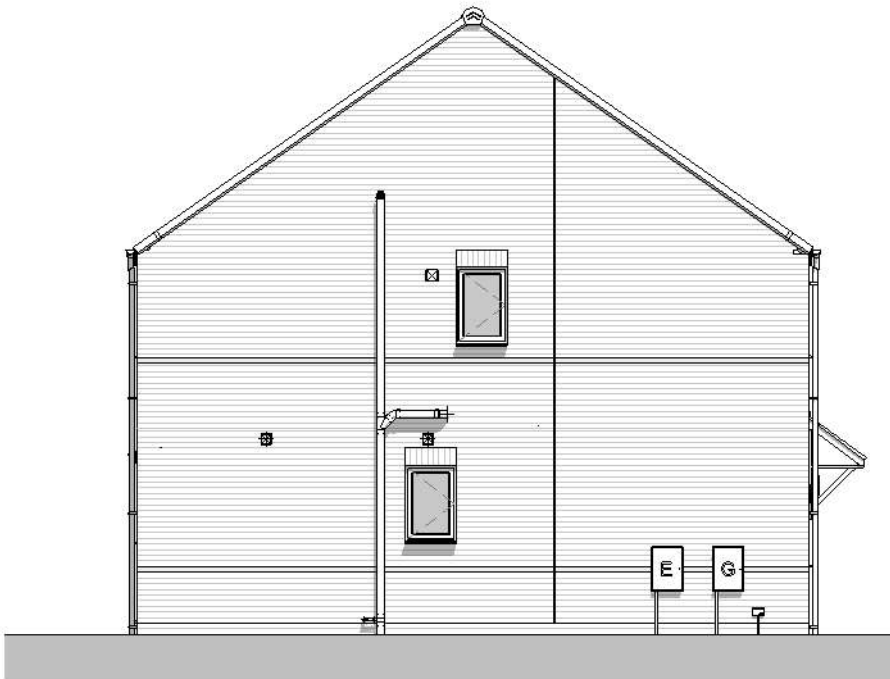
PLANNING

DATE: 13/06/2023	SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans - Traditional Brick		
HOUSE TYPE: Askern - End		
COINS REFERENCE:		
DRWG No: ASK/END/0-001		REV: B

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



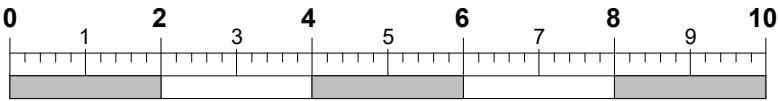
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with
Part M4 Category 2.

B	22/07/2024	JM	Movement joint now shown. External SVP position amended. M4(2) Compliance note added.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS

AV23 SPECIFICATION

PLANNING

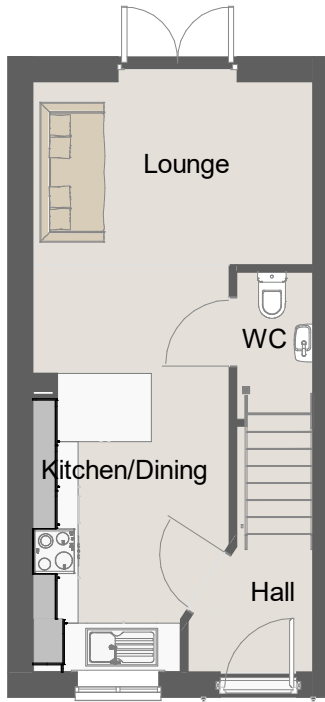
DATE: 13/06/2023	SCALE @ A3: 1 : 100	DRAWN BY: GROUP
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DWG TITLE:
Planning Sheet - Elevations -
Traditional Brick

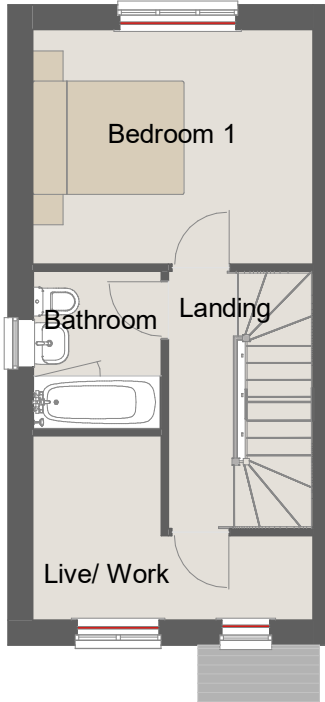
HOUSE TYPE:
Askern - End

COINS REFERENCE:

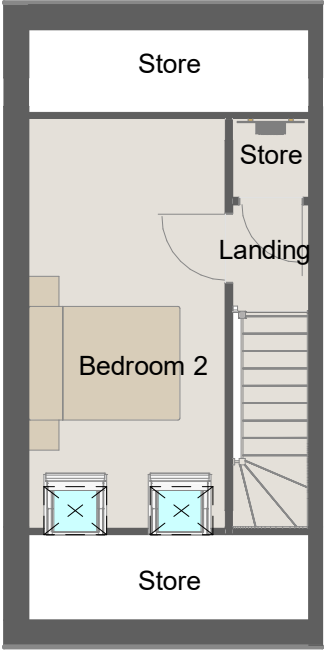
DRWG No: ASK/END/0-002	REV: B
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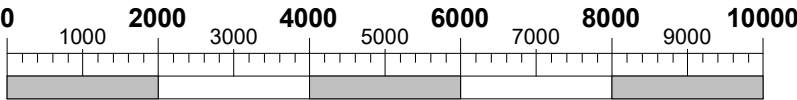
Ground Floor
1 : 100



First Floor
1 : 100



Second Floor
1 : 100



Scale Bar @ 1:100
(mm)

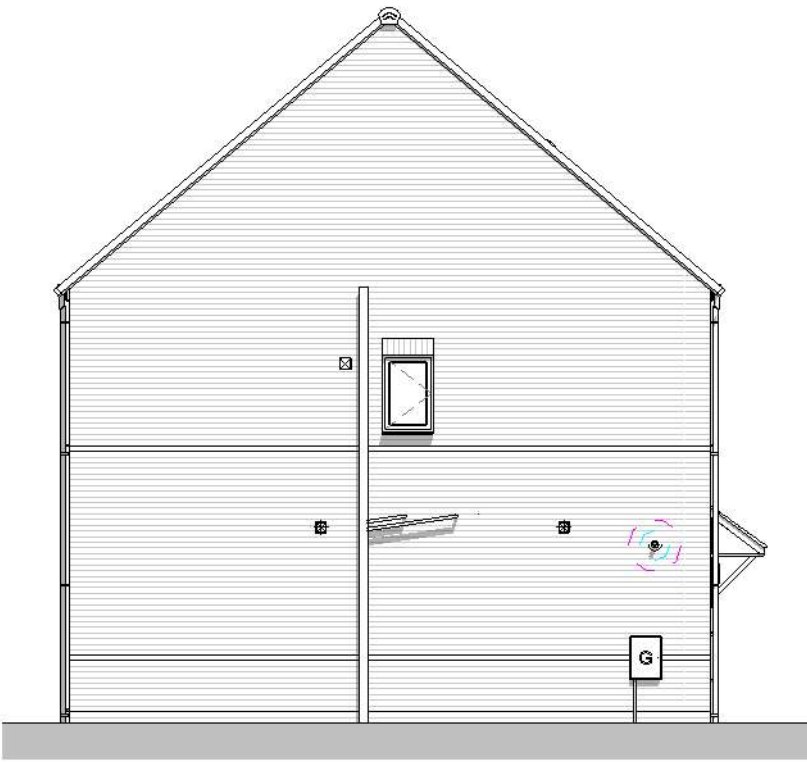
This Housetype is compliant with NDSS

A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	
DWG TITLE: Planning Sheet - Floor Plans		DRAWN BY: GROUP	
HOUSE TYPE: Eastbeck - End			
COINS REFERENCE:			
DRWG No: EAS/END/0-001.5			REV: A

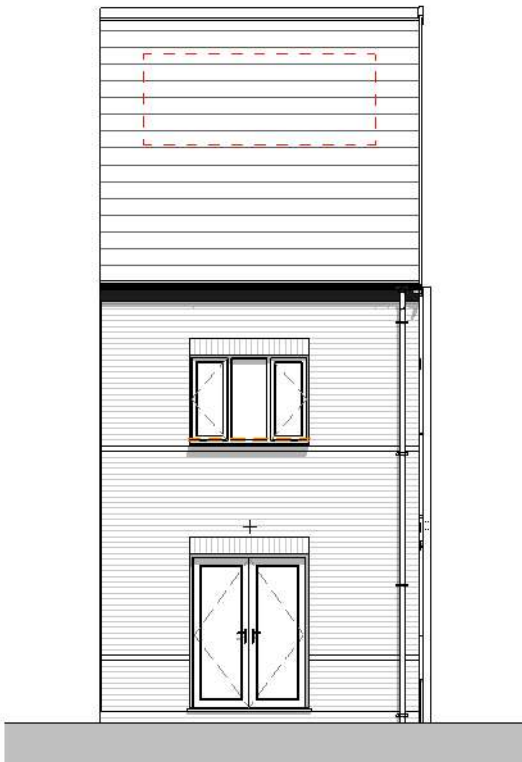
NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



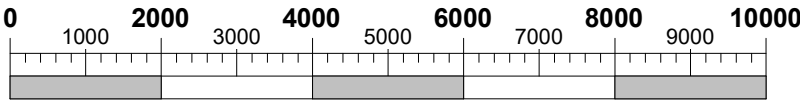
Left Side Elevation
1 : 100



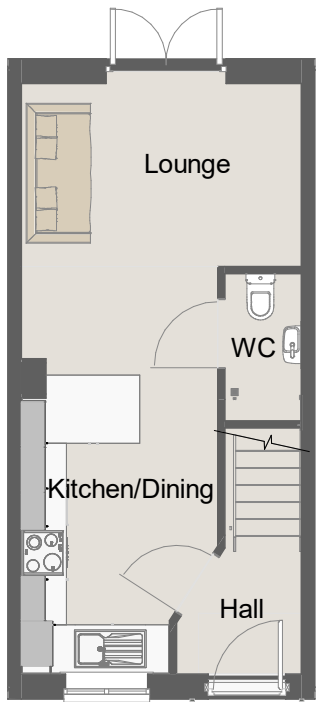
Rear Elevation
1 : 100

This Housetype is compliant with
NDSS

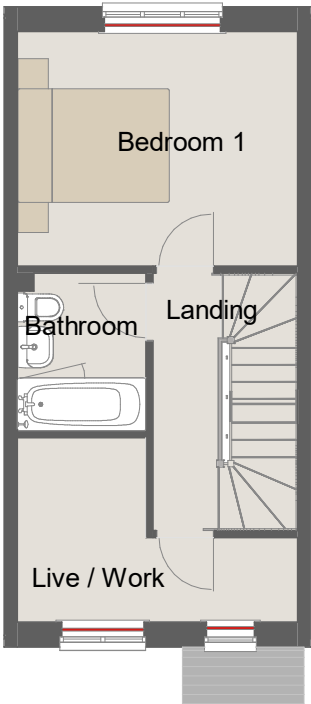
A		17/07/2023		BLK		First Issue	
REV	DATE	BY	AMENDMENTS				
AVANT homes							
AV23 SPECIFICATION							
PLANNING							
DATE: 12/07/2023		SCALE @ A3: 1 : 100		DRAWN BY: GROUP			
DWG TITLE: Planning Sheet - Elevations - Standard							
HOUSE TYPE: Eastbeck - End							
COINS REFERENCE:							
DRWG No: EAS/END/0-002.5						REV: A	



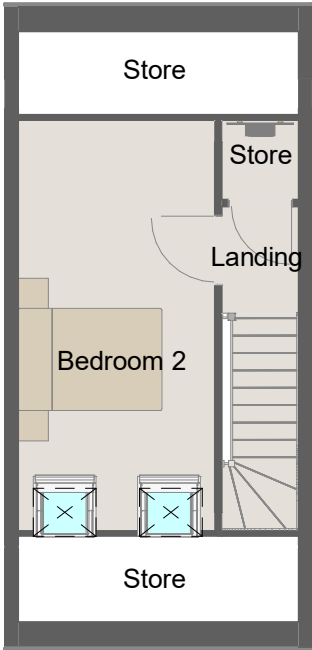
Scale Bar @ 1:100
(mm)



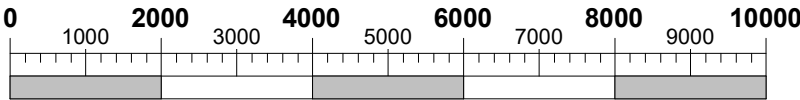
Ground Floor
1 : 100



First Floor
1 : 100



Second Floor
1 : 100



Scale Bar @ 1:100
(mm)

This Housetype is compliant with
NDSS

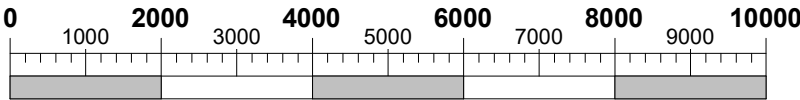
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans			
HOUSE TYPE: Eastbeck - Mid			
COINS REFERENCE:			
DRWG No: EAS/MID/0-001.5			REV: A

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation

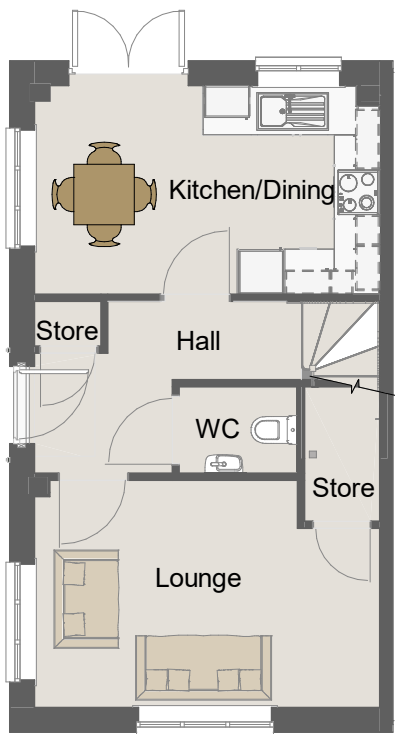


This Housetype is compliant with
NDSS

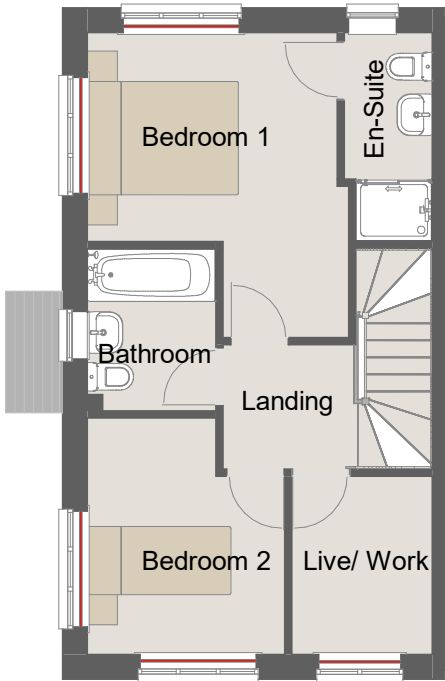
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Standard			
HOUSE TYPE: Eastbeck - Mid			
COINS REFERENCE:			
DRWG No: EAS/MID/0-002.5			REV: A



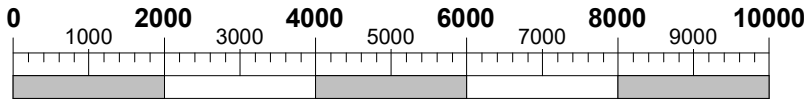
Scale Bar @ 1:100
(mm)



Ground Floor
1 : 100



First Floor
1 : 100



Scale Bar @ 1:100
(mm)

This Housetype is compliant with
NDSS

B	22/09/2023	BLK	GF Plan - Boiler cupboard relocated between french door and kitchen window, Bathroom SVP relocated to external wall, FF Plan - SVP relocated externally, shower tray amended from 800x800 to 1000x800mm
A	22/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Layout - Floor Plans			
HOUSE TYPE: Ferndale - End			
COINS REFERENCE:			
DRWG No: FER/END/0-001.5			REV: B

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



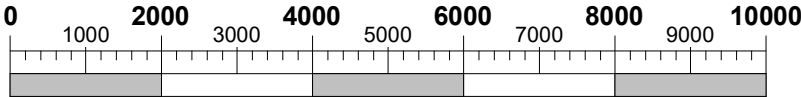
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100

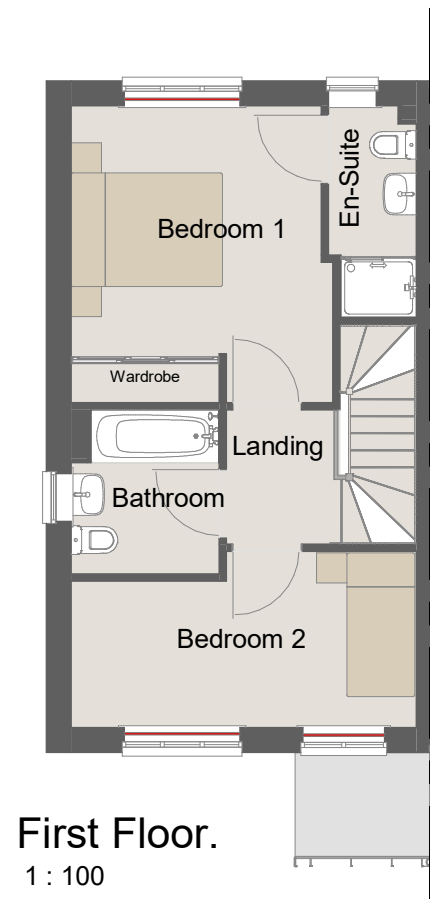


Scale Bar @ 1:100
(mm)

This Housetype is compliant with
NDSS

A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 19/05/2023		SCALE @ A3: 1 : 100	
		DRAWN BY: GROUP	
DWG TITLE: Planning Layout - Elevations - Standard			
HOUSE TYPE: Ferndale - End			
COINS REFERENCE:			
DRWG No: FER/END/0-002.5			REV: A

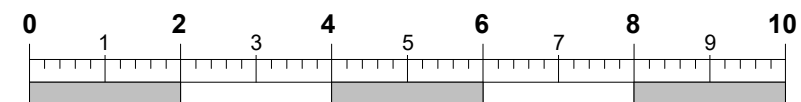
17/07/2023 20:56:47



Fitted wardrobes
required for NDSS
storage compliance

This Housetype is compliant with
NDSS

This Housetype is compliant with
Part M4 Category 2.



Scale Bar @ 1:100
(m)

-		17/01/2025	BLK	First Issue
REV	DATE	BY	AMENDMENTS	
AVANT homes				
AV23 SPECIFICATION				
PLANNING				
DATE: 20/12/2024		SCALE @ A3: 1 : 100		DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans				
HOUSE TYPE: Knaresborough - End				
COINS REFERENCE:				
DRWG No: KNA/END/0-001				REV: -

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



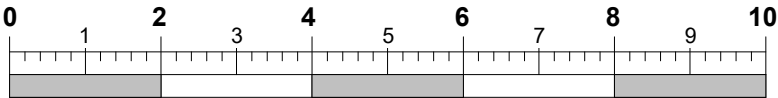
Left Side Elevation
1 : 100



Rear Elevation
1 : 100

This Housetype is compliant with NDSS

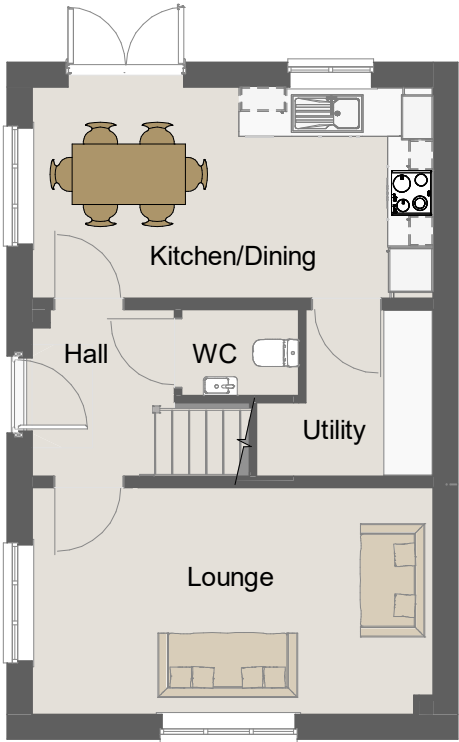
This Housetype is compliant with Part M4 Category 2.



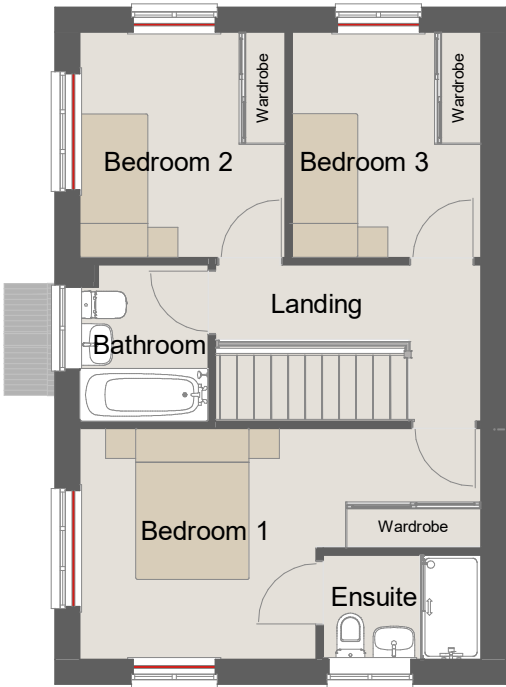
Scale Bar @ 1:100
(m)

-		17/01/2025	BLK	First Issue
REV	DATE	BY	AMENDMENTS	
AVANT homes				
AV23 SPECIFICATION				
PLANNING				
DATE: 20/12/2024		SCALE @ A3: 1 : 100		DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Traditional Brick				
HOUSE TYPE: Knaresborough - End				
COINS REFERENCE:				
DRWG No: KNA/END/0-002				REV: -

14/01/2025 11:37:16



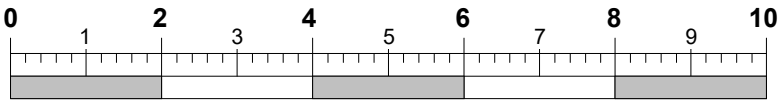
Ground Floor.
1 : 100



First Floor.
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

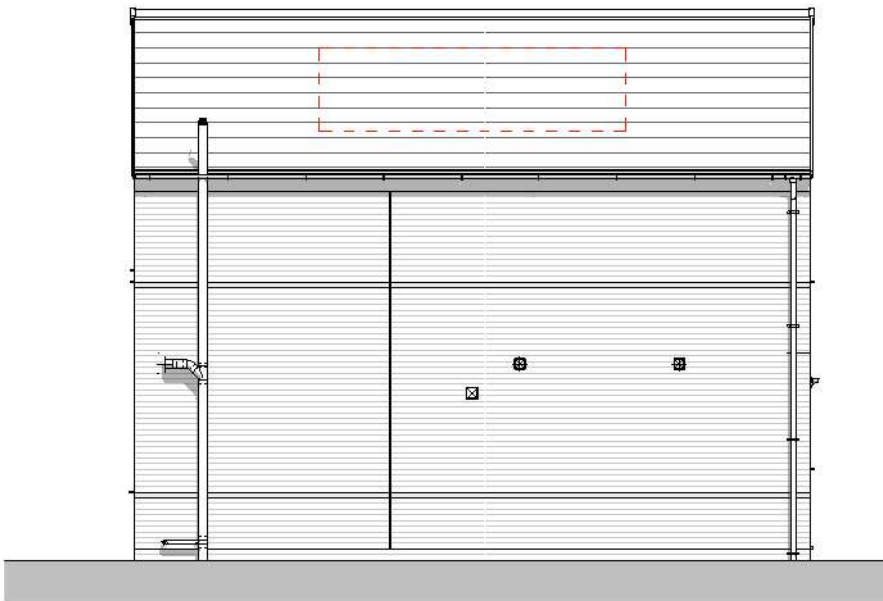


Scale Bar @ 1:100
(m)

C	02/05/2025	GK	GF Bedroom 1 ensuite width amended to allow for shower tray. Bed 1 wardrobe size reduced in line with spacepro designs.
B	14/10/2024	GK	Scale bar amended from millimeters to meters.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 18/05/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans			
HOUSE TYPE: Leyburn - Det			
COINS REFERENCE:			
DRWG No: LEY/DET/0-001			REV: C

02/05/2025 14:43:10

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Right Side Elevation
1 : 100



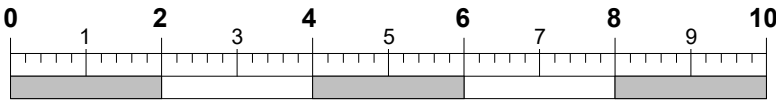
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Scale Bar @ 1:100
(m)

B	14/10/2024	GK	Scale bar amended from millimeters to meters. "Standard" elevation style renamed "Traditional Brick".
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS

AV23 SPECIFICATION

PLANNING

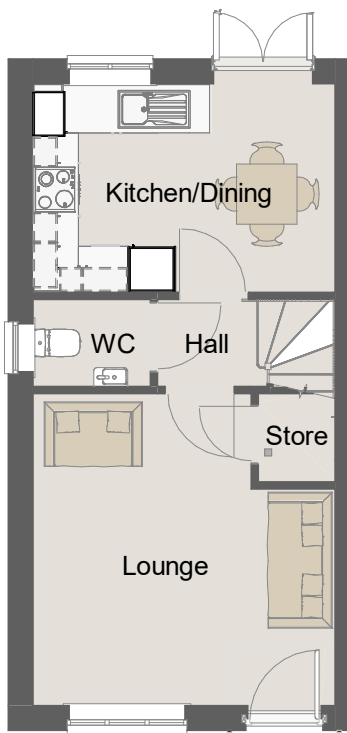
DATE: 18/05/2023	SCALE @ A3: 1 : 100	DRAWN BY: GROUP
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DWG TITLE:
Planning Sheet - Elevations -
Traditional Brick

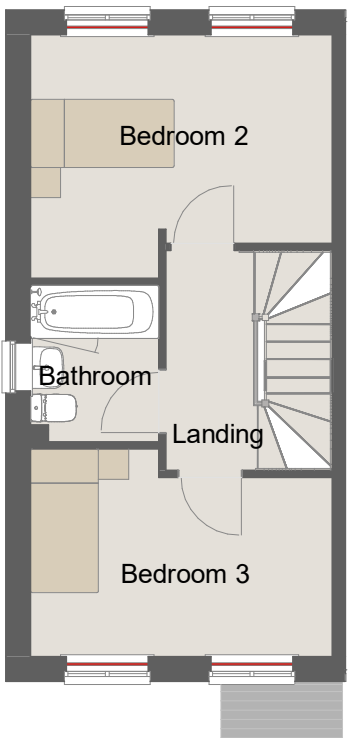
HOUSE TYPE:
Leyburn - Det

COINS REFERENCE:

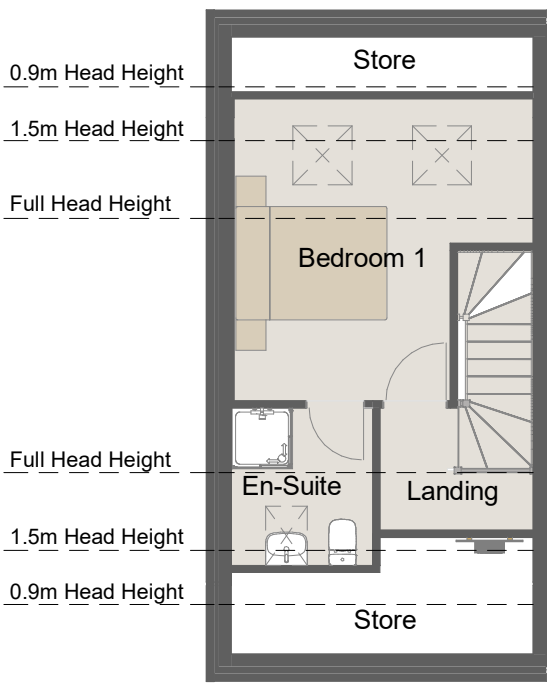
DRWG No: LEY/DET/0-002	REV: B
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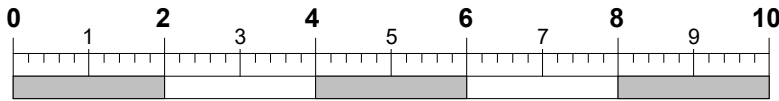
Ground Floor.
1 : 100



First Floor.
1 : 100



Second Floor.
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

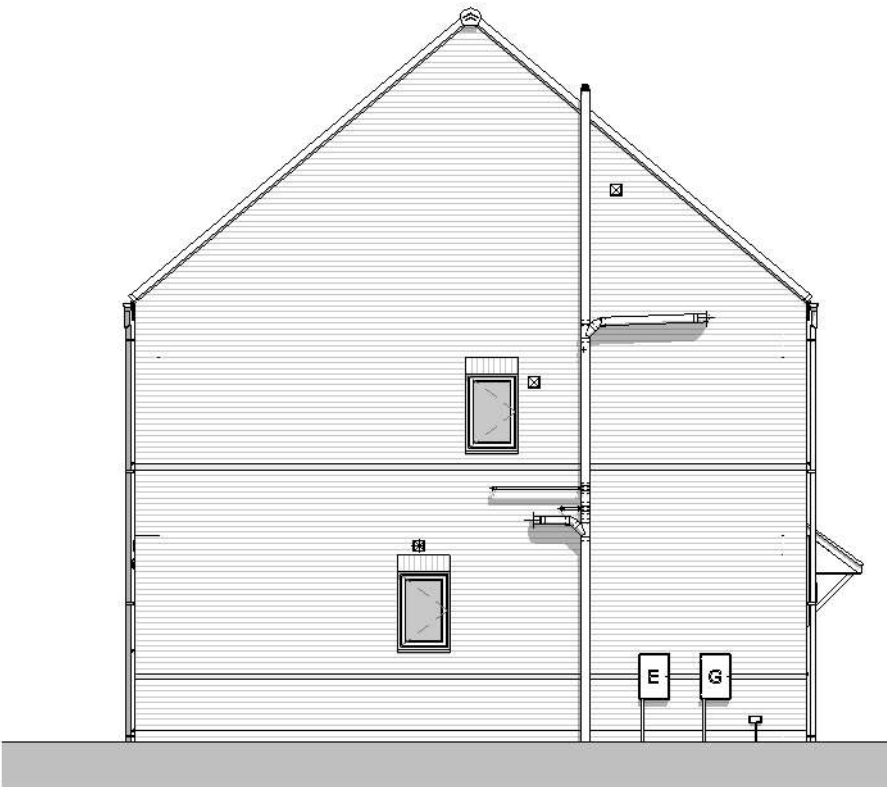
B	02/05/2025	JM	Staircase opening width amended to 1053. Store width increased. WWHR boxing moved into kitchen. Head height added to second floor.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans			
HOUSE TYPE: Baildon - End			
COINS REFERENCE:			
DRWG No: BAI/0-001			REV: B

02/05/2025 10:23:15

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



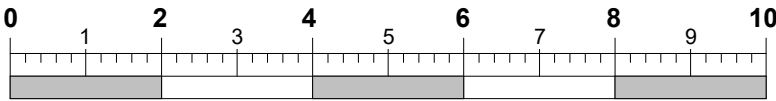
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100

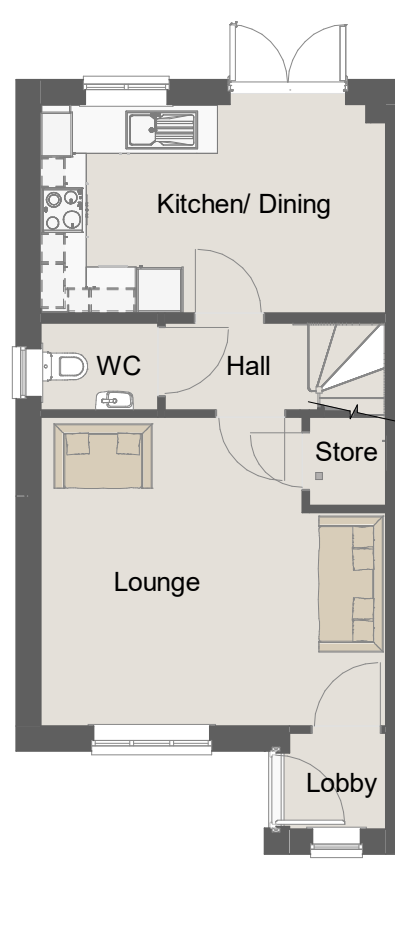


Scale Bar @ 1:100
(m)

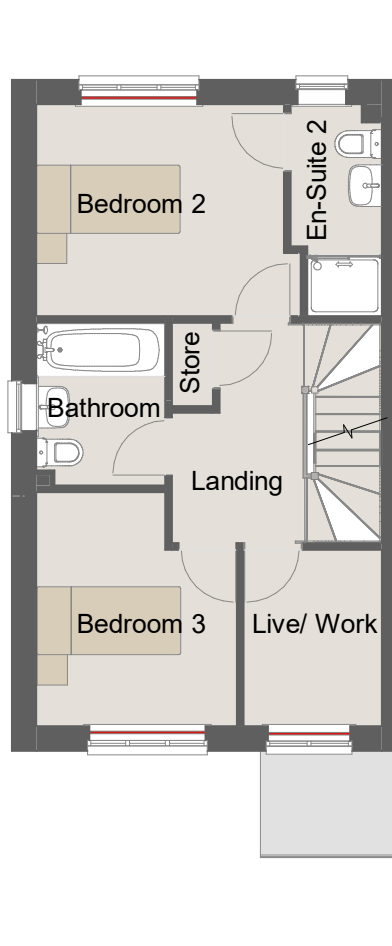
This Housetype is compliant with NDSS

B A		02/05/2025 17/07/2023	JM BLK	"Standard" elevation style renamed "Traditional Brick". First Issue	
REV	DATE	BY	AMENDMENTS		
AVANT homes					
AV23 SPECIFICATION					
PLANNING					
DATE: 12/07/2023		SCALE @ A3: 1 : 100		DRAWN BY: GROUP	
DWG TITLE: Planning Sheet - Elevations - Traditional Brick					
HOUSE TYPE: Baildon - End					
COINS REFERENCE:					
DRWG No: BAI/0-002				REV: B	

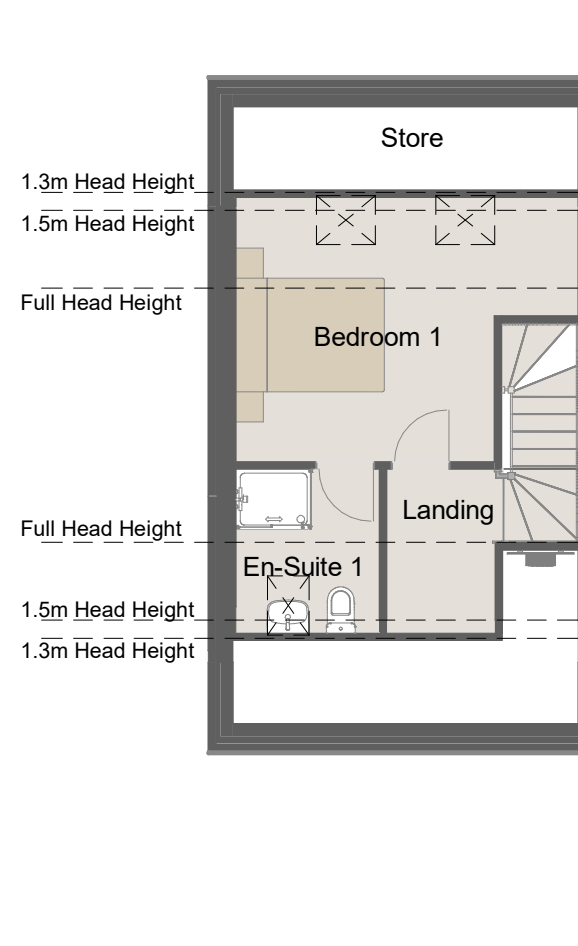
02/05/2025 10:23:47



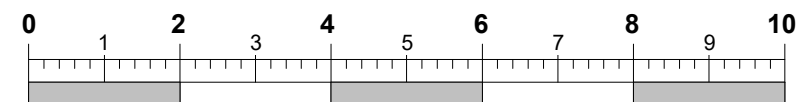
Ground Floor
1 : 100



First Floor
1 : 100



Second Floor
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

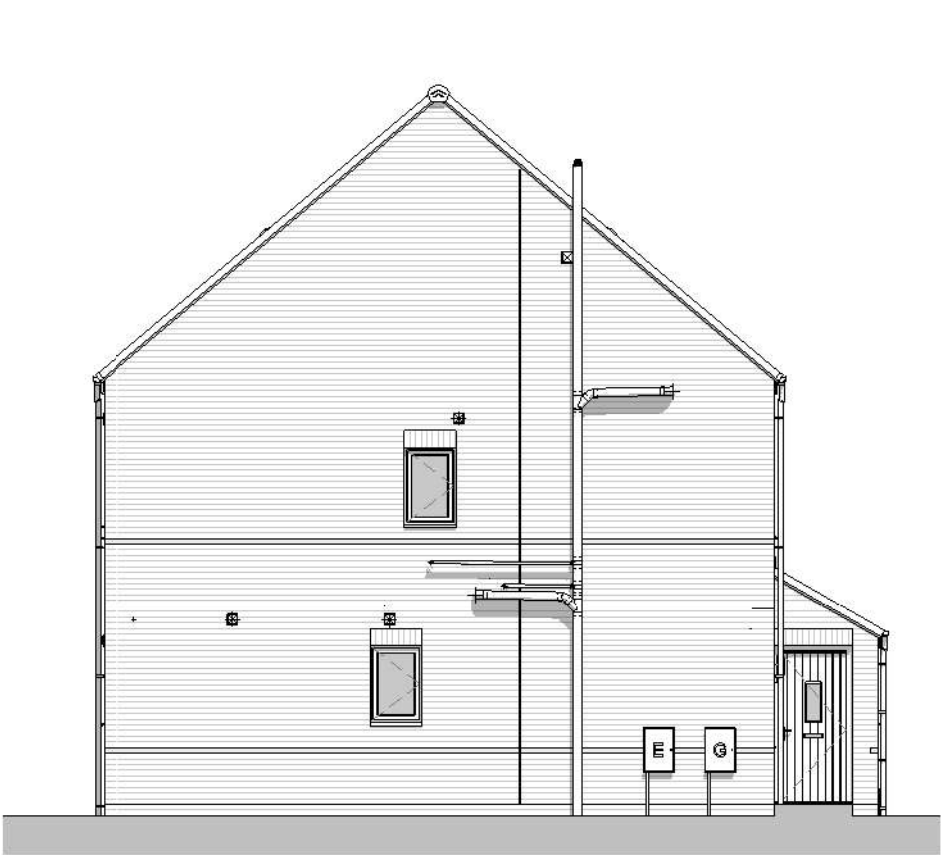
B	14/02/2025	GK	Scale bar amended to show meters. Head height added to second floor plan.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 23/06/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans			
HOUSE TYPE: Salbury - End			
COINS REFERENCE:			
DRWG No: SAL/END/0-001.5			REV: B

14/02/2025 11:23:29

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



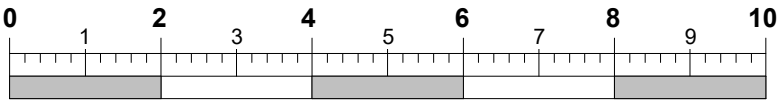
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Scale Bar @ 1:100
(m)

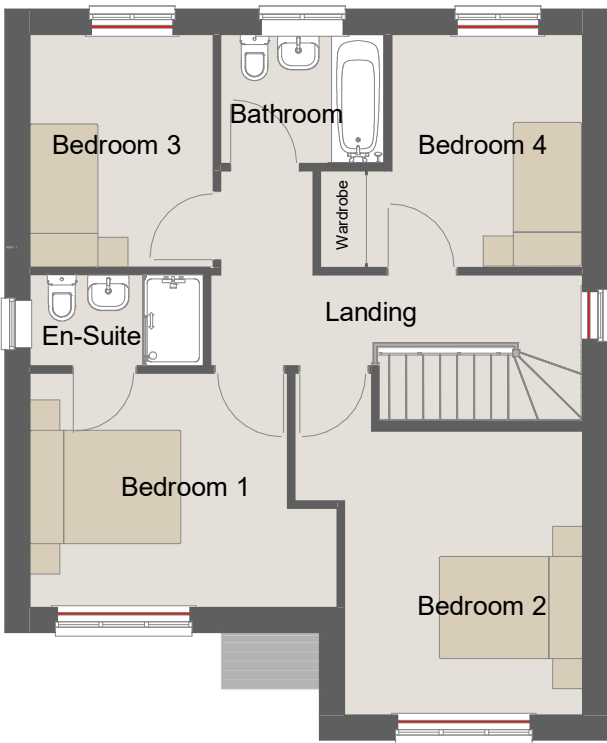
This Housetype is compliant with
NDSS

C	28/02/2025	GK	W/C mechanical extract added to left elevation
B	14/02/2025	GK	"Standard" elevation style renamed "Traditional Brick". Scale bar amended to show meters.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 23/06/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Traditional Brick			
HOUSE TYPE: Salbury - End			
COINS REFERENCE:			
DRWG No: SAL/END/0-002.5			REV: C

28/02/2025 16:44:43



Ground Floor.
1 : 100



First Floor.
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY

This Housetype is compliant with
NDSS

This Housetype is compliant with
Part M4 Category 2.

REV	DATE	BY	AMENDMENTS
B	22/07/2024	BLK	Stairwell offset 3900 from front elevation & width amended to 1045mm. Lounge increased 34mm in length. Bedroom 2 increased 34mm in length. Bath SVP relocated to allow improved connection to WC.
A	17/07/2023	BLK	First Issue

AV23 SPECIFICATION

PLANNING

DATE: 19/05/2023	SCALE @ A3: 1 : 100	DRAWN BY: GROUP
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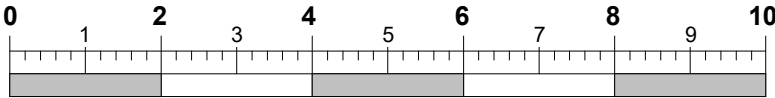
DWG TITLE:
Planning Sheet - Floor Plans

HOUSE TYPE:
Wentbridge - Det

COINS REFERENCE:

DRWG No:
WEN/0-001

REV:
B



Scale Bar @ 1:100
(m)

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



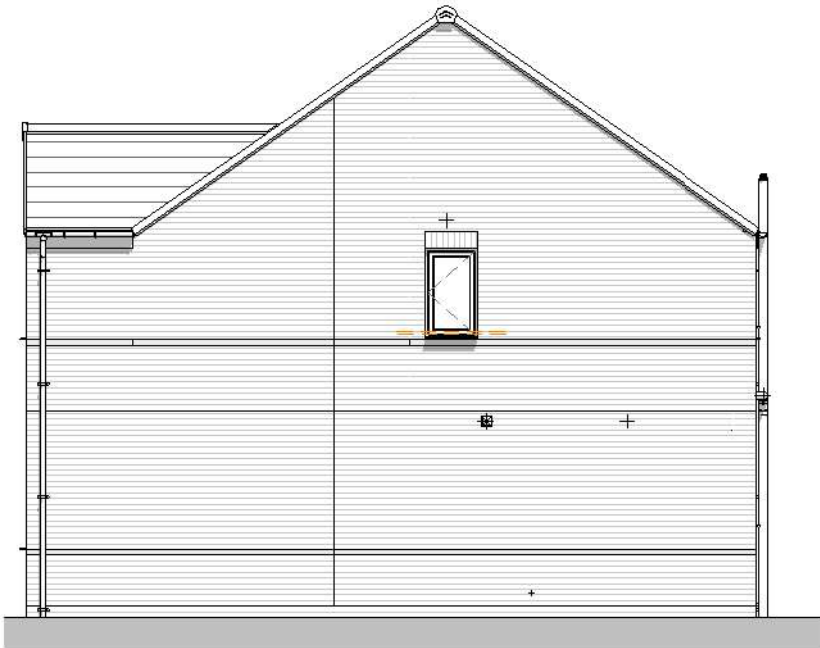
Front Elevation
1 : 100



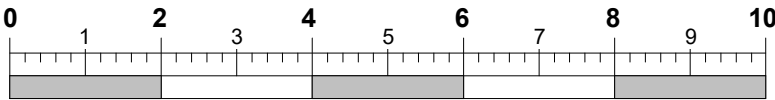
Left Side Elevation
1 : 100



Rear Elevation
1 : 100



Right Side Elevation
1 : 100



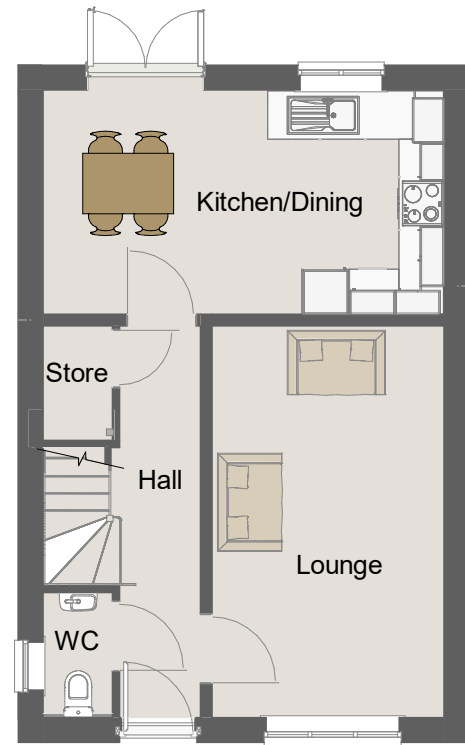
Scale Bar @ 1:100
(m)

This Housetype is compliant with
NDSS

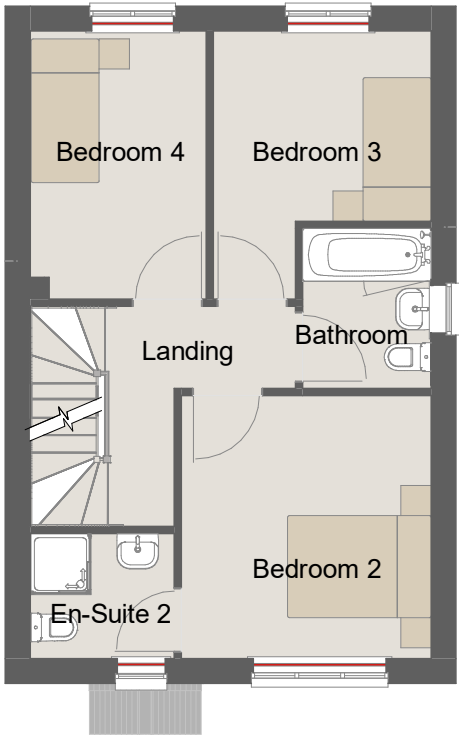
This Housetype is compliant with
Part M4 Category 2.

B	22/07/2024	BLK	Eaves and ridge height now shown correctly
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 19/05/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Traditional Brick			
HOUSE TYPE: Wentbridge - Det			
COINS REFERENCE:			
DRWG No: WEN/0-002			REV: B

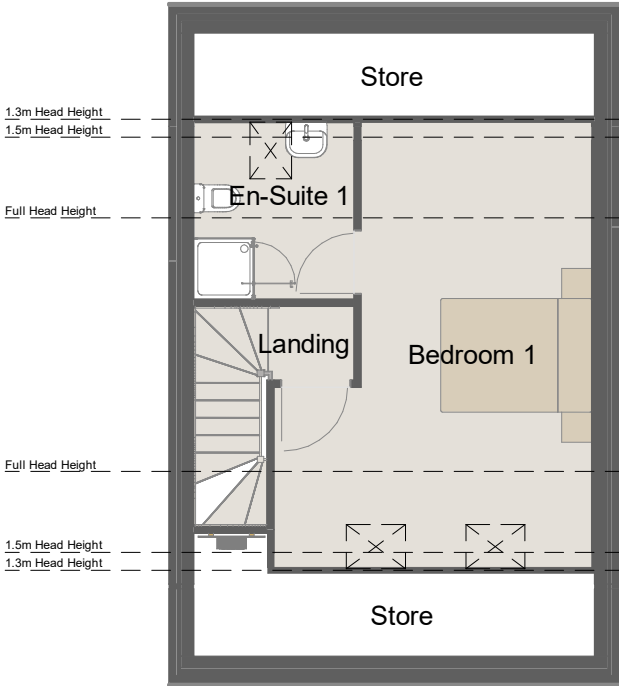
22/07/2024 15:49:00



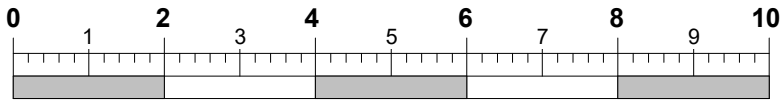
Ground Floor.
1 : 100



First Floor.
1 : 100



Second Floor.
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

B	22/11/2024	JM	WWHR relocated adjacent to stairs. Bed position amended in Bedroom 4. Ceiling heights added to second floor. Ensuite window height increased from 1050 to 1200, safety rail added. Scale bar amended to (M). WC and Ensuite 2 layout rearrange to match Matliby.	
A	17/07/2023	BLK	First Issue	
REV	DATE	BY	AMENDMENTS	
AVANT homes				
AV23 SPECIFICATION				
PLANNING				
DATE: 15/06/2023		SCALE @ A3: 1 : 100		DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans				
HOUSE TYPE: Netherton - Det				
COINS REFERENCE:				
DRWG No: NET/DET/0-001				REV: B

22/11/2024 14:35:03

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



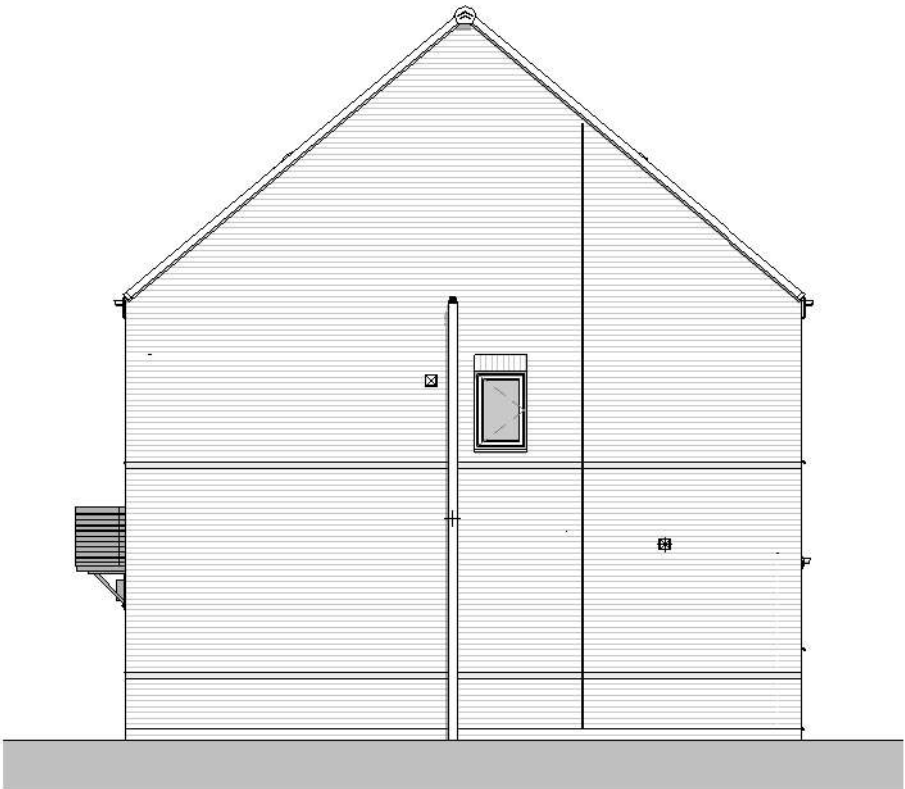
Front Elevation
1 : 100



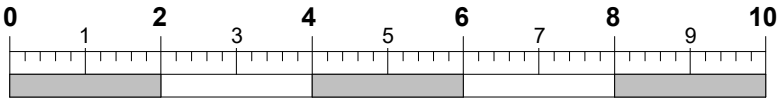
Left Elevation
1 : 100



Rear Elevatio
1 : 100



Right Elevation
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

B	22/11/2024	JM	685 x 1050h window on front elevation increased to 685 x 1200h. Scale bar amended to (M). Concrete brick movement joint locations added. "Traditional Brick" elevation style name added. Ensuite 2 SVP relocated externally on Left elevation.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS

AVANT
homes

AV23 SPECIFICATION

PLANNING

DATE:
15/06/2023

SCALE @ A3:
1 : 100

DRAWN BY:
GROUP

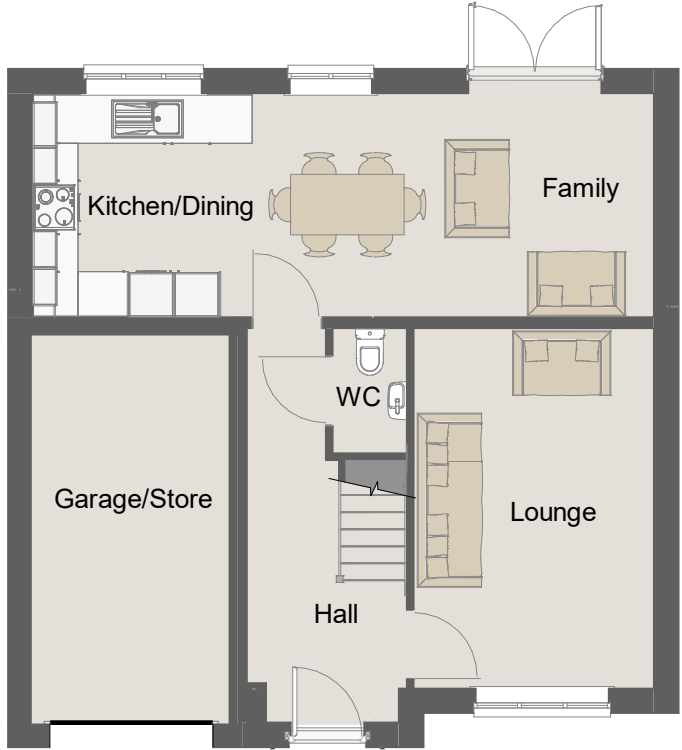
DWG TITLE:
Planning Sheet - Elevations -
Traditional Brick

HOUSE TYPE:
Netherton - Det

COINS REFERENCE:

DRWG No:
NET/DET/0-002

REV:
B

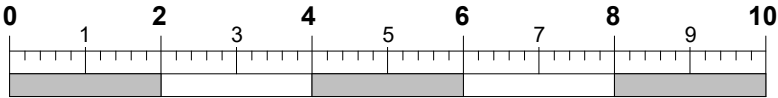


Ground Floor
1 : 100



First Floor
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY



Scale Bar @ 1:100
(m)

This Housetype is compliant with
NDSS

B	01/11/2024	JM	Wall separating Bedroom 4 & Bathroom moved north into Bedroom 4. 38mm stud boxing added behind bath. Floating mullion added to Bedroom 4 window. Scale bar amended to (M). Fitted wardrobe note added. Wardrobe relocated to Bedroom 2.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans - Traditional Bricks			
HOUSE TYPE: Cookbury - Det			
COINS REFERENCE:			
DRWG No: COO/DET/0-001.5			REV: B

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



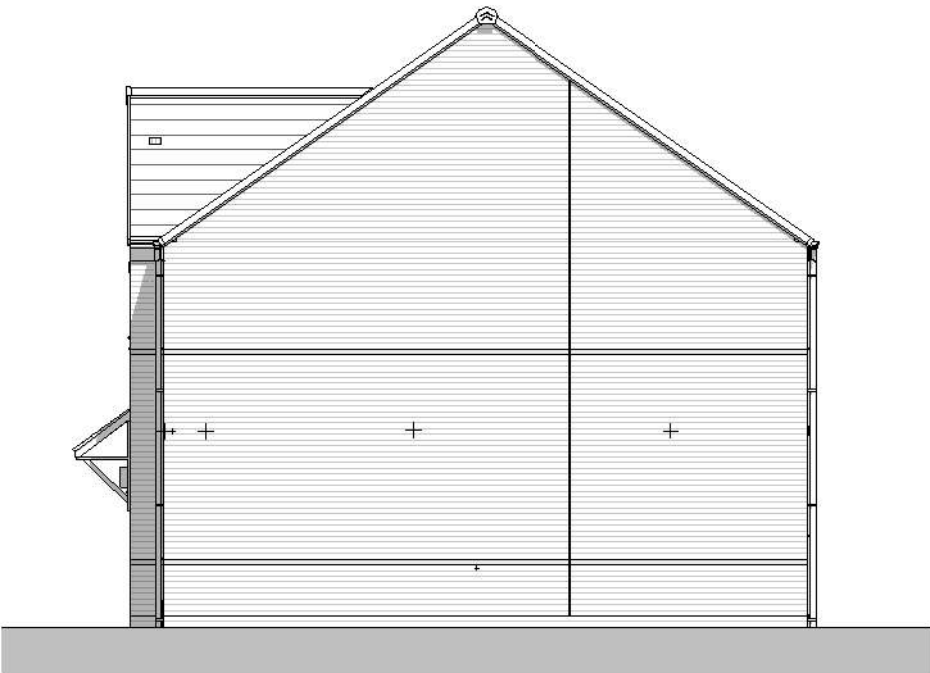
Front Elevation - Traditional Brick
1 : 100



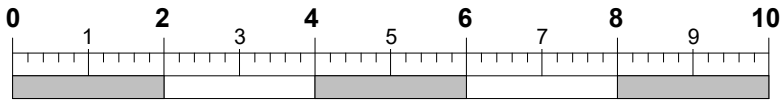
Left Side Elevation - Traditional Brick
1 : 100



Rear Elevation - Traditional Brick
1 : 100



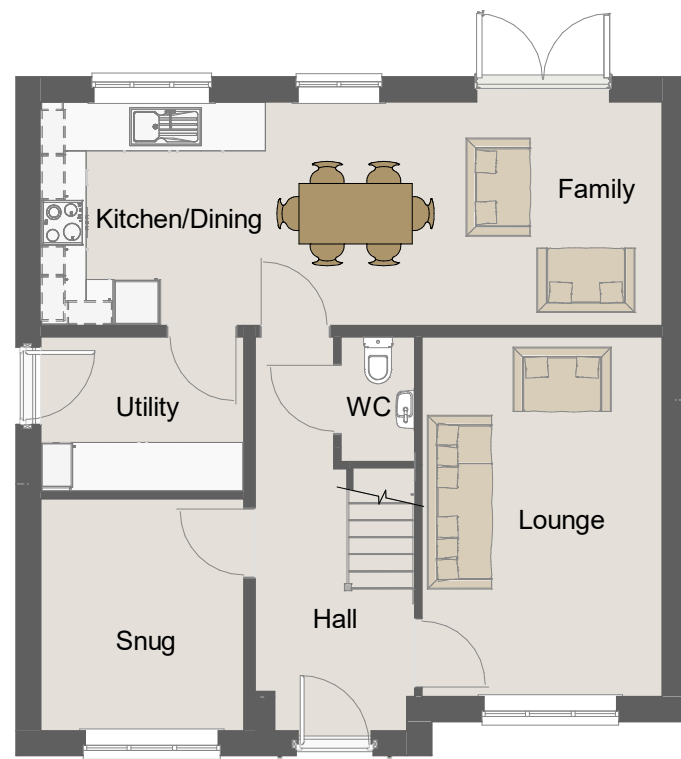
Right Side Elevation - Traditional Brick
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

B	01/11/2024	JM	Elevational style name amended to "Traditional Brick". Concrete brick movement joint locations shown. Triple casement window on rear elevation now shown with floating mullion. Scale bar amended to (M).	
A	17/07/2023	BLK	First Issue	
REV	DATE	BY	AMENDMENTS	
AVANT homes				
AV23 SPECIFICATION				
PLANNING				
DATE: 02/06/2023		SCALE @ A3: 1 : 100		DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Traditional Brick				
HOUSE TYPE: Cookbury - Det				
COINS REFERENCE:				
DRWG No: COO/DET/0-002.5				REV: B

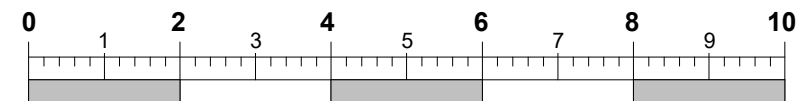


Ground Floor
1 : 100



First Floor
1 : 100

Fitted wardrobes required
for NDSS storage
compliance ONLY



Scale Bar @ 1:100
(m)

This Housetype is compliant with
NDSS

B	22/11/2024	GK	Bathroom external SVP relocated 445mm towards front elevation. Boiler relocated to utility/snug wall.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS

AVANT
homes

AV23 SPECIFICATION

PLANNING

DATE: 23/06/2023	SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans		
HOUSE TYPE: Thoresbury - Det		
COINS REFERENCE:		
DRWG No: THO/DET/0-001.5		REV: B

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



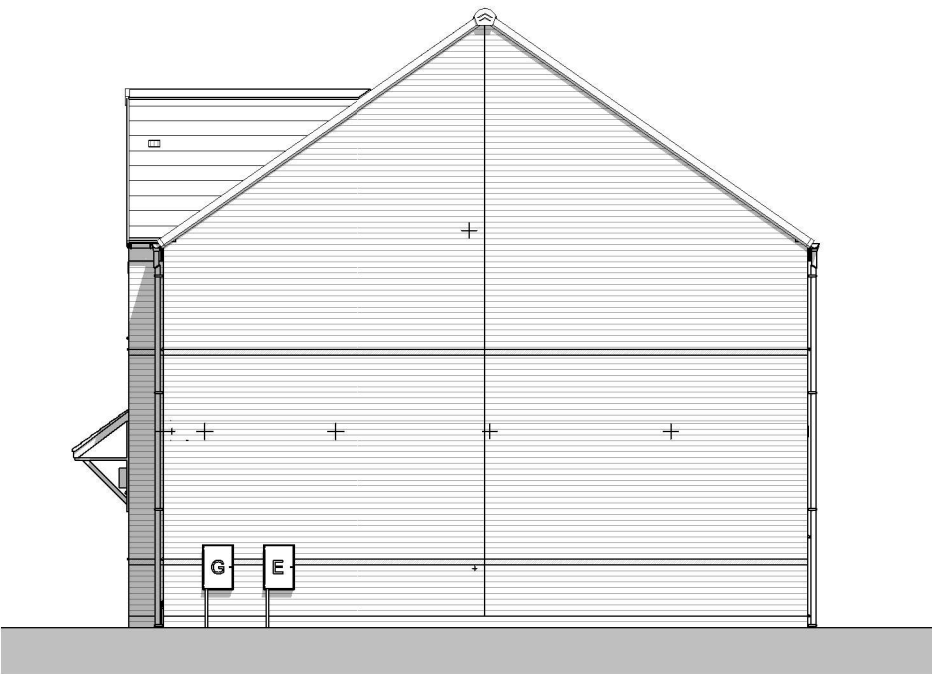
Front Elevation,
1 : 100



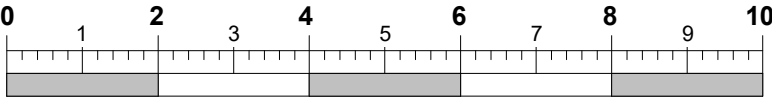
Left Side Elevation,
1 : 100



Rear Elevation,
1 : 100



Right Side Elevation,
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

B	22/11/2024	GK	Bathroom external SVP relocated 445mm South on West side elevation "Standard" elevation style renamed "Traditional Brick".
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 23/06/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Traditional Brick			
HOUSE TYPE: Thoresbury - Det			
COINS REFERENCE:			
DRWG No: THO/DET/0-002.5			REV: B



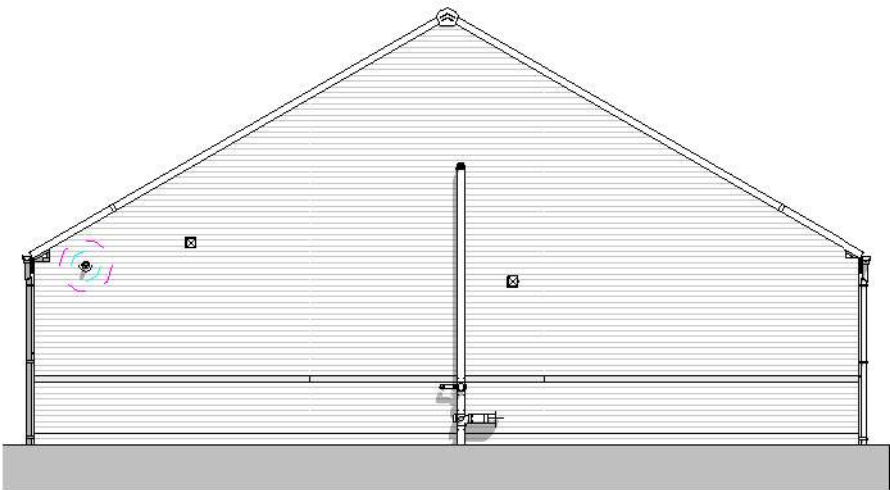
Proposed Housetypes – Affordable Housing

Barugh Green Road, Barugh Green – April 2026 - Third Issue

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



Left Side Elevation
1 : 100



Ground Floor
1 : 100



Rear Elevation
1 : 100

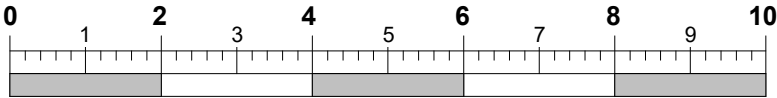


Right Side Elevation
1 : 100

This Housetype is compliant with NDSS

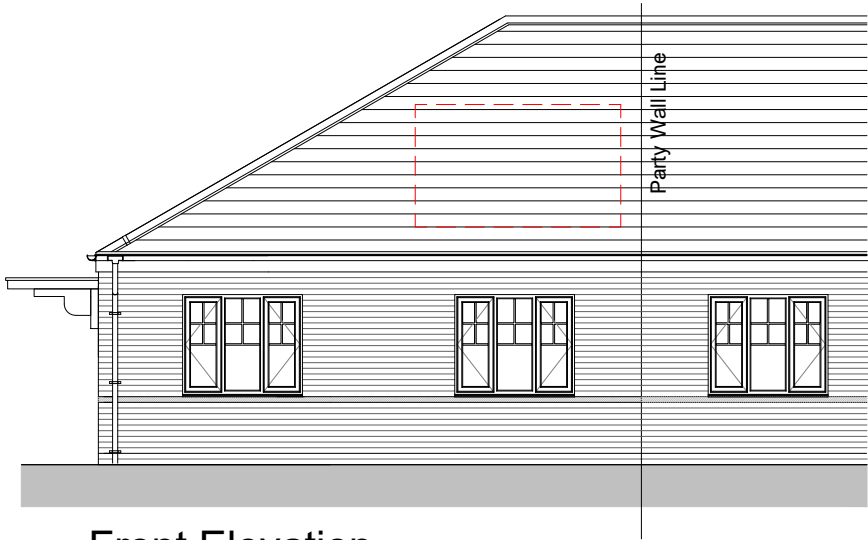
This Housetype is compliant with Part M4(3)(2)(b)

07/05/2025		JM	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE:	07/05/2025	SCALE @ A3:	1 : 100
DWG TITLE:	Planning Sheet - Floor Plans & Elevations - Trad Brick		
HOUSE TYPE:	H2 - Det		
COINS REFERENCE:			
DRWG No:	H2/DET/0-001		REV: A



Scale Bar @ 1:100
(m)

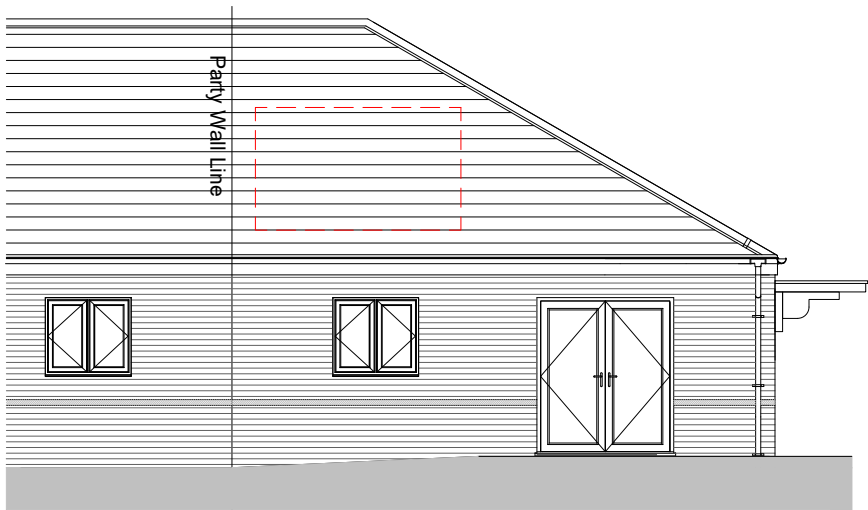
NOTE:Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



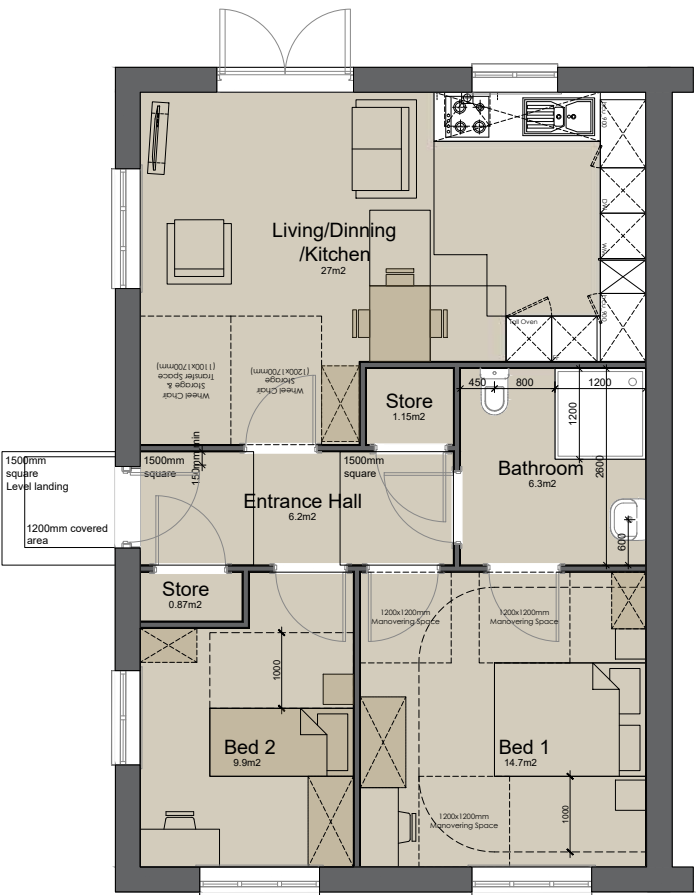
Front Elevation



Side Elevation



Rear Elevation



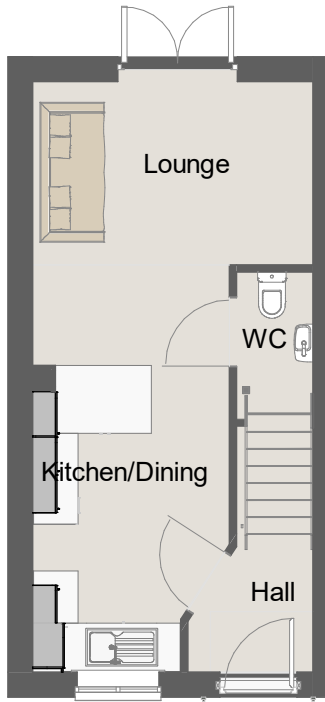
Ground Floor Plan

Floor Area 68.53m²

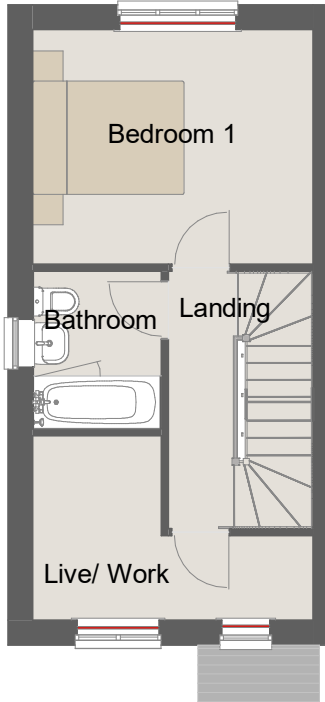
This house type is compliant with NDSS

This house type is compliant with Part M4(3)(2)(b) standards.

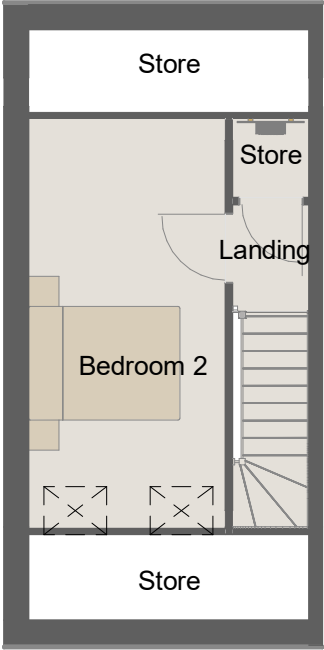
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
Area: 68.53 m²/ 737.65 sqft (Sales)			
DATE:	SCALE @ A3:	DRAWN BY:	
Jan 25	1:100	S+SA	
DWG TITLE:			
Plans & Elevations			
HOUSE TYPE: H2+			
PROJECT:			
Barugh Green			
DRWG No:			REV:
HAT + /0-001			A



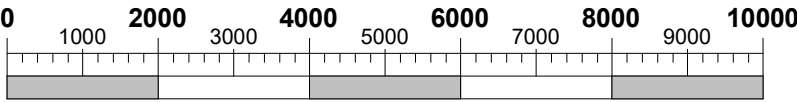
Ground Floor
1 : 100



First Floor
1 : 100



Second Floor
1 : 100



Scale Bar @ 1:100
(mm)

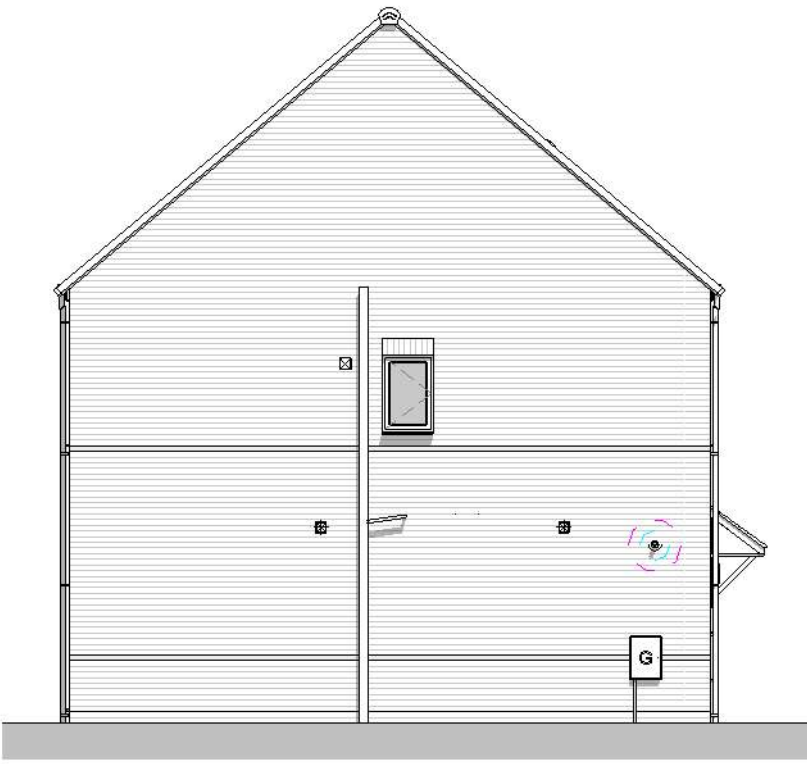
This Housetype is compliant with NDSS

A		04/09/2023		BLK		First Issue	
REV	DATE	BY	AMENDMENTS				
AVANT homes							
AV23 SPECIFICATION							
PLANNING							
DATE: 01/09/2023				SCALE @ A3: 1 : 100		DRAWN BY: GROUP	
DWG TITLE: Planning Sheet - Floor Plans							
HOUSE TYPE: E2.1 - End							
COINS REFERENCE:							
DRWG No: E2.1/END/0-001.5						REV: A	

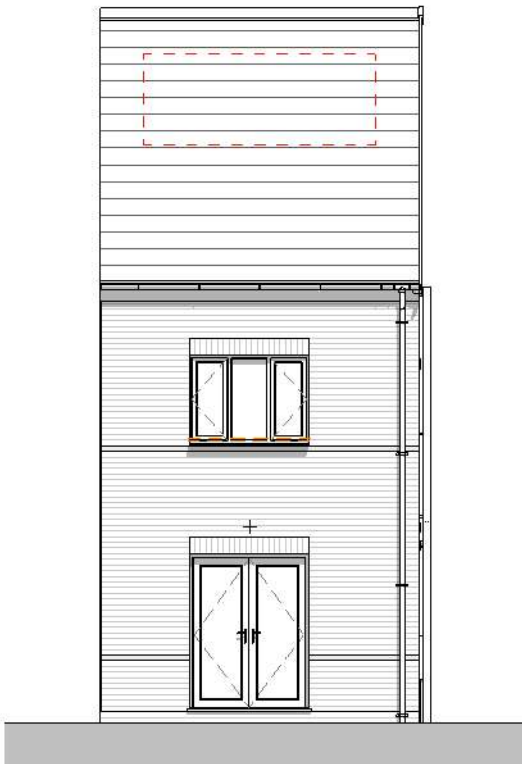
NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



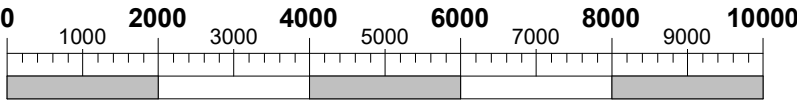
Left Side Elevation
1 : 100



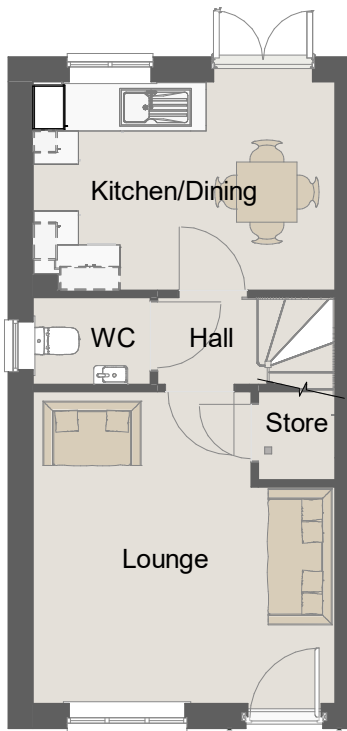
Rear Elevation
1 : 100

This Housetype is compliant with
NDSS

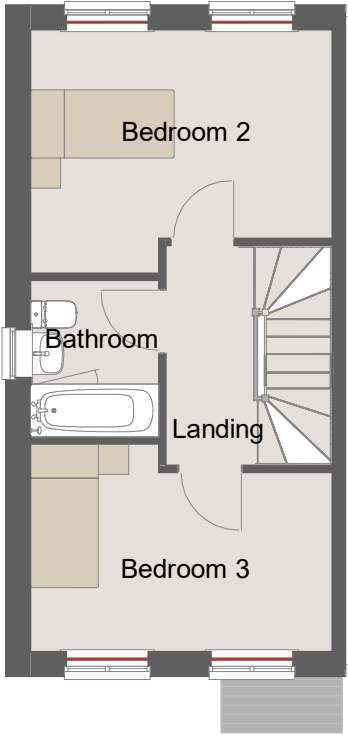
A	04/09/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 01/09/2023		SCALE @ A3: 1 : 100	
		DRAWN BY: GROUP	
DWG TITLE: Planning Sheet - Elevations - Standard			
HOUSE TYPE: E2.1 - End			
COINS REFERENCE:			
DRWG No: E2.1/END/0-002.5			REV: A



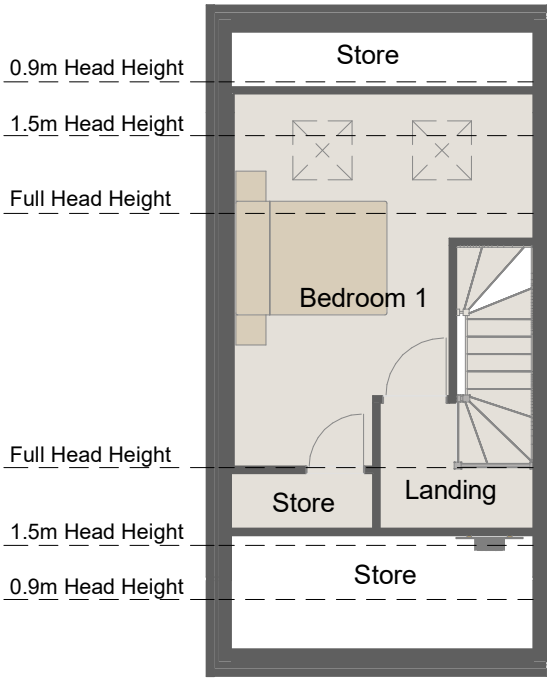
Scale Bar @ 1:100
(mm)



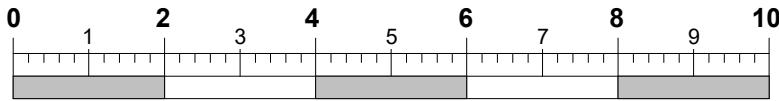
Ground Floor.
1 : 100



First Floor.
1 : 100



Second Floor.
1 : 100



Scale Bar @ 1:100
(m)

This Housetype is compliant with NDSS

B	02/05/2025	GK	Staircase opening width amended to 1053. Store width increased. WWHR boxing moved into kitchen. Head height added to second floor.
A	17/07/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 12/07/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Floor Plans - Traditional Brick			
HOUSE TYPE: B3 - End			
COINS REFERENCE:			
DRWG No: B3/0-001			REV: B

02/05/2025 16:55:35

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



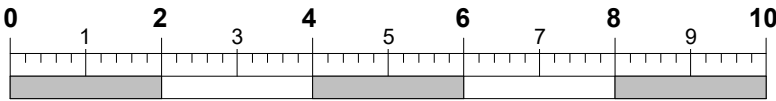
Front Elevation
1 : 100



Left Side Elevation
1 : 100



Rear Elevation
1 : 100

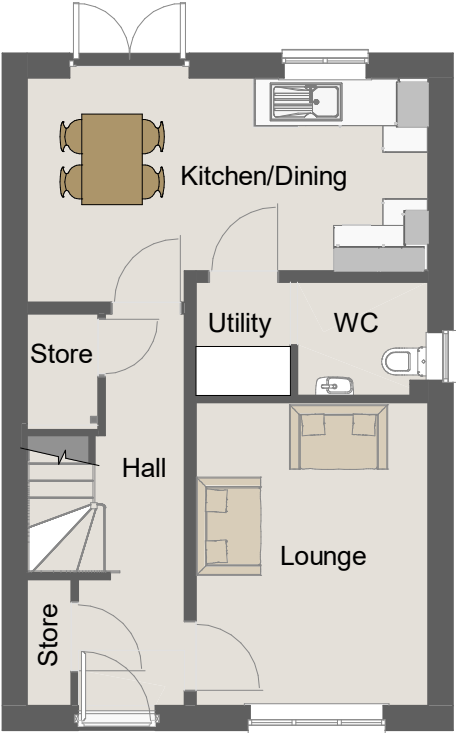


Scale Bar @ 1:100
(m)

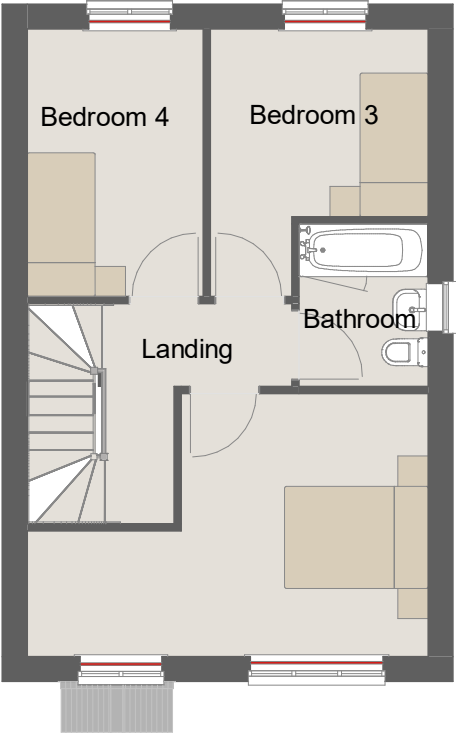
This Housetype is compliant with NDSS

B		02/05/2025	JM	"Standard" elevation style renamed "Traditional Brick".	
A		17/07/2023	BLK	First Issue	
REV	DATE	BY	AMENDMENTS		
AVANT homes					
AV23 SPECIFICATION					
PLANNING					
DATE:		12/07/2023		SCALE @ A3:	DRAWN BY:
				1 : 100	GROUP
DWG TITLE:					
Planning Sheet - Elevations - Traditional Brick					
HOUSE TYPE:					
B3 - End					
COINS REFERENCE:					
DRWG No:					REV:
B3/0-002					B

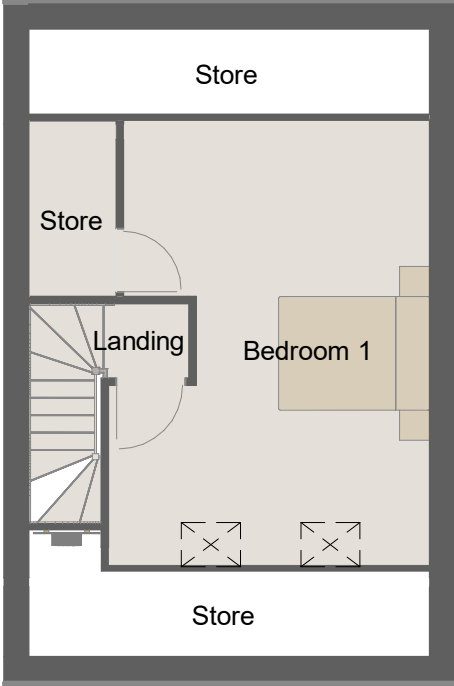
02/05/2025 16:55:51



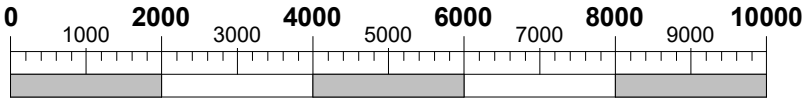
Ground Floor.
1 : 100



First Floor.
1 : 100



Second Floor.
1 : 100



This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

A	04/09/2023	JM	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 01/09/2023		SCALE @ A3: 1 : 100	
DWG TITLE: Planning Sheet - Floor Plans		DRAWN BY: GROUP	
HOUSE TYPE: D4 - Det			
COINS REFERENCE:			
DRWG No: D4/0-001			REV: A

04/09/2023 21:10:47

NOTE: Dashed lines on roof denote PV panel location.
Size and amount dependant on site location/orientation



Front Elevation
1 : 100



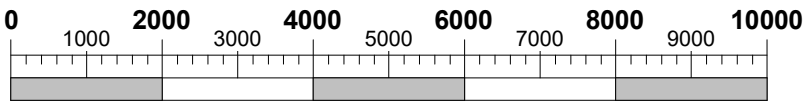
Left Elevation
1 : 100



Rear Elevation
1 : 100



Right Elevation
1 : 100



Scale Bar @ 1:100
(mm)

This Housetype is compliant with NDSS

This Housetype is compliant with Part M4 Category 2.

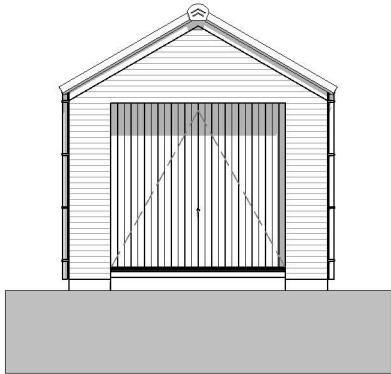
A	04/09/2023	BLK	First Issue
REV	DATE	BY	AMENDMENTS
AVANT homes			
AV23 SPECIFICATION			
PLANNING			
DATE: 01/09/2023		SCALE @ A3: 1 : 100	DRAWN BY: GROUP
DWG TITLE: Planning Sheet - Elevations - Standard			
HOUSE TYPE: D4 - Det			
COINS REFERENCE:			
DRWG No: D4/0-002			REV: A

04/09/2023 21:11:09

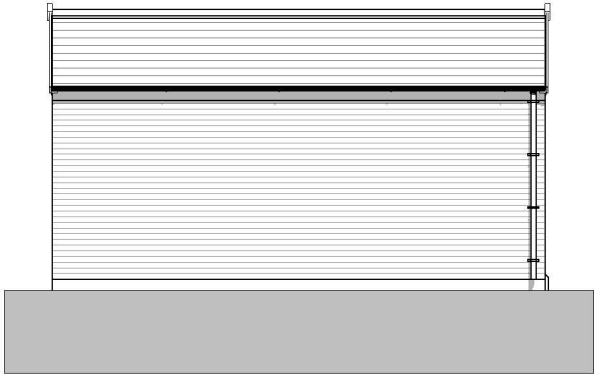


Garages

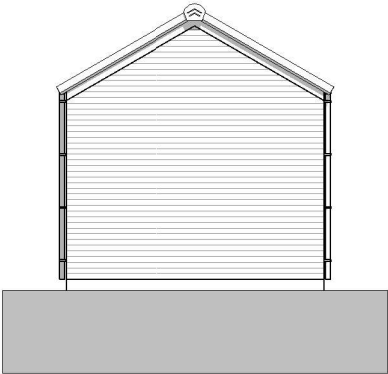
Barugh Green Road, Barugh Green – April 2026 - Third Issue



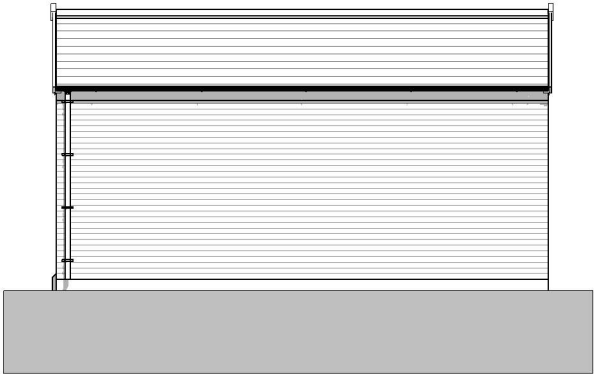
Front Elevation.
1 : 100



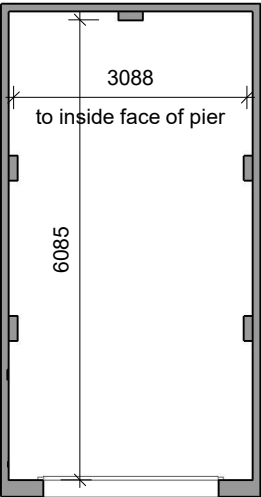
Left Elevation.
1 : 100



Rear Elevation.
1 : 100

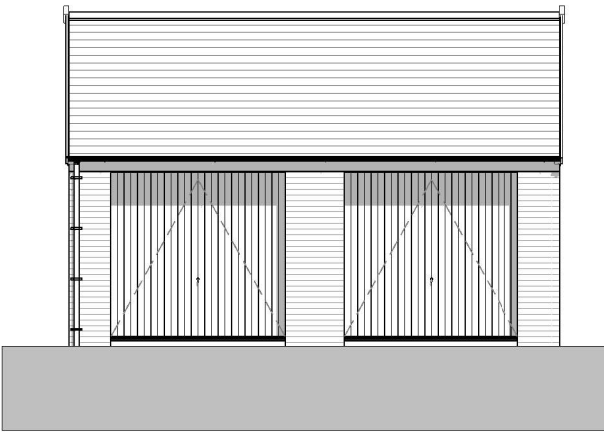


Right Elevation.
1 : 100

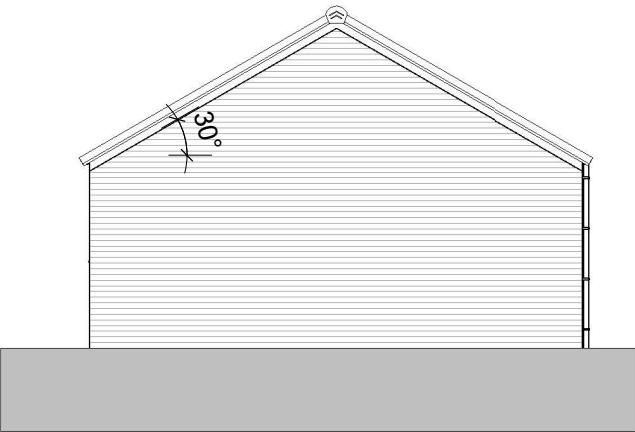


Floor Plan
1 : 100

A		29/06/2021		EA		First Issue	
REV	DATE	BY	AMENDMENTS				
AVANT homes							
AV22 SPECIFICATION							
Planning							
Area:		0 m ² / 0 sq.ft.					
DATE: 10/10/22		SCALE @ A3: 1 : 100		DRAWN BY: TS			
DWG TITLE: Planning Drawings							
HOUSE TYPE: Garage - Single - Gable Front							
COINS REFERENCE: GgeSD							
DRWG No: 500/005						REV: A	



Front Elevation.
1 : 100

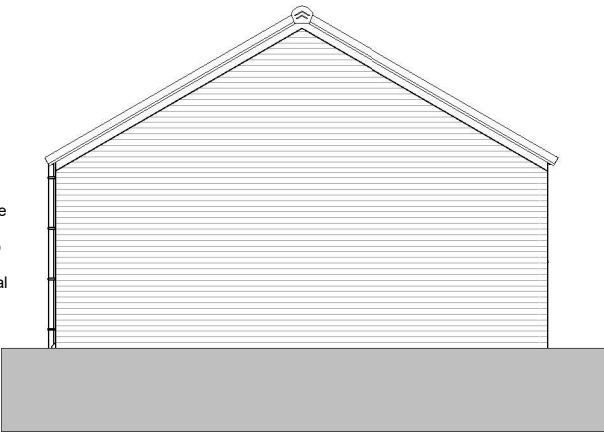


Left Elevation.
1 : 100

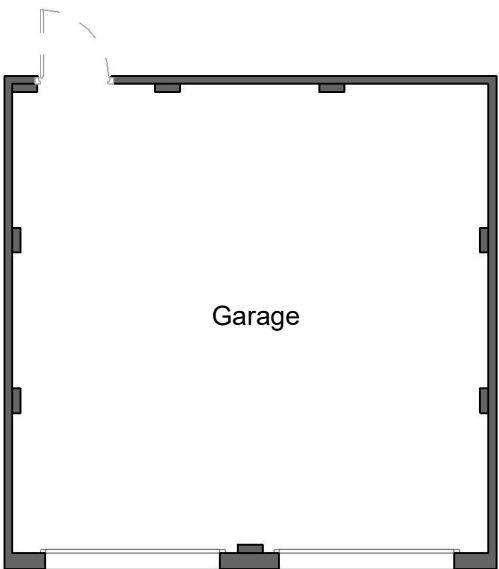


Rear Elevation.
1 : 100

Optional Personnel
door shown
notionally. Refer to
site levels/access
arrangement for final
position.



Right Elevation.
1 : 100



Ground Floor Plan
1 : 100

A		04/10/2021		MTY		First Issue	
REV	DATE	BY	AMENDMENTS				
AVANT homes							
AV22 SPECIFICATION							
PLANNING							
Area:		0 m ² / 0 sq.ft.					
DATE: 28/10/2021		SCALE @ A3: 1 : 100		DRAWN BY: MB			
DWG TITLE: Planning Drawings							
HOUSE TYPE: Garage - Double Detached							
COINS REFERENCE: GgeDD							
DRWG No: SITE/DG/006						REV: A	