



Integrated Planning and Heritage Statement

Barnsley College Church Street Campus, Barnsley

Revision B (15.12.2021)

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This Integrated Planning Statement has been prepared by Stem Architects Ltd on behalf of Barnsley College and accompanies a planning application for works to their existing Church Street campus building. This includes the renewal of the existing library and the provision of new learning and work spaces for students. The proposals will include the extension of an existing courtyard space to form an atrium extending onto the roof of the existing building. Other works include the remodelling of the main east entrance in order to improve accessibility and allow inclusive building entry for all, featuring a new platform lift and level threshold access; as well as a new ramped access to the south elevation of the building formed in revised stepped access using the existing gradient of the street.

The existing Church Street campus building is a large, attractive Art Deco style building completed in 1932 as the Barnsley Mining and Technical College. The building has been used for education purposes throughout its history and remains an important element within the street scape within the centre of Barnsley. The proposals aim to improve access and update the existing education facilities provided within the building, subsequently creating a progressive educational building fit for purpose for the needs of the college in the 21st Century.

This statement has been prepared to provide an assessment of the main planning issues raised by this application as well as to cover the key design principles and concepts applied to the proposed development. The planning issues considered include relevant planning policy, both locally and nationally within the National Planning Policy Framework (NPPF).

This statement should be read in conjunction with other documents prepared and submitted as part of the planning application.



Photograph of Barnsley College Church Street Campus from Church Street

2.1 Site Location & Context

The site is located within the town centre of Barnsley immediately to the north of the main shopping area within the town. The site comprises of the four storey former Barnsley College of Technology building which now forms part of Barnsley College as their Church Street campus. The site is bound on all sides by existing roads; St. Mary's Gate to the north, Church Street to the east, Sadler Gate to the south and St. Mary's Place to the west. It is located immediately adjacent to the north of Barnsley Town Hall and immediately adjacent to the south of St. Mary's Church. The site is located close to the A635 road which runs through the centre of Barnsley.

Other college buildings are located close to the site. Approximately 100 metres to the south west is Barnsley Sixth Form College, and approximately 150 metres to the north west is the Old Mill Lane campus of Barnsley College. The Church Street campus building is located within the Regent Street/Church Street/Market Hill conservation area which includes the neighbouring Town Hall and St. Mary's Church as well as other areas immediately to the east and south of the site. The site is within the administration area of Barnsley Borough Council.



Aerial map showing location of Barnsley College Church Street campus

2.2 Site Photographs



Photograph of Main Entrance from Church Street



Photograph of South Elevation from Sadler Gate



Photograph of Internal Courtyard from Above



Photograph of West Elevation from St Mary's Place

2.3 Site Context - St. Mary's Church & Churchfields

The area immediately to the north of the site includes the 15th Century Grade II* listed St. Mary's Church. Set within an established church yard with mature trees with neighbouring Churchfields Peace Gardens and Oaks Mining Memorial. Holistically an attractive green space within the centre of the town.

To the east of the church are various commercial properties along Church Street including 41-43 Church Street which is a 15th Century Grade II listed former hall. To the north of the church lies the A635 with further contemporary buildings opposite as part of Barnsley College Old Mill Lane campus.



Photograph of St. Mary's Church



Photograph of Churchfield Peach Gardens

2.4 Site Context - Barnsley Town Hall & Centenary Square

The area immediately to the south of the site includes the Grade II listed Barnsley Town Hall built in 1933. The Town Hall is in the Classical style built of Portland Stone and forms an important focal point within the urban context of Barnsley town centre with an impressive clock tower. It is surrounded by formal landscaped gardens including Centenary Square. Barnsley War Memorial is located directly outside of the Town Hall.

Surrounding the Town Hall are several listed buildings which face towards the building along Church Street and Shambles Street. Directly to the west of the Town Hall and Centenary Square is the contemporary Barnsley Sixth Form College which forms part of Barnsley College. The main shopping centre of Barnsley extends to the east and south.



Photograph of Barnsley Town Hall & Centenary Square



Photograph of Barnsley Sixth Form College



BIRD'S-EYE VIEW OF EXISTING BARNLSLEY COLLEGE CHURCH STREET CAMPUS BUILDING

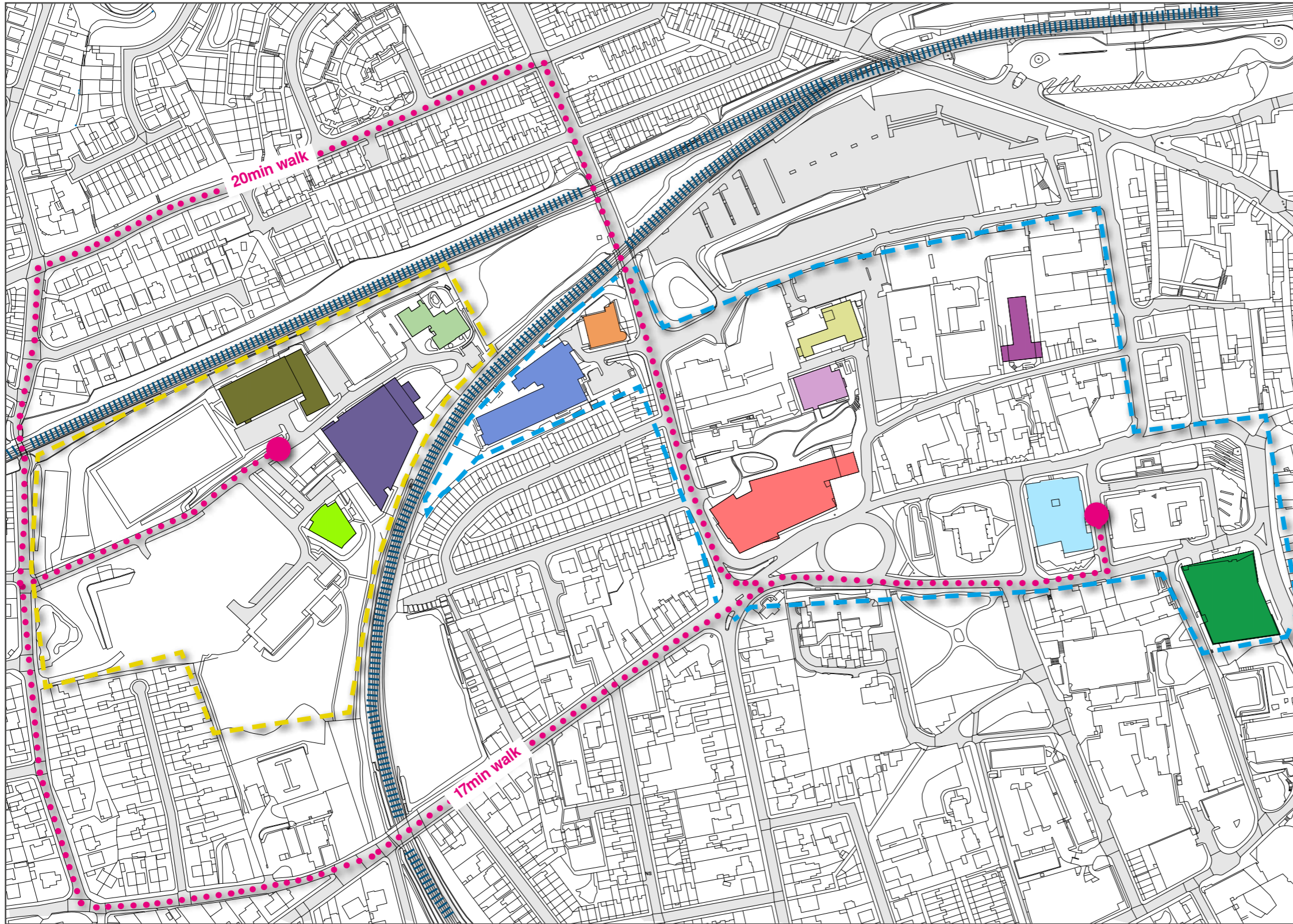


2.5 Site Context - Barnsley College

The area immediately to the south of the site includes the Grade 2 listed Barnsley Town Hall built in 1933. The Town Hall is in the Classical style built of Portland Stone and forms an important focal point within the urban context of Barnsley town centre with an impressive clock tower. It is surrounded by formal landscaped gardens including Centenary Square. Barnsley War Memorial is located directly outside of the Town Hall.

Surrounding the Town Hall are several listed buildings which face towards the building along Church Street and Shambles Street. Directly to the west of the Town Hall and Centenary Square is the contemporary Barnsley Sixth Form College which forms part of Barnsley College. The main shopping centre of Barnsley extends to the east and south.

Barnsley College is split into several buildings and campuses across the town which include several within the town centre in and around the location of the Church Street campus site. The Church Street campus is located between Barnsley Sixth Form College and the college's Old Mill Lane campus which forms the institution's main campus to the north east of Church Street. Several other campuses and buildings then lie to the north of this, with Park Lane campus located to the south of the town centre. The college therefore has quite a large and important presence particularly in this area of the town centre and the Church Street campus building is an important part of this establishing the college within the urban fabric at the heart of Barnsley.

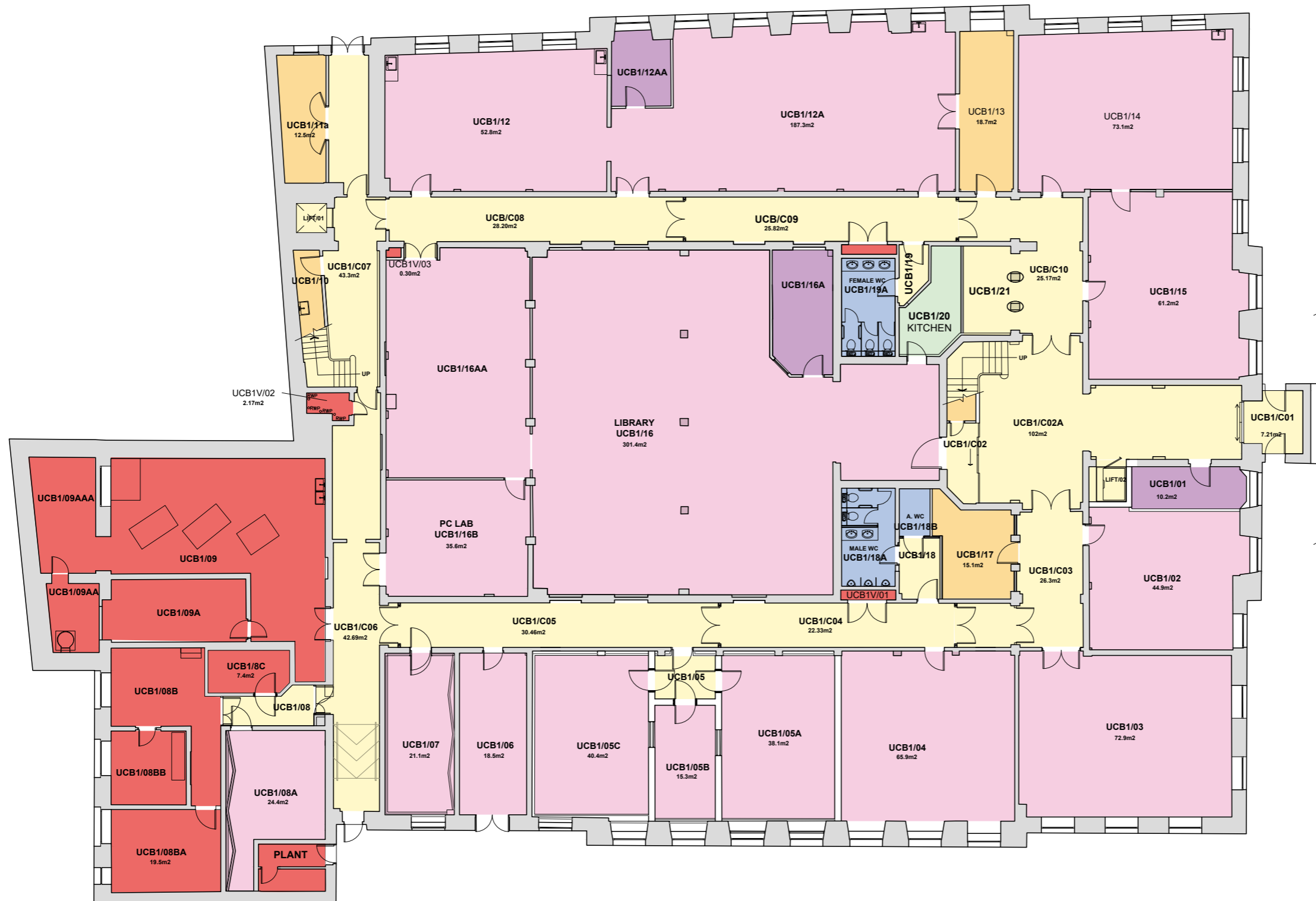


2.6 Site Connections

Diagram (left) showing how building links to the existing urban context and other Barnsley College Campus buildings around the site

EXISTING BARNSELY COLLEGE TOWN CENTRE MASTERPLAN

- | | |
|---|--|
| ■ = Old Mill Lane | ■ = STEM Centre |
| ■ = Church Street | ■ = MVT |
| ■ = SciTech Centre | ■ = Think Low Carbon |
| ■ = Electric Theatre | ■ = CUBE |
| ■ = Sixth Form Centre | ■ = Zest |
| ■ = Eastgate House | ■ = Sports Academy |

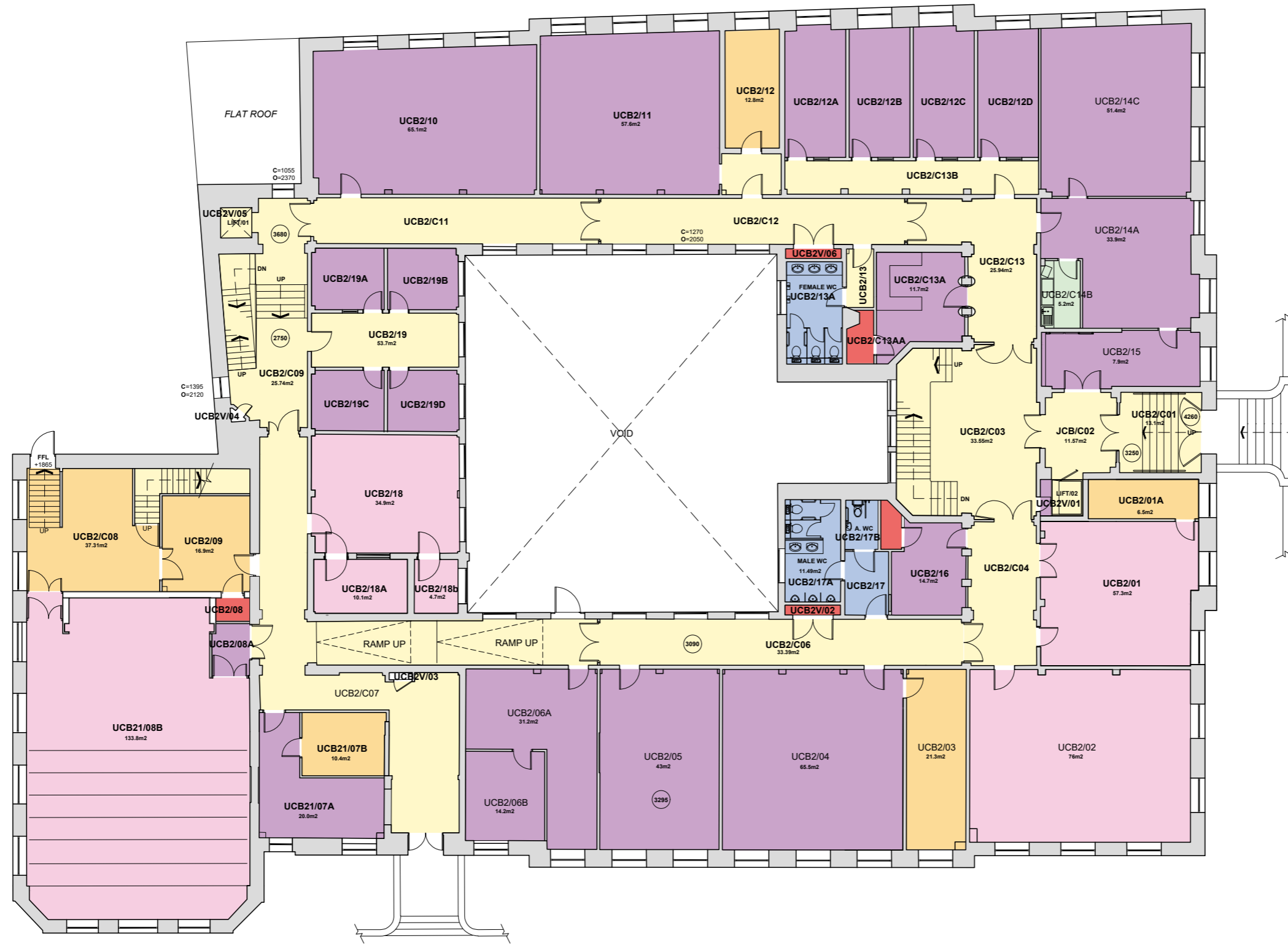


KEY
ACCOMMODATION TYPOLOGY

- = Classroom / Teaching Space
- = Staff Offices / Operational
- = Canteen / Kitchen
- = WCs
- = Circulation
- = Store / Ancillary
- = Plant / Services



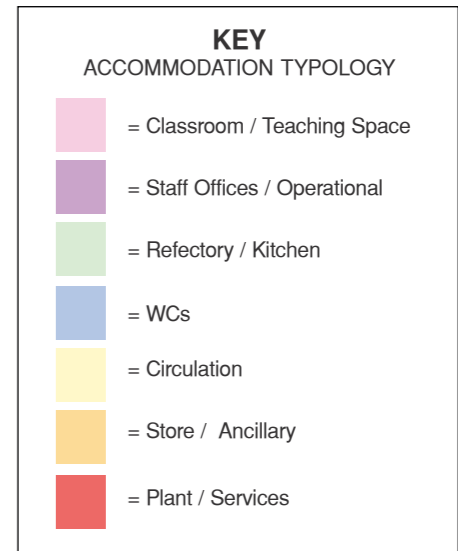
EXISTING FLOOR PLAN - LEVEL 01



KEY	
ACCOMMODATION TYPOLOGY	
	= Classroom / Teaching Space
	= Staff Offices / Operational
	= Refectory / Kitchen
	= WCs
	= Circulation
	= Store / Ancillary
	= Plant / Services



EXISTING FLOOR PLAN - LEVEL 02



EXISTING FLOOR PLAN - LEVEL 03



KEY
ACCOMMODATION TYPOLOGY

	= Classroom / Teaching Space
	= Staff Offices / Operational
	= Refectory / Kitchen
	= WCs
	= Circulation
	= Store / Ancillary
	= Plant / Services



EXISTING FLOOR PLAN - LEVEL 04



EXISTING FRONT EAST ELEVATION



EXISTING SIDE SOUTH ELEVATION



EXISTING REAR WEST ELEVATION



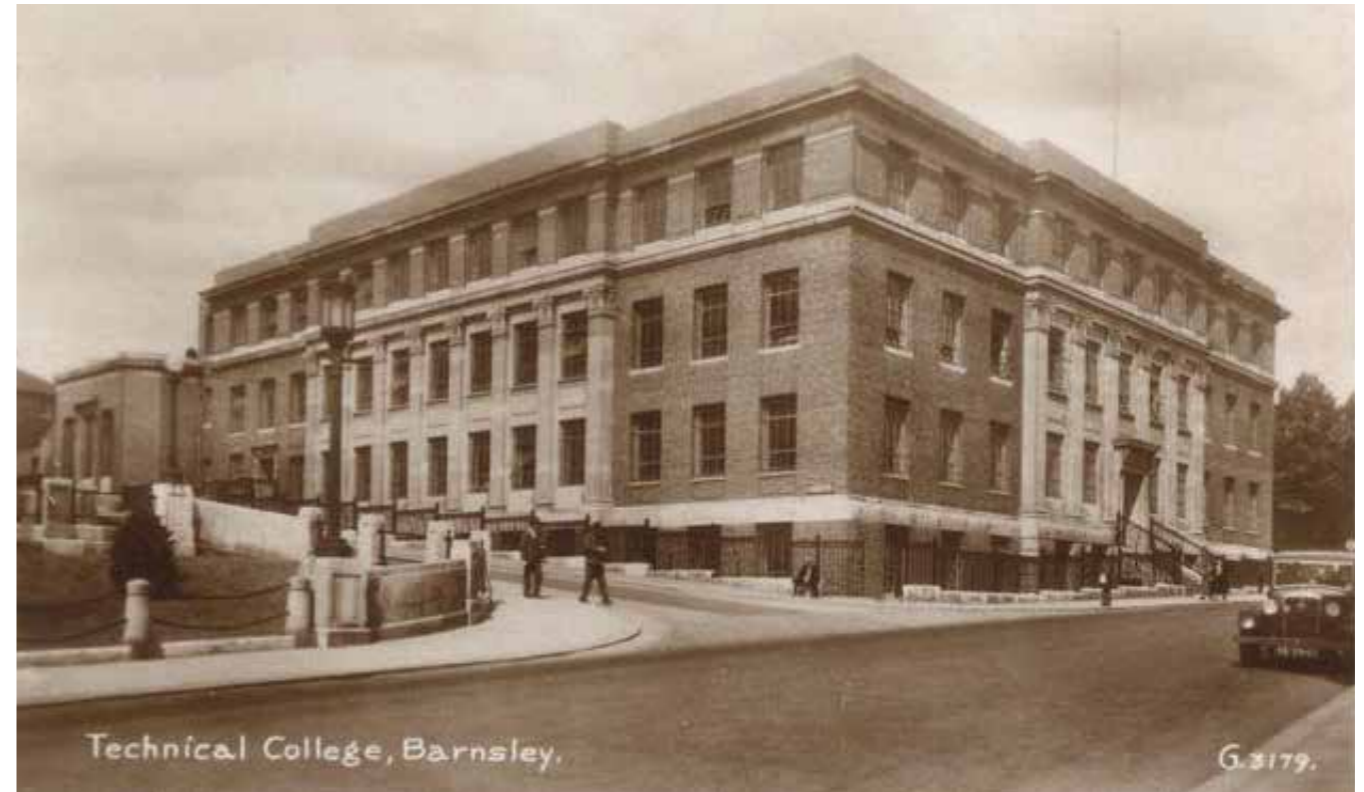
EXISTING SIDE NORTH ELEVATION

3.1 Building History

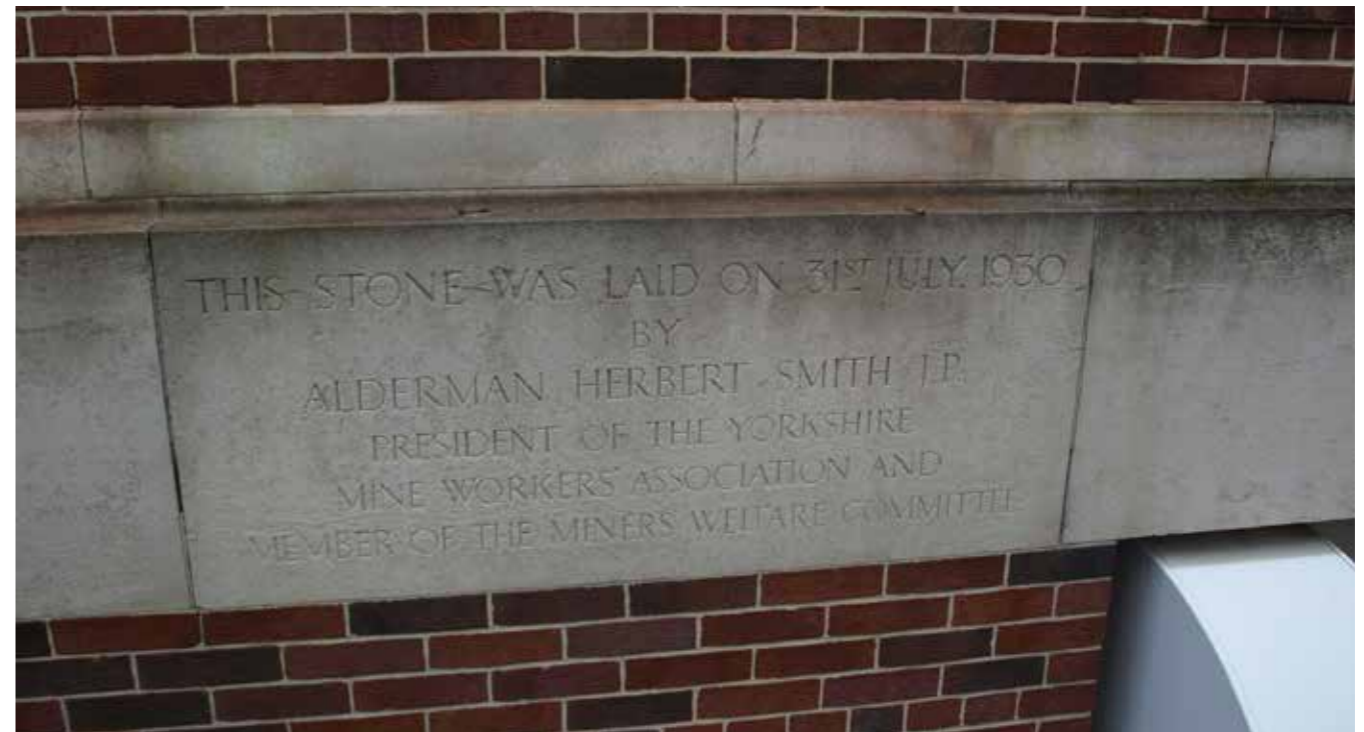
Barnsley historically has a long established mining industry and as mining became more regulated and professional a need for formal education within the industry became essential. Construction began to the north of the Town Hall on a new educational facility in 1930 and was completed in 1932, opening as the Barnsley Mining and Technical College. As can be seen in the adjacent photograph from the 1930s, the outside facade of the building has remained broadly intact in it's original Art Deco vernacular.

This eventually expanded to include buildings on the Old Mill Lane campus in the 1950s to form the Barnsley College of Technology. As coal mining became less prevalent over the years the building at Church Street has been adapted to focus on more general education as part of Barnsley College's curriculum. Over the years other buildings and campus have been included amalgamating the other colleges and education facilities including Barnsley Sixth Form College to form Barnsley College as it is today.

Prior to the construction of the Barnsley Mining and Technical College there was a former manor house and gardens on the site; along with the former Barnsley Town Hall to the west of the site along St. Mary's Place. Not much is known about these buildings but were presumably demolished to make way for the new college building. Further to the demolition of the existing Town Hall, in 1932 the current Barnsley Town Hall began construction, being completed to the south of the college building in 1933. A large area of existing smaller buildings were demolished along Church Street to make way for the development of the area.



Photograph of Barnsley Technical College c. 1930s



Photograph of Ceremonial Cornerstone to Church Street campus building

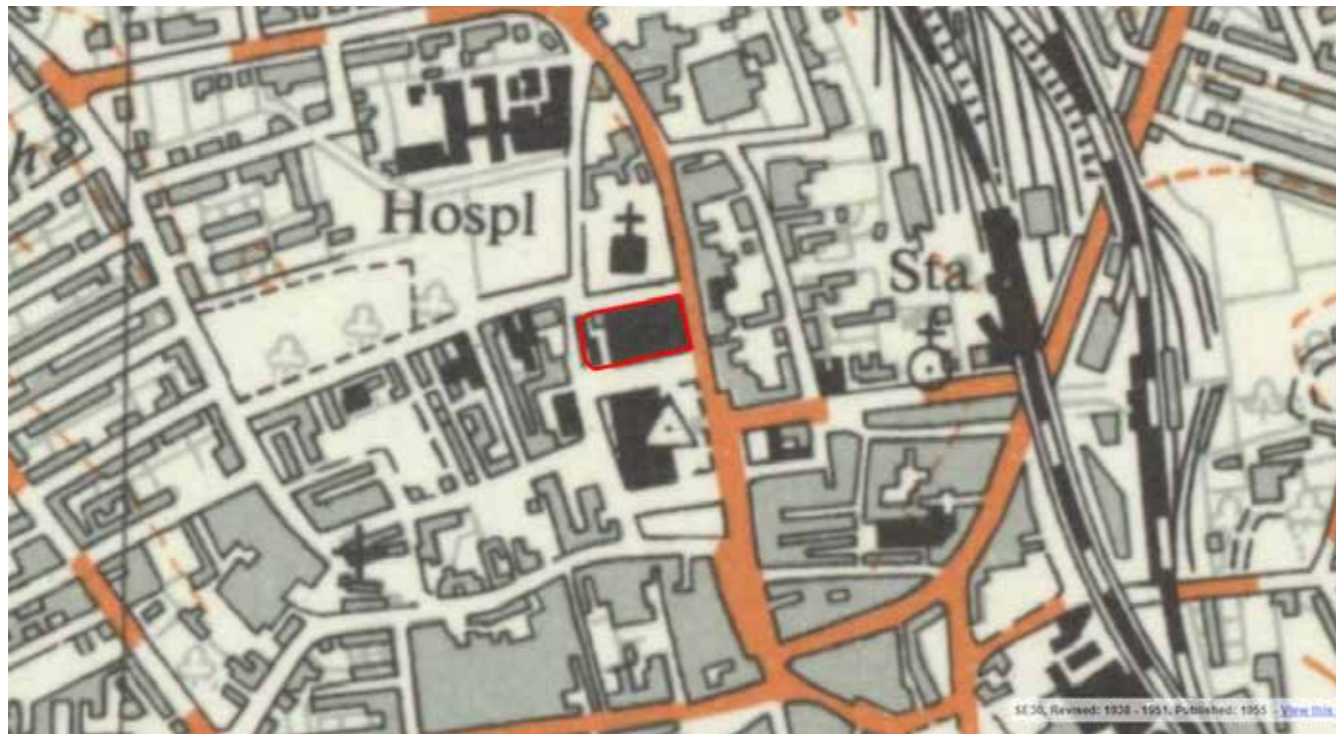
3.2 Historical Maps



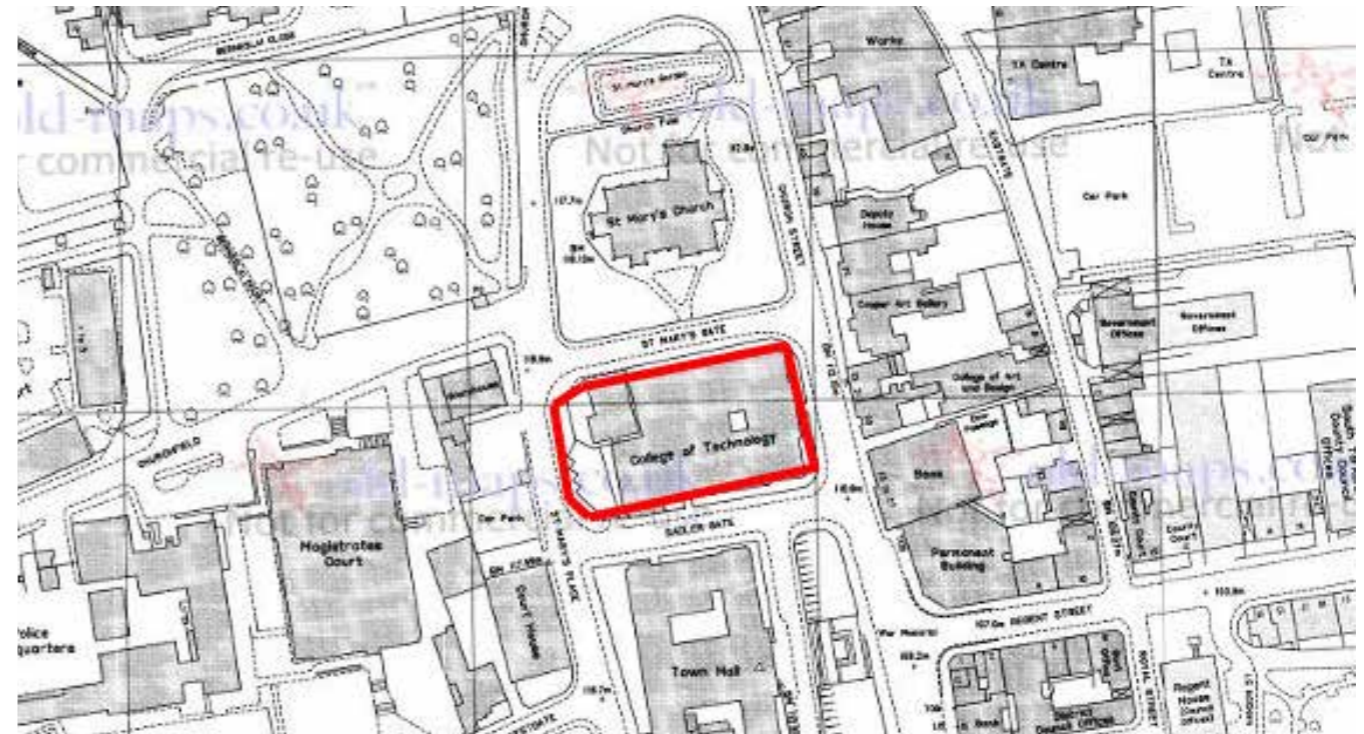
Extract from 1888-1913 OS map



Extract from 1892-1914 OS map



Extract from 1937-1961 OS map



Extract from 1983-1984 OS map

3.3 Conservation Area

The Church Street campus building is located within the Regent Street/Church Street/Market Hill conservation area defined by Barnsley Borough Council. As the extract included here, the western extent of the conservation area boundary extends along a north-south axis along Church Lane and runs past the western side of the Church Street campus building. It extends up to the A635 and down past the Town Hall to Peel Square and then includes a large proportion of the town centre to the east including Church Street, Market Hill, Regent Street, Eastgate, Royal Street, Hanson Street and George Yard.

The conservation area also includes several listed buildings highlighted in the extract in red. This includes several within a 100 metre radius of the proposed site as follows:

Grade II* Listed

Barnsley War Memorial - **Entry No: 1151144**

Church of St Mary - **Entry No: 1315008**

Grade II Listed

23 Church Street - **Entry No: 1315006**

41-43 Church Street, Barnsley - **Entry No: 1435194**

Cass's Warehouse - **Entry No: 1151124**

Former carriage house to Cass's Warehouse - **Entry No: 1286819**

Gatepiers and walls to church yard of Church of St Mary - **Entry No: 1151145**

K6 telephone kiosk outside numbers 19-21 (Barnsley Building Society) - **Entry No: 1151131**

Piers and railings to front of Town Hall including steps - **Entry No: 1315007**

Town Hall including attached railings - **Entry No: 1151143**

Barnsley Borough Council supports some controlled change within conservation areas and it is not the intention of the conservation area to preserve buildings. The conservation area promotes the viable use of buildings whilst retaining and maintaining buildings which contribute to the character of the area. Whilst not listed, the Church Street campus building is a prominent and attractive historic building within the conservation area and is therefore an important attribute to the conservation area. Proposals which aim to encourage and improve the viability of the building and maintaining its original use whilst limiting the impact on the surrounding context and historic assets should be encouraged.



Extract from Regent Street/Church Street/Market Hill conservation area map

Planning History

The building has been subject to several alteration and building works over the lifespan of the building. Below are listed historic planning applications for works to the building with the earliest being in 1980 (earlier planning records are not available on the Barnsley Borough Council Planning Explorer):

Erection of temporary classroom

Ref: B/80/0048/BA | Decision Unknown

Display of non-illuminated signs

Ref: B/98/1036/BA/AD | Approved

Display of four illuminated wall mounted signs

Ref: 2008/0180 | Approved with Conditions

Installation of an external wood extraction system for an existing wood working workshop

Ref: 2008/0700 | Approved with Conditions

Display of non-illuminated wall-mounted banner and one pole-mounted banner sign

Ref: 2008/1478 | Approved with Conditions

5.1 National Planning Policy Framework

It is a legal requirement that decisions on planning applications must follow the policies set out in the adopted development plan, unless other material considerations indicate that a different decision should be made. The above principle was set out in Section 54A of the Town & Country Planning Act 1990 and subsequently taken forward through Section 38 (6) of the Planning and Compulsory Purchase Act 2004 (which amends and supplements the 1990 Act).

In this instance the local adopted development plan is the Barnsley Borough Council Local Plan, with the implications of policies within this plan explored below. First however, it is useful to consider the national policy context which sets out the overarching planning policies and guidance on the delivery of sustainable development through the planning system.

The Government published the NPPF on 27th March 2012 which sets out the overarching policy priorities for the planning system, against which local plans will be prepared and decisions made on planning applications. The purpose of the planning system, as recognised by the NPPF, is to “...contribute to the achievement of sustainable development” (Para 6). The framework replaces most of the Planning Policy Statements (including PPS1 and PPS4).

A presumption in favour of sustainable development embodies the NPPF, being seen as “...a golden thread running through both plan-making and decision making” (Para 14). The NPPF confirms that development proposals, which accord with the development plan, should be approved without delay. Where the plan is absent, silent or relevant policies are out-of-date; permission should be granted unless any adverse impacts would outweigh the benefits or specific policies within the Framework indicates that developments should be restricted.

Two of the key elements for delivering sustainable development are building a strong, competitive economy and ensuring the vitality of town centres. Para 18 states that the Government is committed to securing economic growth in order to create jobs and prosperity, building on the country’s inherent strengths, and to meeting the twin challenges of global competition and of a low carbon future.

Para 56 states that the Government attaches great importance to high quality design since this is a key aspect of sustainable development. Decisions should aim to ensure that developments are high quality and achieve the following (Para 58):

- Function well and add to the overall quality of an area;
- Establish a strong sense of place;
- Optimise the potential of the site to accommodate development;
- Respond to local character and reflect the identity of local surroundings;
- Create safe and accessible environments; and
- Are visually attractive with good architecture and landscaping.

Para 92 of the NPPF suggests that planning policies and decisions should “...plan positively for the provision of... local services to enhance the sustainability of communities and residential environments”. This ties into the viability of town centres and ensuring that they prosper and continue to provide the services the community requires to develop skills in young people.

Para 193 of the NPPF details how Local Authorities should consider the impact of proposed development on the significance of designated heritage assets. Great weight should be given to the conservation of assets. Para 196 details that when “...proposals will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, securing its optimum viable use”. A Heritage Impact Statement (HIS) will be provided as part of this planning application in line with the requirements of the NPPF.

5.2 Barnsley Local Plan

The Barnsley Borough Council Local Plan was adopted in January 2019 and replaced the Barnsley Borough Council Core Strategy and Unitary Development Plan. The plan is now the main relevant planning policy document for Barnsley and the surrounding borough.

As part of the design process we have reviewed the proposals against the above document and consider that the main policy relevant to the proposals are as follows:

- Policy SD1: Presumption in Favour of Sustainable Development
- Policy GD1: General Development
- Policy LG2: The Location of Growth
- Policy E1: Providing Strategic Employment Locations
- Policy E4: Protecting Existing Employment Land
- Policy D1: High Quality Design and Place Making
- Policy HE1: The Historic Environment
- Policy HE3: Developments affecting Historic Buildings
- Policy TC1: Town Centres
- Policy BTC5: Landmark Buildings
- Policy BTC6: Building Heights
- Policy BTC19: Market Hill District
- Policy CC1: Climate Change
- Policy CC2: Sustainable Design and Construction
- Policy RE1: Low Carbon and Renewable Energy
- Policy I2: Educational and Community Facilities

Policy SD1: A Presumption in Favour of Sustainable Development

This policy reiterates the overarching policy priority within the NPPF of delivering sustainable development and refers to development being required to improve economic, social and environmental conditions. The proposals will extend and improve education facilities within an existing building in the centre of Barnsley. It creates the opportunity to improve the viability of the building and ultimately social and cultural opportunities to young people in Barnsley. The existing building is sustainably located in the centre of the town and will potentially serve to ultimately increase job opportunities as well as developing skills in young people. The proposals will give an opportunity to improve sustainability aspects of the existing building.

Policy GD1: General Development

This policy sets out general policy for the approval of development proposals. This includes whether proposals are compatible with neighbouring land uses, whether they will adversely impact on future potential development and the existing environment; as well as providing adequate access and landscaping to ensure assimilation with surrounding context. Broadly speaking the fact that the proposals comprise alterations and extension to an existing building already within an appropriate context suggests that the general principle of these proposals would be acceptable under this policy.

Policy LG2: The Location of Growth

The priority of locations for development is defined within this policy with the urban core of Barnsley being at the top of this hierarchy accommodating a significant amount of growth in the area.

Policy E1: Providing Strategic Employment Locations

This policy primarily relates to the allocation of employment land in sustainable locations. Whilst this does not directly relate to the proposals the policy encourages Barnsley town centre as the focus for employment in new technologies such as that being provided within the proposed scheme.

Policy E4: Protecting Existing Employment Land

In this policy, it suggests that premises currently used for employment purposes should be retained in order to safeguard existing or potential jobs. The proposals aim to improve resources within the Church Street campus building, thus improving the viability of the building to serve Barnsley College in the 21st Century and retaining the building for education and educational employment purposes.

Policy D1: High Quality Design and Place Making

This policy is concerned with ensuring that proposals reflect a high quality design and generally respect local character. This includes protecting views to important buildings and landmarks and considering heritage and townscape character. It also includes contributing to place making by complimenting and enhancing existing context, making proposals accessible and inclusive, using high quality materials and good architectural quality. The proposed design is discussed in more detail in later sections; however the protection of important elements of the surrounding context is vitally important. By including the majority of the proposed additional space within an existing central courtyard space, the surrounding context including the conservation area, listed buildings and views to important buildings to buildings such as the Town Hall are maintained and remain unaffected. Development to the roof of the existing building will be minimal and less impactful from the street side than other options to create additional space. High quality design and materials is proposed in line with the attractive Art Deco style of the existing building.

Policy HE1: The Historic Environment

Protection of the historic environment is key to this policy, encouraging development which conserves the historic environment and enhances historic context including the surrounding conservation area and listed heritage assets. The sensitive expansion of the existing building will aid in sustaining the use of the building for its original intended purpose and conserving the historic context of the area.

Policy HE3: Developments affecting Historic Buildings

Whilst the Church Street campus building is not itself listed, its history and impressive facade are clearly an attribute to the surrounding context and the conservation area. This policy seeks to conserve the building's significance when alterations or additions are proposed by respecting existing precedence; the sensitive nature of the proposals aims to do this and maintain the integrity of the building within its context.

Policy TC1: Town Centres

This policy encourages new town centre development towards the centre of Barnsley maintaining and enhancing the vitality and viability of the town. The improvements to the building will aid in maintaining the viability of educational services within the town centre.

Policy BTC5: Landmark Buildings

This policy protects the setting of landmark buildings within Barnsley including Barnsley Town Hall, St. Mary's Church, Barnsley College and Barnsley Sixth Form College. Through the use of sensitive design, it is considered that views will be protected and retained towards these buildings.

Policy CC1: Climate Change

This policy seeks to reduce the causes and impacts of climate change. Preferences towards previously developed land, the reduction of emissions and the delivery of renewable energy. The proposals will prevent the need for college resources to be allocated elsewhere and maintain and improve the efficiency of an existing building.

Policy CC2: Sustainable Design and Construction

Further to Policy CC1, this policy encourages sustainability standards on non-residential development where technically feasible.

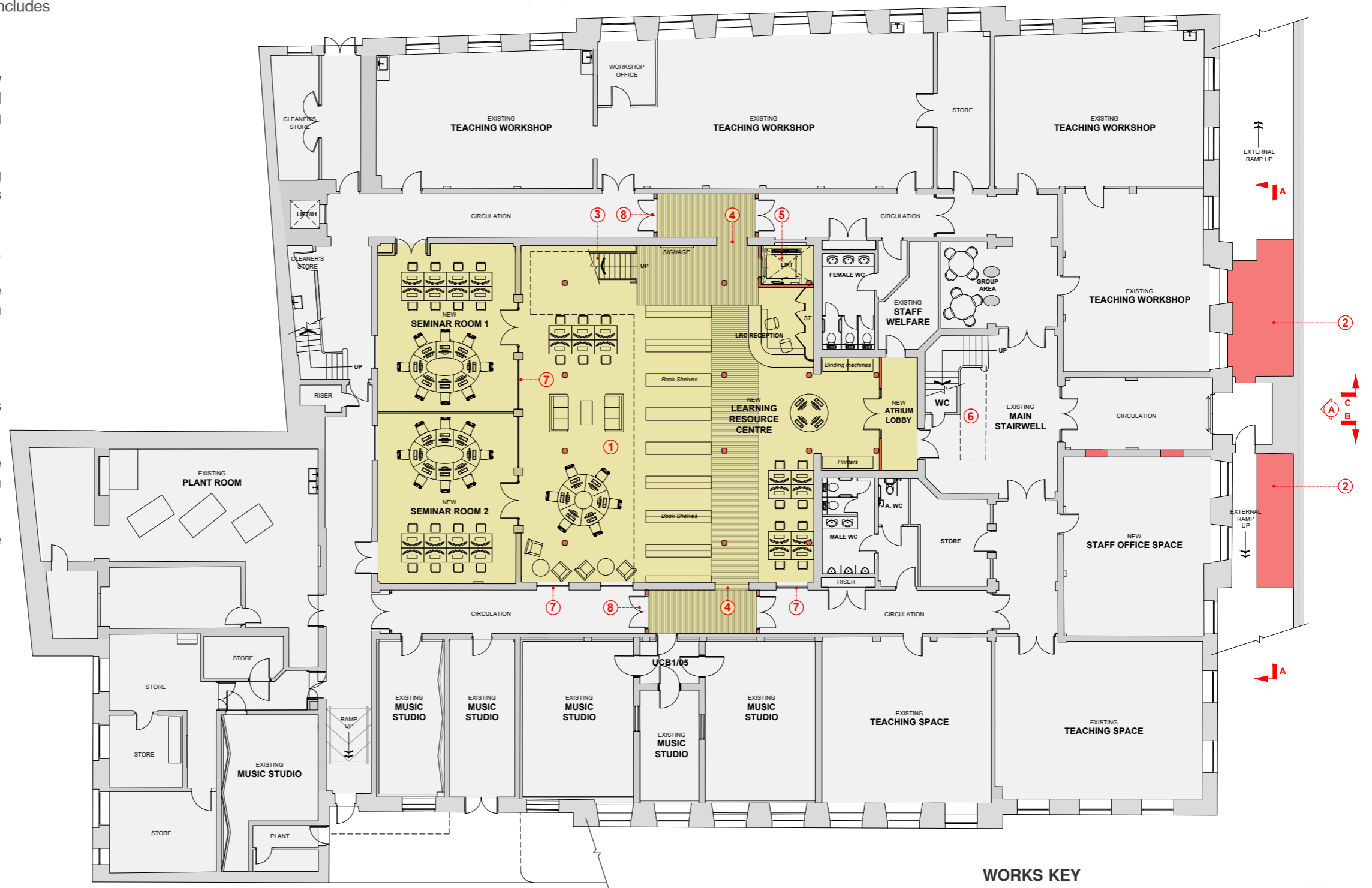
Policy I2: Educational and Community Facilities

This policy supports the provision of the development of schools, educational facilities and other community facilities including the existing and proposed use of the building. It also suggests that this provision should be centrally located close to the communities they serve. The upgrading of existing facilities within the Church Street campus building will ensure that the provision of college educational facilities in the town centre into the future, rather than consideration of alternative suitable premises to run these facilities.

6.1 Proposed Floor Plans

The design of the proposed concept plan arrangement includes the following key points:

1. Existing library roof structure to be removed. New tiered floors to be installed within existing central light-well atrium, forming new atrium featuring multi-levelled Learning Resource Centre (LRC).
2. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
3. New staircase within atrium, feat. glass balustrades.
4. Existing former windows to be opened cills to be lowered to form new access entranceway to atrium LRC from existing adjacent circulation corridors.
5. New primary lift shaft within atrium.
6. Existing staircase and adjacent stained glass window to be retained.
7. Existing formerly blocked-up openings to be reinstated, featuring fire rated glazed screen partitions.
8. New fire doors to be installed to provide fire compartmentation as per AD Part B requirements.



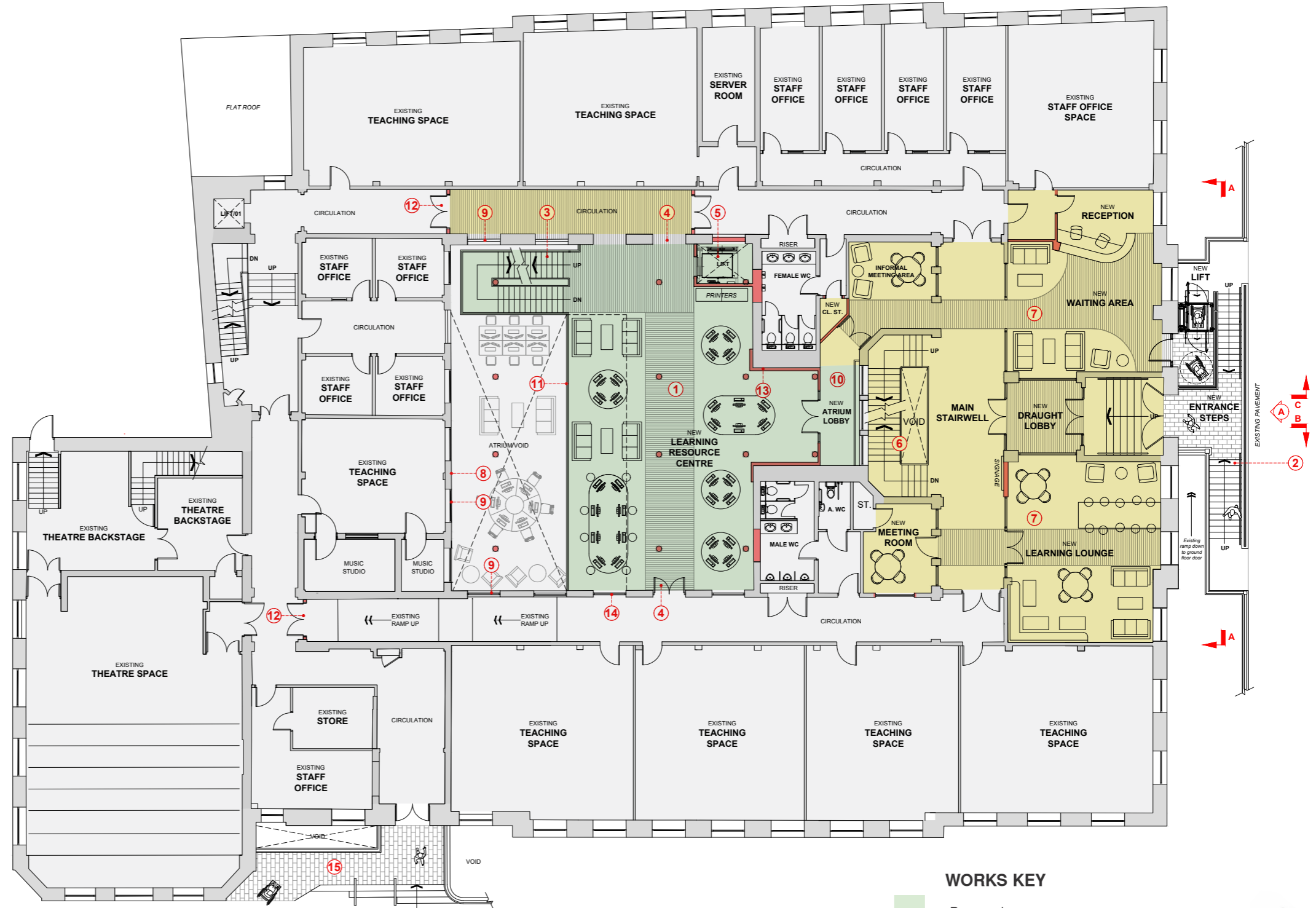
PROPOSED FLOOR PLAN LEVEL 01

WORKS KEY

- = Proposed new areas
- = Existing refurbished areas
- = Existing areas to be retained

The design of the proposed concept plan arrangement includes the following key points:

1. Existing library roof structure to be removed. New tiered floors to be installed within existing central light-well atrium, forming new atrium featuring multi-leveled Learning Resource Centre (LRC).
2. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
3. New staircase within atrium, feat. glass balustrade.
4. Existing window cills to be lowered to form new access entranceway to atrium LRC from existing adjacent circulation corridors.
5. New primary lift shaft within atrium.
6. Existing staircase and adjacent stained glass window to be retained.
7. Existing internal stud partitions removed, alterations and refurbishment to create new semi-open Reception area and Learning Lounge.
8. Existing buff brickwork to be cleaned and remain exposed internally.
9. Existing window units to new atrium to be replaced.
10. New fire lobby to be created to provide compartmentation between mezzanine floor levels.
11. Glazed balustrades to new atrium mezzanine floor.
12. New fire doors to be installed to provide fire compartmentation as per AD Part B requirements.
13. New internal stud walls to encase existing RWP and SVP.
14. Existing window cill to be lowered to floor level, featuring new fire rated glazed screen partitions.
15. Existing south entrance steps to be altered and extended to allow inclusive access into the building, featuring limestone treads and black metal handrails/balustrades.



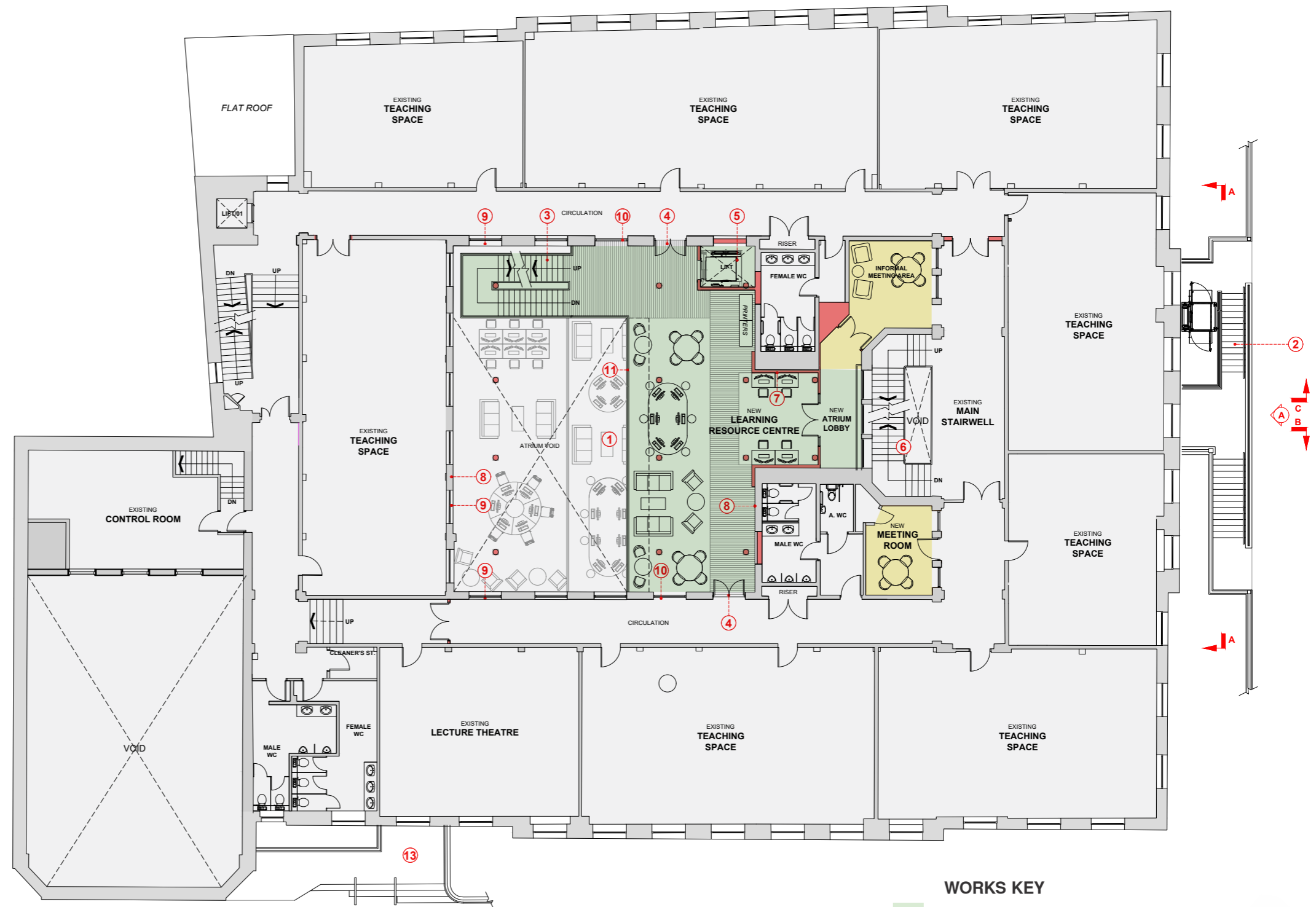
PROPOSED FLOOR PLAN LEVEL 02

WORKS KEY

- = Proposed new areas
- = Existing refurbished areas
- = Existing areas to be retained

The design of the proposed concept plan arrangement includes the following key points:

1. Existing library roof structure to be removed. New tiered floors to be installed within existing central light-well atrium, forming new atrium featuring multi-levelled Learning Resource Centre (LRC).
2. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
3. New staircase within atrium, feat. glass balustrade.
4. Existing window cills to be lowered to form new access entranceway to atrium LRC from existing adjacent circulation corridors.
5. New primary lift shaft within atrium.
6. Existing staircase and adjacent stained glass window to be retained.
7. New internal stud walls to encase existing RWP and SVP.
8. Existing buff brickwork to be cleaned and remain exposed internally.
9. Existing internal windows to teaching spaces to be replaced.
10. Existing window cill to be lowered to floor level, featuring new fire rated glazed screen partitions.
11. Glazed balustrades to new atrium floors.
12. New fire doors to be installed to provide fire compartmentation as per AD Part B requirements.
13. Existing south entrance steps to be altered and extended to allow inclusive access into the building, featuring limestone treads and black metal handrails/balustrades.



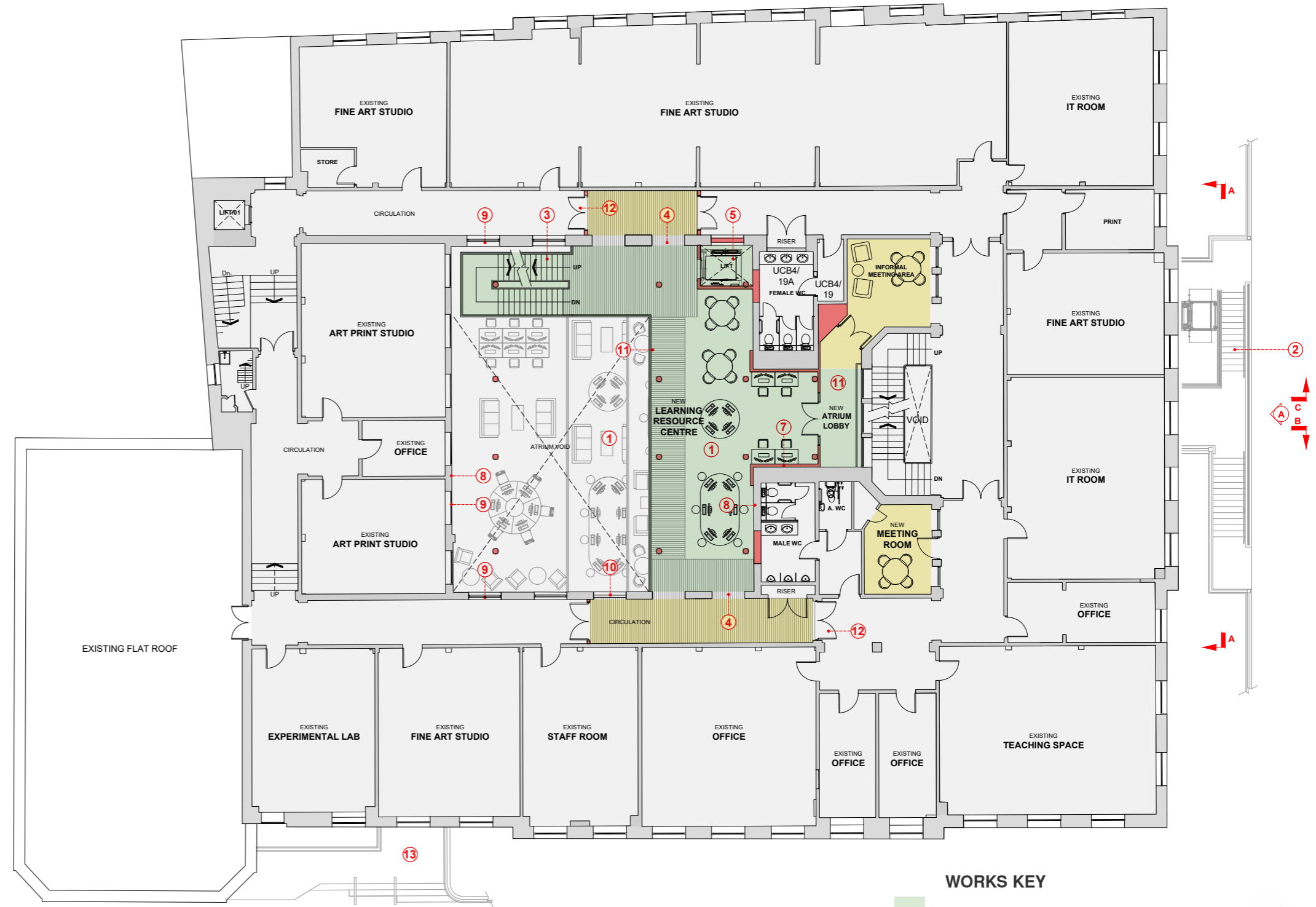
PROPOSED FLOOR PLAN LEVEL 03

WORKS KEY

- = Proposed new areas
- = Existing refurbished areas
- = Existing areas to be retained

The design of the proposed concept plan arrangement includes the following key points:

1. Existing library roof structure to be removed. New tiered floors to be installed within existing central light-well atrium, forming new atrium featuring multi-levelled Learning Resource Centre (LRC).
2. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
3. New staircase within atrium, feat. glass balustrade.
4. Existing window cills to be lowered to form new access entranceway to atrium LRC from existing adjacent circulation corridors.
5. New primary lift shaft within atrium.
6. Existing staircase and adjacent stained glass window to be retained.
7. New internal stud walls to encase existing RWP and SVP.
8. Existing buff brickwork to be cleaned and remain exposed internally.
9. Existing internal windows to teaching spaces to be replaced.
10. Glazed balustrades to new atrium floors.
11. New fire lobby to be created to provide compartmentation between mezzanine floor levels.
12. New fire doors to be installed to provide fire compartmentation as per AD Part B requirements.
13. Existing south entrance steps to be altered and extended to allow inclusive access into the building, featuring limestone treads and black metal handrails/balustrades.



PROPOSED FLOOR PLAN LEVEL 04

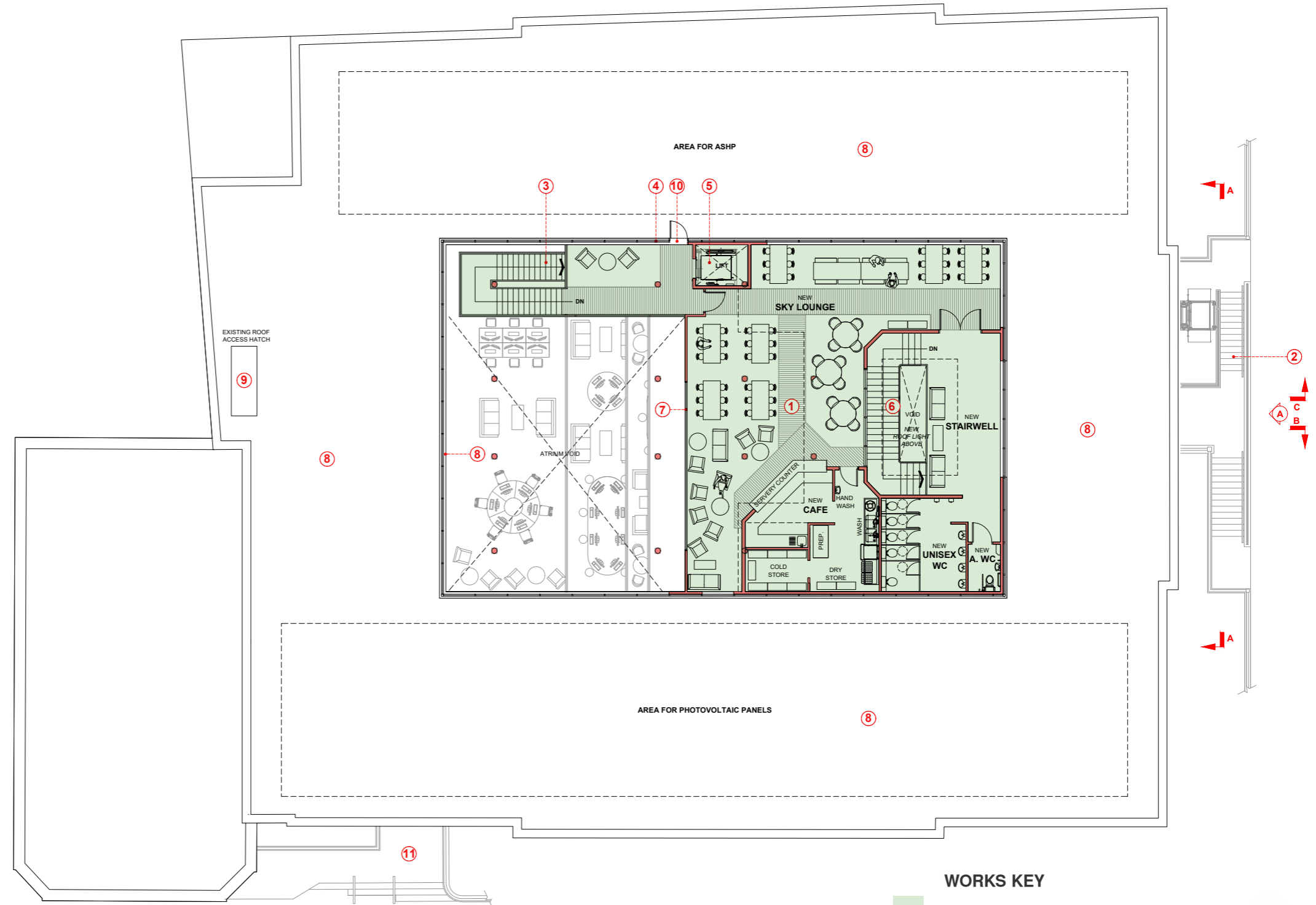
WORKS KEY

- = Proposed new areas
- = Existing refurbished areas
- = Existing areas to be retained



The design of the proposed concept plan arrangement includes the following key points:

1. New additional floor level to be created within atrium, featuring new Sky Lounge seated social space.
2. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
3. New staircase within atrium, feat. glass balustrades.
4. New walls of upper roof level floor extension to feature glazed spandrels/clear glass panels.
5. New primary lift shaft within atrium.
6. New additional floor level to be created at roof level. New section of staircase to contrast original Art-Deco stair below. Rooflight to new roof above, providing natural light to flood down main stair well and illuminate existing stained glass windows.
7. Glazed full-height fire rated glazed partition wall, featuring vinyl graphics.
8. Existing defective flat roof coverings to be replaced complete, featuring single-ply membrane/minerl felt coverings.
9. Existing roof access maintenance door to be retained.
10. Additional new roof access maintenance door.
11. Existing south entrance steps to be altered and extended to allow inclusive access into the building, featuring limestone treads and black metal handrails/balustrades.



PROPOSED FLOOR PLAN LEVEL 05

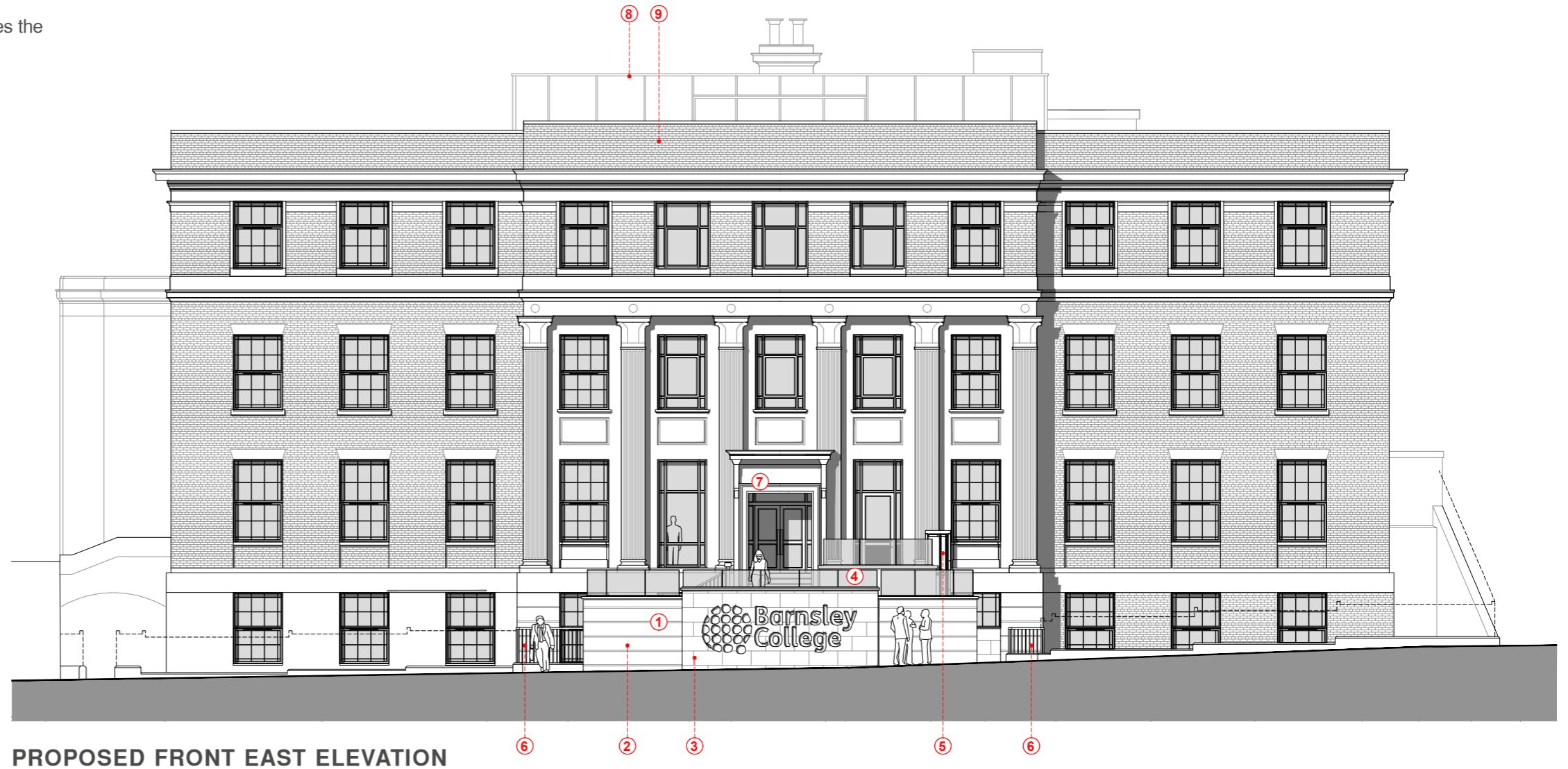
WORKS KEY

- = Proposed new areas
- = Existing refurbished areas
- = Existing areas to be retained

6.2 Proposed Elevations

The design of the proposed elevation arrangement includes the following key points:

1. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
2. New wall featuring stucco plain banded render, colour limestone to match existing building.
3. Coursed smooth dressed limestone ashlar wall, featuring Barnsley College logo carved to face of stonework.
4. Capless base-clamped glass balustrade guarding/balustrade.
5. Platform lift installed, providing level access at building main entrance.
6. Metal guard railing, colour black.
7. Existing stone architrave and pediment to main entrance doorway to be retained.
8. New walls of upper roof level floor extension to feature glazed spandrel/clear glass panels.
9. Existing brickwork walls and stonework to be retained.

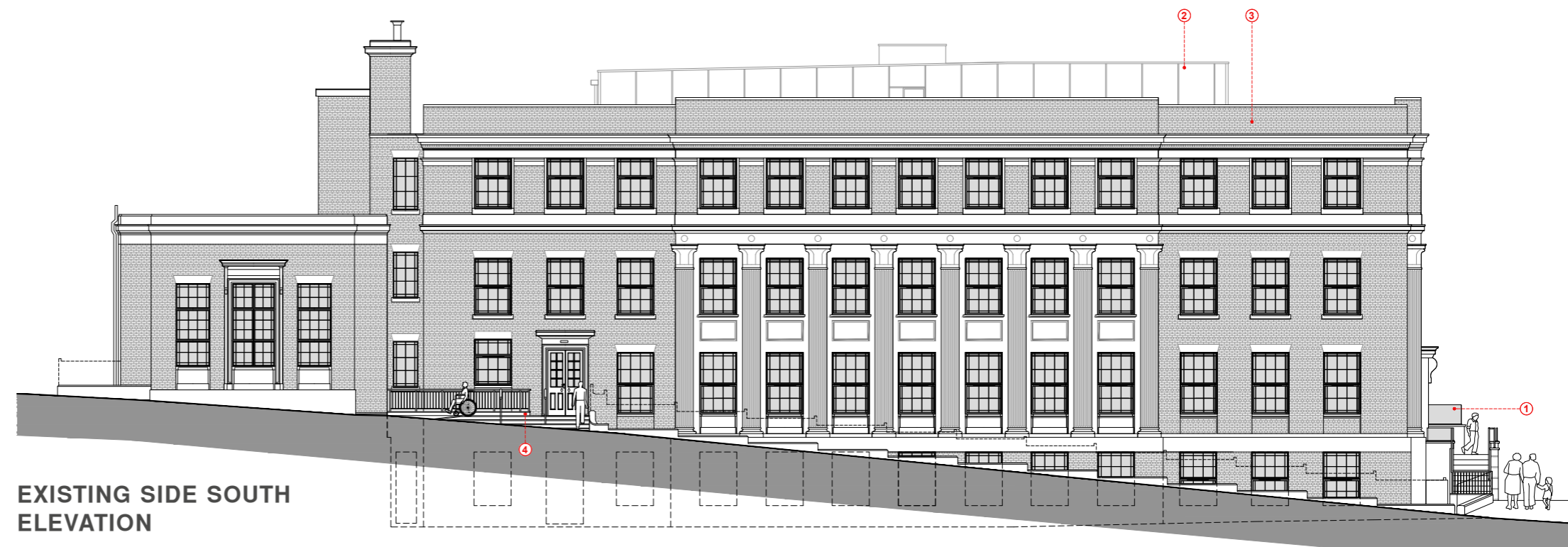


The design of the proposed elevation arrangement includes the following key points:

1. New entrance steps and platform lift to existing primary west entrance, providing inclusive access into the building.
2. New walls of upper roof level floor extension to feature glazed spandrel/clear glass panels.
3. Existing brickwork walls and stonework to be retained.
4. Existing south entrance steps to be altered and extended to allow inclusive access into the building, featuring limestone treads and black metal handrails/balustrades.



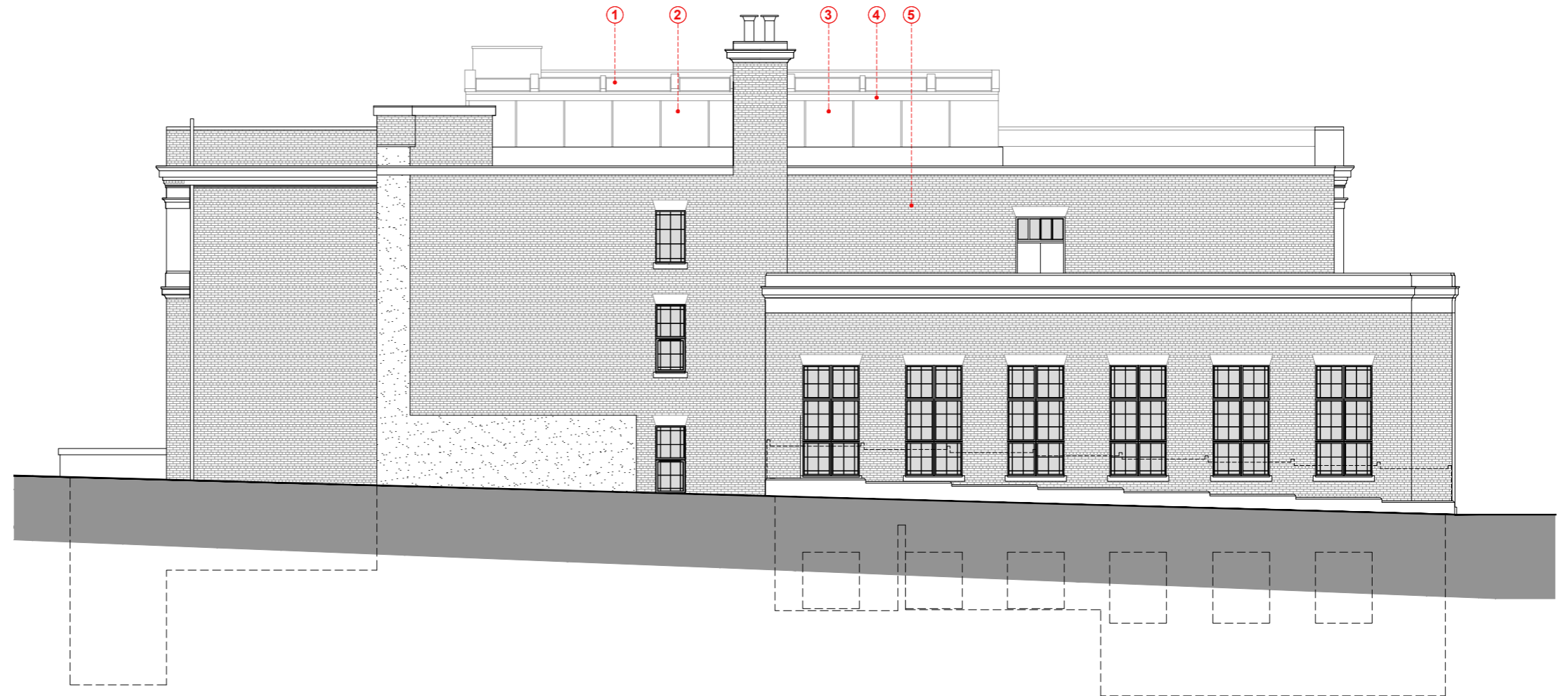
EXISTING SIDE NORTH ELEVATION



EXISTING SIDE SOUTH ELEVATION

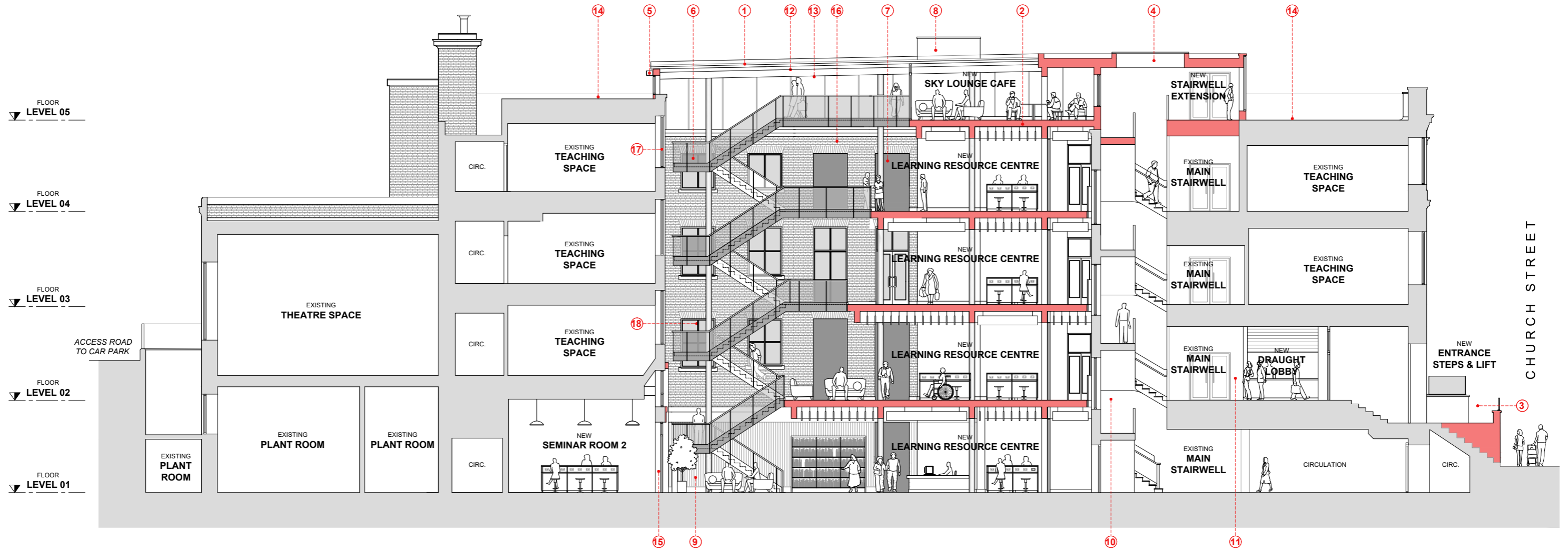
The design of the proposed elevation arrangement includes the following key points:

1. New central atrium featuring glass roof.
2. High-level automatic opening windows, providing stack ventilation and passively aid regulate thermal comfort within new atrium.
3. New walls of upper roof level floor extension to feature glazed spandrel/clear glass panels.
4. Metal box gutter, colour to match existing walls.
5. Existing brickwork walls and stonework to be retained.



PROPOSED REAR WEST ELEVATION

6.3 Proposed Section

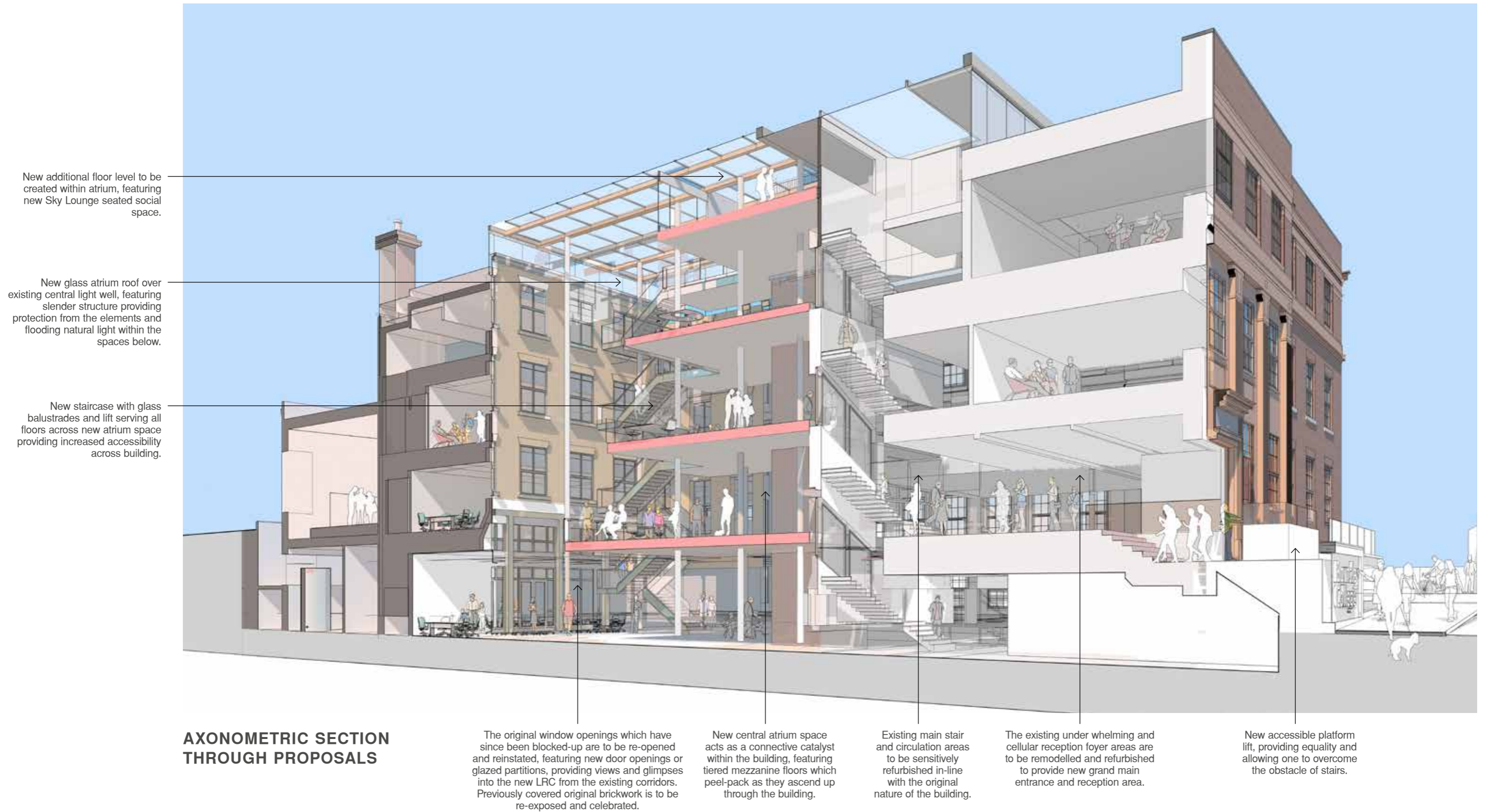


WORKS KEY

- = Proposed new structure
- = Existing structure

The sectional design and atrium was pivotal during the development of the works, as this provides not only natural light and ventilation to the learning spaces within, but creates emotive architectural impact. This new central atrium space acts as a connective catalyst within the building, featuring tiered mezzanine floors and access efficiency between spaces

6.4 Proposed Visualisations





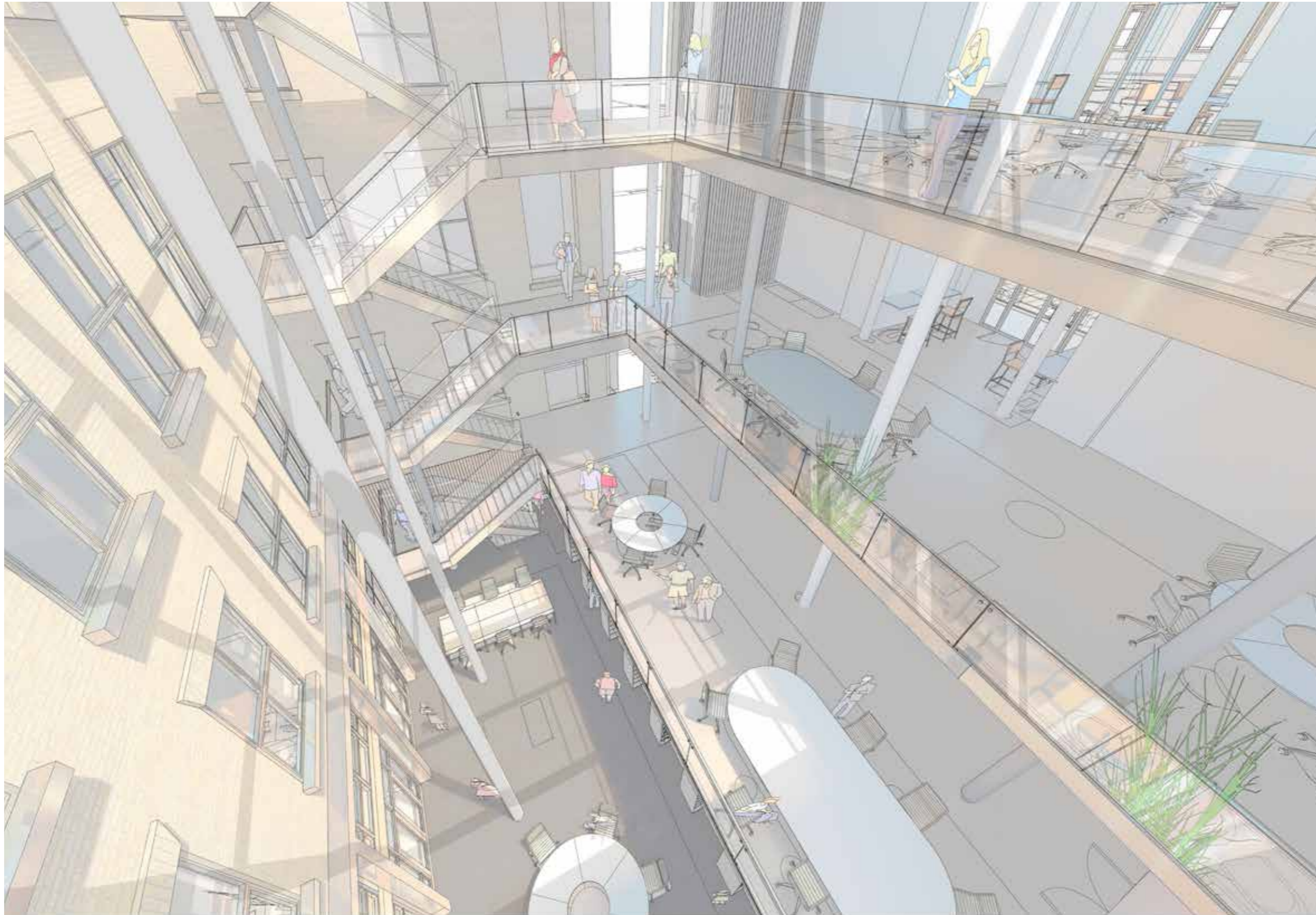
VISUALISATION OF PROPOSED MAIN ENTRANCE



VISUALISATION OF PROPOSED ATRIUM SPACE



VISUALISATION OF PROPOSED ATRIUM SPACE



VISUALISATION OF PROPOSED ATRIUM SPACE



VISUALISATION OF PROPOSED ATRIUM STAIRCASE



VISUALISATION OF PROPOSED REVISED RECEPTION AREA

Long View 1

This view is taken from the North West at the junction of Church Lane and St Mary's Gate, close to the location of the nearby listed buildings Cass's Warehouse and the former carriage house to Cass's Warehouse. It is also closely located to the Grade 2* Church of St Mary and associated gatepiers and walls surrounding the church yard. Finally there are some cumulative views of the building with the nearby Town Hall, in particular the clock tower.

As can be seen from the adjacent long view analysis, the proposed new atrium roof sits within a set back location from outer elevations of the building and as such the main mass of the extension is not visible from this location at street level. There may be the opportunity for slight fleeting views of the very top of the structure, however the materiality and nature of the proposals means these will not be readily apparent and will not have a negative impact in the aforementioned listed assets or cumulative views.



Long View 2

This view is taken from the South West at the junction of St Mary's Place and Sadler Gate, to the rear of the Grade 2 listed Town Hall. There are some close up cumulative views of the rear of the Town Hall with the building and very fleeting views of the tower of the Grade 2* Church of St Mary.

As can be seen from the adjacent long view analysis, the proposed new atrium roof sits within a set back location from outer elevations of the building and as such the main mass of the extension is not visible from this location at street level. There may be the opportunity for slight fleeting views of the very top of the structure, however the materiality and nature of the proposals means these will not be readily apparent and will not have a negative impact in the aforementioned listed assets or cumulative views.



Long View 3

This view is taken from the South East at the junction of Church Street and Shambles Street at the top of Market Hill, close to the location of several listed buildings including 12 and 14 Market Hill and 16 Market Hill. This view has strong cumulative views with the Grade 2 listed Town Hall and its piers and railings to the front, as well as Barnsley War Memorial to the front of the Town Hall. Several listed buildings along Church Street are also apparent to the right side of the image.

As can be seen from the adjacent long view analysis, the proposed new atrium roof sits within a set back location from outer elevations of the building and as such the main mass of the extension is not visible from this location at street level. At this distance the parapet of the existing building is quite prominent meaning that the proposals are unlikely to be seen from street level and will not have a negative impact in the aforementioned listed assets or on such an important view within the town. This perspective underlines the very low impact the new extension would make when viewed from one of Barnsley's most prominent public spaces.

**Long View 4**

This view is taken from the North East looking south along Church Street towards Market Hill, close to the location of the nearby Grade 2* Church of St Mary and associated gatepiers and walls surrounding the church yard. The Town Hall is obscured from view by the existing building; tree cover within the church graveyard also obscures the view of the building. There are some additional listed buildings in view along Church Street to the left of the image.

As can be seen from the adjacent long view analysis, the proposed new atrium roof sits within a set back location from outer elevations of the building and as such the main mass of the extension is not visible from this location at street level. At this distance the parapet of the existing building is quite prominent meaning that the proposals are unlikely to be seen from street level and will not have a negative impact in the aforementioned listed asset; in addition the existing established trees further obscure any views of the proposals.



Long View 5

This view is taken from the North West at the junction of Church Lane and St Mary's Gate, close to the location of the nearby listed buildings Cass's Warehouse and the former carriage house to Cass's Warehouse. It is also closely located to the Grade 2* Church of St Mary and associated gatepiers and walls surrounding the church yard. Finally there are some cumulative views of the building with the nearby Town Hall, in particular the clock tower.

As can be seen from the adjacent long view analysis, the proposed new atrium roof sits within a set back location from outer elevations of the building and as such the main mass of the extension is not visible from this location at street level. There may be the opportunity for slight fleeting views of the very top of the structure, however the materiality and nature of the proposals means these will not be readily apparent and will not have a negative impact in the aforementioned listed assets or cumulative views. The proposals are also mostly obscured by the existing mature trees within the adjacent church yard.



The existing Church Street Campus building is an attractive Art Deco style building set within a conservation area in the centre of Barnsley adjacent Barnsley Town Hall amongst other listed heritage assets. The building therefore has some significance both in itself as well as within its surrounding context. Any proposals to this building therefore have to be considerate of the external appearance of the building and context in which it sits, and not have a negative impact upon the existing. The proposals for the most part form an internal infill of an existing courtyard forming an atrium that will not be seen from the outside of the building, with the exception of very fleeting glances of the proposed roof level which is mostly hidden by existing parapets. The proposed amendments to the building access at the front and side entrances to provide more inclusive access for those with disabilities have been designed to be as sensitive as possible to the building and the surrounding context; ensuring that they do not have a negative impact on the conservation area.

Through the analysis of the long views and the buildings association with neighbouring listed assets we are able to conclude that the proposals present a positive yet sensitive upgrade to the Church Street Campus building. The proposals take into consideration the user requirements and the importance of the building in the context of the town centre. New additions to the building are designed to make minimal impact on the building's external appearance and respect the fabric of the existing structure. The scheme provides an ideal opportunity to upgrade the existing building in terms of both its use and efficiency from an environmental perspective. The proposed works will future proof the building, helping to ensure that it continues to play a key role in the higher education sector in Barnsley as well as safeguarding a key civic building in the heart of the town for years to come.



Photograph of Barnsley College Church Street Campus from Church Street



Proposed axonometric projection through the building, illustrating the proposed works.