

2021/0022 & 2021/0023

Mr Matt Bell

2021/0022 - Conversion and single storey extension to rear of barn to create 1no dwelling, erection of detached outbuilding adjacent the front as garages with home office/store in the roof space and external works including garden, parking and turning area and re-positioned entrance gates

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Malt Kiln Farm, 104 High Street, Royston, Barnsley, S71 4RN

Site Description

Malt Kiln Farm is situated to the South of High Street in Royston and comprises a Grade II Listed, 2 storey, rendered Farmhouse which is attached to adjacent dwellings, Nos 100 and 102 in separate ownership located to the east. The site includes a two storey stone barn to the western boundary which is in very poor structural condition, and a range of single storey buildings that lean against a stone boundary wall to the north and north-east boundaries. The site includes a small paddock to the south with further dilapidated single storey outbuildings to the south-west boundary.

To the West of the site are detached 2 storey dwellings which front Summer View and back on to the site, to the East are the attached neighbouring dwellings with terraced dwellings beyond, to the South are recently constructed bungalows, off Meadstead Drive, and to the North is High Street with dwellings beyond.





Proposed Development

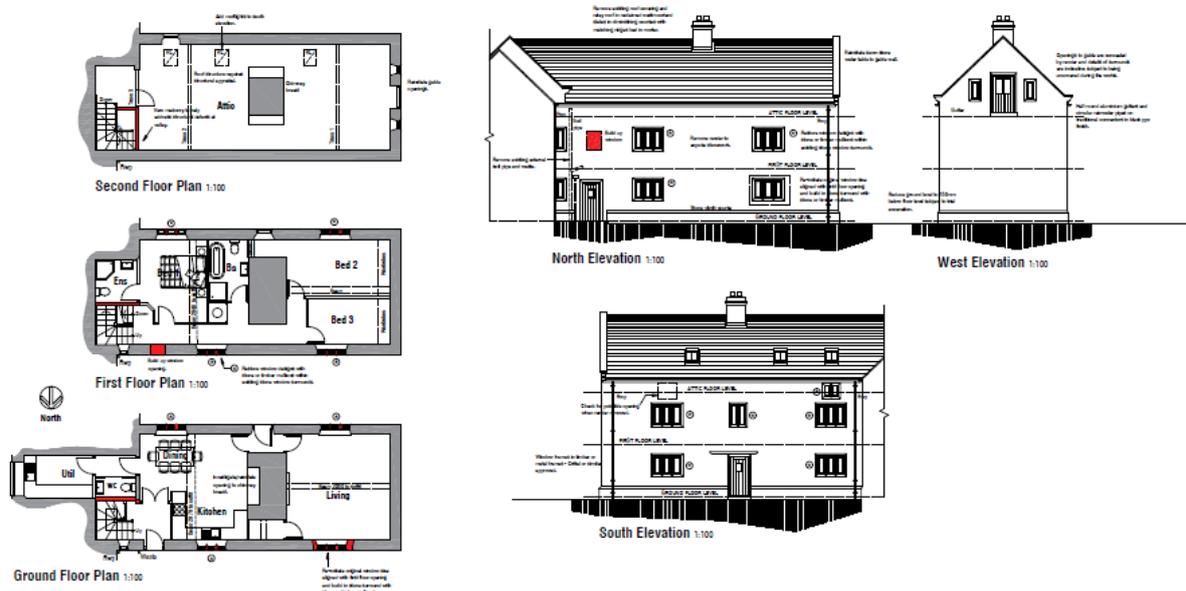
The applicant seeks permission for;

1. The renovation of the existing farmhouse to include the removal of render to external elevations; reinstatement of original door and window openings; reinstatement of mullions to external openings; replacement of the roof coverings with a natural slate; replacement of rainwater goods.
2. Careful dismantling and reconstruction of the two storey barn over a similar footprint, including an extension to the south.
3. Re-construction of former outbuilding to the northern boundary adjacent High Street.
4. Improvements to the access including hard and soft landscaping to the courtyard area.

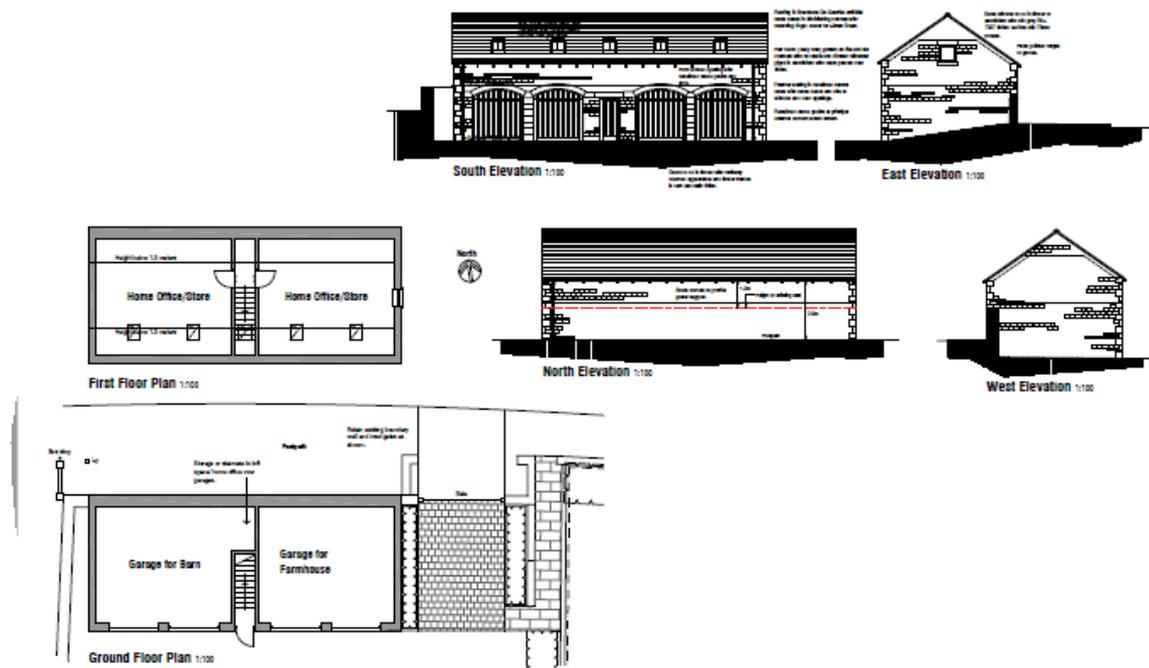
Barn Proposals



Farmhouse Proposals



Garage Proposals



Policy CC1 Climate Change

Policy CC2 Sustainable Design and Construction

The National Planning Policy Framework (NPPF) Section 16 – Conserving and Enhancing the Historic Environment, states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected; the level of detail should be proportionate to the assets' importance. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation.

The relevant paragraphs of the NPPF reading this proposal are:

- Paragraph 195: Identify and assess heritage significance including the setting and the effect of a proposal
- Paragraph 199: Great weight given to an asset's conservation, irrespective of the degree of harm
- Paragraph 200: Any harm to or loss of significance will require clear and convincing justification
- Paragraph 206: LPA's should look for opportunities for development within conservation areas and within the setting of heritage assets that enhance or reveal significance

Consultations

Conservation Officer – No objections subject to conditions

Biodiversity Officer – Require a nocturnal activity survey

Coal Authority – No objections subject to conditions

SYAS – Requested more information which resulted in the submission of the Archaeological Assessment and Building Appraisal

Historic England – No objections

Ward Councillors – No comments received

Representations

27no. neighbouring residents have been consulted, a site notice erected within the immediate area and a press notice was displayed in the Barnsley Chronicle. As a result 1no. no representation has been received. The representation questioned access to the trees to the rear of the site for maintenance.

Assessment

Principle of Development

The application property comprises of a grade II listed farm house and associated outbuildings and the poor condition of the buildings detracts from their contribution to the surrounding area, presently providing a run down, abandoned aspect within the streetscape. Many of the proposed changes are repairs or re-instatements of features lost over time or sympathetic additions. Visual amenity and Heritage Appraisal are explored in detail below but in principle

the sympathetic repair and re-instatement of the heritage asset are acceptable, in accordance with Local Plan Policies He1 and HE3.

The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

In line with Local Plan Policy GD1 'General Development' all new dwellings proposed must ensure that living conditions and overall standards of residential amenity are provided or maintained to an acceptable level both for new residents and those existing, particularly in respect of the levels of mutual privacy. In addition, development will only be granted where the development would maintain visual amenity and not create traffic problems or prejudice the possible future development of a larger area of land.

In accordance with Supplementary Planning Document 'House Extensions and Other Domestic Alterations' extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Residential Amenity

The Western Barn

It is noted that the 2 storey element of the barn would be circa 8.5m beyond the rear elevations of the dwellings fronting Summer View which falls short of the 12m usually required between a principle elevation and an elevation containing no habitable room windows. The rear elevation of the barn is also adjacent to the rear boundary of several properties. However, the proposed 2 storey barn is replacing an existing 2 storey barn (albeit with some elements of its roof currently missing). The proposed barn would have a roof ridge circa 850mm higher than the existing but the re-built barn would be set further away from the shared boundary. As such, the proposed barn would not significantly increase overshadowing or be an overbearing feature compared with the existing/previous situation.

There is a new single storey element attached to the barn but that is set away from the shared boundary and has a modest eaves height with a pitch roof which slopes away from the shared boundaries. As such, it would not be an overbearing feature or significantly increase overshadowing, in accordance with Local Plan Policy GD1.

In terms of privacy, the 2 storey rear elevation of the barn would not contain any windows and the roof lights in the rear roof plane would not serve any habitable rooms, as such, privacy levels of the occupants along Summer View would be retained. The single storey element would have a roof light in the rear roof plane which would serve a habitable room but the sill height would mean there are no direct views of the neighbouring dwellings or associated amenity space.

It is acknowledged that the front elevation of the barn which contains a number of habitable room windows would fall short of the required 12m from the side elevation of the farmhouse and there would be less than 10m from the windows to the private amenity area serving the farmhouse. However, the whole site is within the same ownership and the future owners of both properties would be aware of the relationship. There are compromises on the site to enable the historic layout of the site to be replicated and retained. In addition, there is a further garden proposed to the North of the farmhouse and the southern garden is already overlooked by number 100.

It is also noted that there is a window on the Western elevation of number 100 which faces the front elevation of the barn and falls short of 21m. However, the first floor windows at that point in the barn serve an en-suite and gallery landing. There would be indirect views from habitable rooms but overlooking would not be to an unreasonable degree or warrant refusal in this case.

In terms of the future residents of the barn, the internal spacing would exceed the requirements of the South Yorkshire Residential Design Guide and the external amenity areas would exceed the requirements of SPD 'Design of Housing Development'.

Northern Garage Proposal

The proposed garages/storage areas would replace existing outbuildings in that location. Although it is thought that the outbuildings had pitched roofs at some point, they currently do not. The proposed garages would be set away from the barn, farmhouse and dwellings to the South East and would be separated from the dwellings to the North by High Street. The side elevation would, however, be to the rear of a property fronting Summer View. The separation distance does fall short of 12m at 10.5m but the garage would have a relatively shallow pitched roof and be built on a lower level, the eaves height measured from the neighbouring garden would be 2.5m, in line with guidance. It would also be orientated to the East/North East, as such, it would not significantly increase overshadowing or be an overbearing feature, in accordance with Local Plan Policy GD1.

The proposed windows serving the storage/home office areas do not directly face existing habitable room windows or neighbouring private amenity spaces. The gable adjacent to rear amenity area serving the dwelling fronting Summer View is to be left blank.

The Listed Building

There are no extensions proposed to the Listed building. The alterations relate to changes to the internal layout, reinstatement of gable openings and the introduction of rooflights. The proposed alterations would not significantly alter the current situation and would maintain amenity levels for neighbouring residents as well as future residents of the dwelling, in accordance with Local Plan Policy GD1.

The retained external amenity space would exceed that set out in the SPD. It is acknowledged that the southern garden would be partially overlooked but that is discussed above.

Visual Amenity and Heritage Appraisal

The Archaeological Assessment and Building Appraisal states;

Malt Kiln Farm forms the single surviving post-medieval structure, which whilst subdivided into three properties retains legibility of its historic grain and planform. The surrounding plot represents a full width of one of the historic land divisions which have been lost elsewhere within this part of Royston, although its original length has been truncated. The relationship of the site with the street is primarily defined by the sandstone-built boundary wall situated at the pavement's edge. Whilst this wall most likely comprises the truncated fragments of the earlier maltings, it has been altered and retains limited legibility of its origin and now presents a rather prominent, austere boundary treatment.

The age of the buildings themselves are masked by later render, although their form and the quantity and arrangement of fenestration offers some indication of the early post-medieval origins. The poor condition of the buildings detracts from their contribution to the surrounding area, presently providing a run down, abandoned aspect within the streetscape. The landscaping surrounding the historic buildings, and the sheds (Building 3) to the north-west of

the house is also of low quality and further detracts from the potential contribution of the site to the wider area.

This application follows a pre-application submission in 2017 (2017/ENQ/00047) where the development potential of the outbuildings adjacent to the listed building was discussed. The site is well known to the Conservation Officer having discussed various proposals with several parties previously for the listed building and the wider site. The Conservation Officer has also previously attended site with Building Control colleagues (re. a dangerous structure) in relation to the rear / western wall of the outbuilding that backs onto the Summer View development.

This proposal seeks to demolish the long range to the west of the listed building which is in a poor state of repair and rebuild it along a similar and historic footprint. The proposal further seeks to erect a garage block to the north of the farmhouse up to 1.5 storeys on the footprint of an earlier building. To the listed building it is proposed to re-instate several original mullions and make some limited internal changes that are broadly cosmetic in nature. Externally, removal of the cement render is proposed, the roof covering is to be renewed (like for like minus bitumen) and other repairs including verge coping and renewal of rainwater goods.

The Western Barn

This existing structure is clearly in a very poor structural state. This was apparent during site visits and is also evidenced by the structural report. Looking at historic maps between 1850 and 1948, there is clear evidence of what was at one time a continuous range that has been altered and part demolished over at least 100 years. Whilst the extant structure clearly pre-dates 1850 and is considered in curtilage to the listed building it is accepted by the Conservation Officer that the structural failures justify substantial rebuilding or renewal.

Whilst the barn may have been contemporaneous (perhaps slightly later) with the farmhouse it is clearly of a lesser significance not being principally listed. The new proposal itself is proportionate and well designed for this setting. The minor increase in eaves and ridge height should be offset by the re-positioning away from Summer View and would not be intrusive.

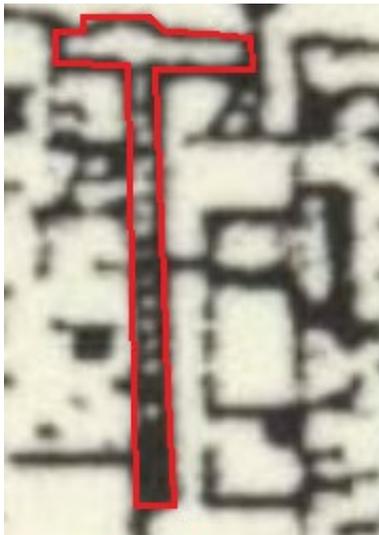
The overall form, scale, details and materials appear complimentary to the setting of the listed building. Initially the Conservation Officer raised concern with the amount of glazing used on the snug/ games room and living room as it was considered extensive. This was particularly the case on the eastern and northern elevations of this part of the building. However, this has since been revised and restrained in accordance with the Conservation Officers comments. Elsewhere details and materials are sympathetic with the original traditional agricultural character of the site.

The Northern Garage Proposal

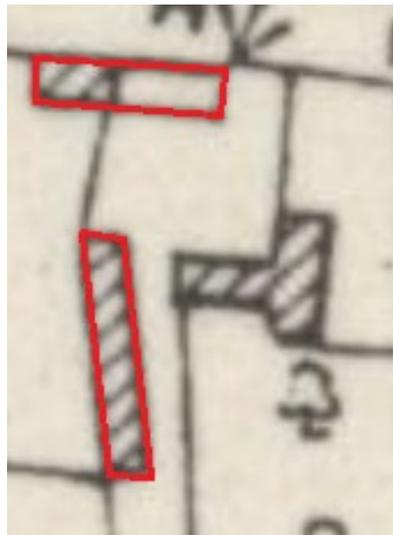
The existing structure is an open (south facing) structure that utilises walls of a pre-existing barn to the roadside and west. Looking at historic map evidence it is clear this was once the location of a substantial building that over time lost its roof and was part demolished to the structure we see today. It is highly likely this was a pitched roof structure and could have been at least as high (to the ridge) as the western range. As such, re-instating a building in this location has a reasonable historic precedent. Whilst such a building (the proposed garage) will change the setting as it appears today, for many years a building would have occupied this part of the site and so this is not unreasonable. It is also worth noting this application seeks no ancillary accommodation for the listed building itself which is a relatively small building. As such, a small amount of storage over the garage space does not seem excessive. Overall, the details and materials are simple and complimentary, and the Conservation Officer has raised no objections.

It is noted that guidance set out in SPD 'House Extensions and Other Domestic Alterations' states detached garages should have an eaves height not exceeding 2.5m and the garage

should not be located in between the house and the highway. The garages in this instance are located between the house and the highway, however, they are replacing existing buildings and there is historic records of buildings being in this location. The eaves facing into the site exceed 2.5m, however, they are 2.5m when viewed from Summer View and from Main Street, as such, the garages would not be over dominant when viewed from public vantage points. In additions, as outlined above, historic records and on site evidence point to buildings of a similar, or greater, height being in a similar location in the past.



1850



1948

The Listed Building

Many of the proposed changes are repairs or re-instatements of features lost over time. The roof is beyond repair due to the application of bitumen. The replacement of this with matching Westmorland slate laid in diminishing courses is welcomed. The existing window openings are original, but the mullioned bars have been removed which the proposal seeks to reverse. To the rear (south) the unsympathetic and later porch is to be removed, but perhaps the biggest change will be the removal of the white painted render coat.

This is apparently cementitious and was applied in the 1970 's according to the applicant (whose family owned the building at the time). Clearly, removing the render from number 104 only will result in something of a visual mismatch with 100 and 102. However, it is believed the stonework beneath appears sound and the Conservation Officer has stated cementitious render on a historic solid walled structure is not desirable. As such, the render removal is supported but it is advised (and will be conditioned) that if stonework is revealed that is in poor condition this will require either appropriate and careful repair or re-rendering with a lime render coat.

Internally at ground floor, changes relate to re-organisation to accommodate the kitchen, dining and utility spaces. At first floor the re-positioning of the corner stair well, Bed 1 and the bathroom to the southern side of the building will allow the introduction of an en-suite. Currently the rooms are subdivided by C20 studding of no historic significance. To the attic the only change involves the introduction of three conservation rooflights and the re-instatement of the original gable openings. Overall, the internal changes are justified and balanced by the re-instatement and repair works which will better reveal the significance of the building.

Given the comments above, the proposed works are justified and would maintain visual amenity and historical significance in accordance with Local Plan Policies D1 and HE1 as well

as requirements in the NPPF. The Conservation Officer has raised no objections to the proposal, following the outlined amendments, subject to conditions.

Highways

The existing access point from High Street would be retained. Both the Barn and the listed building would have access to dedicated parking spaces (1no. for the farmhouse and 2no. for the barn) in accordance with the requirements of SPD 'Parking'. Each property would also have access to a double garage. There is adequate space within the site for vehicles to enter and exit in a forward gear given the turning area proposed to the front of the garages.

Ecology

Given the presence of dilapidated and open buildings a bat report was submitted alongside the application. The summary of the findings are below;

There were no visible signs of bat presence on either the inside or outside of the surveyed buildings. The buildings display a low number and diversity of roost features and were assessed as offering a low level of roost potential.

In order to confidently determine the presence/absence of roosting bats, it is advised that a single nocturnal survey is undertaken on all buildings during the bat activity survey season (peak season: mid-May to August).

Following on from that report a bat activity survey was conducted in May 2021 which concluded;

There were no visible signs of bat presence on either the inside or outside of the surveyed buildings. Two buildings display a low number and diversity of roost features and were assessed as offering a low level of roost potential. No bats were seen to emerge from the buildings during the activity survey.

However, the survey went onto state;

No further survey effort is considered necessary, providing that works commence within 12 months of the nocturnal survey date. If works commence after this time, then Middleton Bell Ecology should be contacted to determine the requirement for an update survey.

Given the activity survey was conducted 12 months ago it is recommended a further survey take place prior to works commencing on site.

Coal Mining

The application is accompanied by a Coal Mining Risk Assessment given the site is in a High Risk area. The report author considers that currently it has not been possible to rule out the presence of shallow coal seams / workings (Royston and Sharlston Coal seams) beneath the site. Therefore, in order to mitigate the risk of land instability / mine gas, intrusive ground investigations / gas monitoring is required. As a general rule of thumb, if there is less than the standard 10 x rock cover to seam extraction ratio, this could affect the surface stability for the redevelopment of a site (CIRIA C758D Abandoned mine workings manual).

The findings of the site investigations should enable the applicant's technical consultants to design an appropriate mitigation strategy (ground stabilisation / gas protection measures etc) if deemed necessary, to ensure the safety and stability of the proposed development (NPPF paras. 178 and 179).

Given the above, the Coal Authority have not raised objections subject to a condition for further investigation works.

Summary

Considering the relevant development plan policies and other material considerations, it is not considered that there are any significant and demonstrable adverse impacts that would outweigh the benefits associated with the granting of planning permission for the revised scheme. The proposal therefore complies with the development plan as a whole, including policies HE1 'The Historic Environment', HE3 'Developments Affecting Historic Buildings', D1 'Design' and GD1 'General Development', and the advice in the NPPF.

As such the scheme is considered to accord with policies and guidelines and is recommended for approval accordingly.

Recommendation

Approve subject to conditions