

**Application Reference:** 2025/0325

**Location:** Plumpton Lodge, Manchester Road, Thurlstone, Barnsley, S36 9QW.

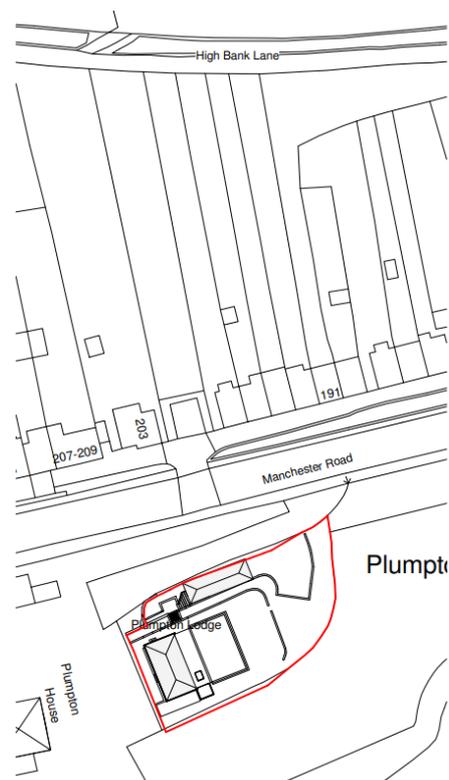
## Introduction

The application seeks planning permission for the removal of a first-floor balcony and outbuilding on the south elevation and the erection of a single storey side extension with part-sedum roof and part-first-floor roof terrace with balustrades, the erection of an adjoining single storey pergola on the east elevation, the erection of a first-floor bridge extension on the north elevation, the removal of existing roofs, and the erection of a new hipped roof with east-facing gables to accommodate habitable space within the roof space, alterations to existing stepped access including the installation of a new raised walkway to the north, the re-location of boundary treatments to the south and the installation of solar PV arrangements.

## Relevant Site Characteristics

This application relates to a large plot with considerable level differences that sits significantly below the level of Manchester Road. Broader topography levels within the locality fall considerably north-to-south. The immediate surrounding area is a mix of residential and commercial and industrial uses with the latter being located to the south alongside the River Don.

The application dwelling is a two-storey detached dwelling constructed of stone with a slate hipped roof. The application dwelling benefits from a two-storey flat roof extension on its east elevation also constructed of stone. An existing timber-framed first-floor balcony and outbuilding are located on the south elevation, and an existing raised outdoor terrace area extends from the east elevation, with a garden to the east within the plot. Vehicular access is from the north-east corner within the plot with a driveway extending along the northern boundary of the development site to an existing garage and canopy. Access to the dwelling itself is gained by traversing a stepped access to the western end of the driveway. The development site is bounded by significant vegetation and mature tree specimens to the north, east and south.



## Site History

There are several previous planning applications associated with the development site, but the most recent and relevant applications are:

2018/0824	First-floor rear extension.	Approved.
2018/1177	Proposed first floor rear extension, side extension with under-build, and amended access/ drive.	Approved.

### Detailed Description of Proposed Works

The application seeks planning permission for the removal of a first-floor balcony and outbuilding on the south elevation and the erection of a single storey side extension with part-sedum roof and part-first-floor roof terrace with balustrades, the erection of an adjoining single storey pergola on the east elevation, the erection of a first-floor bridge extension on the north elevation, the removal of existing roofs, and the erection of a new hipped roof with east-facing gables to accommodate habitable space within the roof space. Additionally, the proposal includes access alterations including the installation of a new raised walkway to the north, the re-location of boundary treatments to the south, and the installation of solar PV arrangements.

The proposed single storey side extension would be erected on the south elevation of the application dwelling. The proposed extension would adopt a staggered form with a total sideways projection of approximately 6.3 metres with a total length of approximately 17.7 metres. The proposed extension would project beyond the east elevation by approximately 4.1 metres and beyond the west elevation by approximately 2.8 metres. The extension would adopt a flat roof with a total approximate height of 3.5 metres. The westernmost part of the extension would adopt a sedum roof. The easternmost part of the extension would adopt a first-floor terrace with balustrades. The extension would also be constructed of closely matching stonework.

The proposed adjoining pergola would measure approximately 3.4 metres (L) x 12.7 metres (W) x 3 metres (H), would be constructed of dark grey cladding, and would incorporate a flat roof with open, louvered and covered sections.

The proposed first-floor bridge extension would be erected on the north elevation of the application dwelling. The proposed extension would measure approximately 7 metres (L) x 5.1 metres (W) and would adopt a hipped roof with an approximate eaves and ridge height of 2.9 metres and 5.6 metres respectively. The extension would be constructed of closely matching stonework, and the roof would be constructed of grey slate tiles.

The proposed replacement hipped roof to the main dwelling would have an approximate eaves and ridge height of 5.1 metres and 9.1 metres respectively, would be constructed of grey slate, and would result in a height increase of approximately 1.9 metres. The east-facing gables would be constructed of dark grey cladding.



## Relevant Policies

### The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation and is located within the Thurlstone Conservation Area. There are also Tree Preservation Orders in place within and bounding the development site. As such, the following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy HE1: The Historic Environment.*
- *Policy HE4: Developments affecting Historic Areas or Landscapes.*
- *Policy D1: High quality design and place making.*
- *Policy GD1: General Development.*
- *Policy T4: New Development and Transport Safety.*
- *Policy BIO1: Biodiversity and Geodiversity.*

### National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 2: Achieving sustainable development.*
- *Section 4: Decision-making.*
- *Section 12: Achieving well designed places.*
- *Section 16: Conserving and enhancing the historic environment.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

### Planning (Listed Buildings and Conservation Areas) Act 1990

- *Section 16: Decision on application.*
- *Section 72: General duty as respects conservation areas in exercise of planning functions.*

## Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *House extensions and other domestic alterations (Adopted March 2024).*
- *Biodiversity and geodiversity (Adopted March 2024).*
- *Trees and hedgerows (Adopted May 2019).*
- *Walls and fences (Adopted May 2019).*
- *Parking (Adopted November 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

## Other material considerations

- *South Yorkshire Residential Design Guide (SYRDG) 2011.*
- *Penistone Neighbourhood Development Plan.*

## **Consultations**

This planning application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 (as amended) and provisions of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. A site notice and press notice were used, both expiring 24<sup>th</sup> May 2025. One objection from one address was received with the concerns raised summarised below:

- The design proposals are not sympathetic to the host property and its immediate surroundings.
- The proposal would result in significant increases to floorspace and height which would lead to an overbearing impact to the adjacent property and the surroundings beyond.
- The proposed gables are an incongruous modern element which is not in-keeping with the prevailing architectural style and would be visible from the surrounding public realm.
- Impact on protected trees.
- The proposed design in aggregate is without doubt a disproportionate increase to the scale of the host building; an incongruous and visible modern idiom has been adapted for the design. The proposed alteration and extensions to Plumpton Lodge, will, because of its scale and inappropriate architectural expression cause significant harm to the character and historical significance of Thurlstone conservation area.

Conservation Officer	<i>No objection(s).</i>
Forestry Officer	<i>No objection subject to condition(s).</i>
Penistone Town Council	<i>No comments received.</i>
Local Ward Councillors	<i>No comments received.</i>

## **Planning Assessment**

For the purposes of considering the balance in this application, the following planning weight is

referred to in this report using the following scale unless the NPPF establishes a specific weight:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

### Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety. Development should respect, conserve and enhance the significance and setting of the borough's heritage assets.

### Scale, Design and Impact on Character of Conservation Area

During the application process, an objection was received raising concerns regarding visual amenity and potential impact on the Thurlstone Conservation Area, adjacent property and surrounding area.

The development site is located within the Thurlstone Conservation Area and to the east of Plumpton House. Plumpton House is considered to be of historic and architectural merit, and its east elevation faces towards the development site. The conservation area boundaries were set to include Plumpton House and ancillary buildings because of their positive contribution.

The Council's Conservation Officer was consulted, and while initial concerns were raised during the pre-application and application stages regarding the proposed height increase of the proposed new replacement roof and its potential impact on Plumpton House, the Applicant has submitted sufficient details demonstrating the extent of any potential impact on Plumpton House and its setting, and the setting of the Thurlstone Conservation Area. Consequently, whilst the proposal would introduce an increasingly modern aesthetic, the existing dwelling is itself a relatively modern building with modern extensions with little historic significance, and because of considerable level differences, the dwelling sits within a depression with limited views from the north, east and south. The Council's Conservation Officer considers any potential impact to be minimal with little harm to the setting of Plumpton House and the conservation area.

As established, the application dwelling sits within a depression due to considerable level differences and the site is well-screened by significant existing vegetation with limited glimpsed views from the surroundings. The original dwelling was built with a traditional form and the existing dwelling features a hipped roof with later additions including a first-floor flat roofed extension on the east elevation and a first-floor timber balcony and outbuilding on the south elevation. The existing extension abuts the hipped roof of the original dwelling with an awkward junction that lacks visual consistency, and the existing extension appears as a prominent and dominant feature that to a degree erodes and affects the legibility of the traditional form of the original dwelling.

The proposal would significantly modernise the appearance of the existing dwelling by rationalising the existing roofs under a single replacement grey slate hipped roof with pitched east-facing gables constructed of dark grey cladding. The first-floor bridge extension on the north elevation would adopt a sympathetic form and appearance, including closely matching stonework and a grey slate hipped roof. The single storey extension on the south elevation would adopt a stonework construction with a flat roof that would be part-sedum roof and part-first-floor roof terrace with balustrades. Whilst flat roofs are not preferred, the extension would not appear as an overtly prominent or dominant feature and would rationalise an existing timber-frame first-floor balcony and outbuilding whilst incorporating transitional and practical elements that would soften the development, bridge the built and adjacent natural environments, and take advantage of the secluded nature of the development site and views

of the surrounding landscape. The pergola on the east elevation would be constructed of a dark grey cladding and would be single storey with open, louvered, and covered areas, enhancing the existing outdoor terrace area. The cladding to the pergola and gables would be sympathetic to the slate roof and would create a pleasant contrast with existing and proposed stonework that is readily utilised in similar sensitive settings. Overall, it is considered that the proposal would achieve a distinctive high-quality design that would markedly improve the legibility of the traditional form of the original dwelling while establishing a striking modern appearance asserting the application dwelling as an individually designed detached dwelling within a relatively secluded plot. The proposal would not adversely alter or detract from the character of the street scene and would introduce little harm to the setting of the adjacent Plumpton House and the conservation area.

Considering the above, this is considered to weigh significantly in favour of the proposal.

*The proposal is therefore considered to comply with Local Plan Policies HE1: The Historic Environment, HE4: Developments affecting Historic Areas or Landscapes and D1: High Quality Design and Placemaking and is considered acceptable regarding visual amenity.*

#### Impact on Neighbouring Amenity

The development site benefits from substantial topography differences with the application dwelling being set considerably below Manchester Road and somewhat isolated with considerable boundary and vegetation screening surrounding the site. As such, it is not considered that the proposal would contribute to significant overshadowing, overlooking and loss of privacy, or reduced outlook impacts which may otherwise adversely affect the amenity of the occupants of neighbouring properties. While some additional overshadowing could occur because of the proposed height increase, any potential impact is likely to be minor and limited to the early morning and not at peak times for use of adjacent gardens.

Whilst the proposal is unlikely to contribute to a significant detrimental impact on the existing amenity levels of people living and/or working within the locality, it is acknowledged that there could be some temporary disruption and nuisance caused during the works, and therefore, construction hours could be controlled by a condition.

Considering the above, this is considered to weigh moderately in favour of the proposal.

*The proposal is therefore considered to comply with Local Plan Policies GD1: General Development and POLL1: Pollution Control and Protection and is considered acceptable regarding residential amenity.*

#### Impact on Highways

The proposed development is not considered to be prejudicial to highway safety as existing off-street parking arrangements for at least two vehicles would be maintained, in accordance with the Parking SPD. While the proposed development would result in an increase from 4-bedrooms to 6-bedrooms, there is no requirement to provide additional off-street parking spaces in this instance, and there are no alterations proposed to the existing vehicular access or parking areas.

Considering the above, this is considered to weigh modestly in favour of the proposal.

*The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.*

#### Impact on Trees

The development site is bounded by trees and vegetation which is either protected by virtue of being located within a conservation area or by being subject to a Tree Preservation Order (TPO). As such, the Council's Forestry Officer was consulted. This application is also therefore supported by a Tree Survey and Arboricultural Impact Assessment (AIA).

During the application process, an amended survey and AIA were submitted to include the removal of part of a hedge group to the south and provide further details regarding the proposed works to the area of the proposed walkway because of initial concerns regarding impacts to trees subject to TPOs in this area. Additional details were also submitted via email and shown via two site section drawings.

The Council's Forestry Officer states that information has been submitted to clarify the construction and any potential changes to existing ground levels for the new extension and walkway to the north; and to deal with the removal of vegetation to the south.

The proposal will require the removal of small conifers (T8 and T9) along with a section of G30 which comprises Rhododendrons. The larger and more prominent specimens (some of which are protected by a TPO) although implicated in some instances should remain relatively unaffected as detailed in the revised AIA. There are no objections to these removals proposed and the landscaping scheme submitted provides details of replacement tree and shrub planting along with a short section of new Beech hedge.

The AIA along with the plans submitted confirm that the construction of the first-floor extension to the north will be carried out above all existing ground levels and that the walkway will be constructed using screw in pile foundations which will minimise any potential impacts in the tree's rooting areas. As works would take place close to and within the rooting areas of protected trees, we will need an Arboricultural Method Statement to provide a full specification of the works and protection measures that will be required to undertake this work successfully. We will therefore require the statement and other protection details to be conditioned to be provided prior to any works beginning at the property.

Considering the above, the Council's Forestry Officer raised no objection subject to the provision of a suitable and comprehensive statement being submitted and complied with.

Considering the above, this is considered to weigh significantly in favour of the proposal.

*The proposal is therefore considered to comply with Local Plan Policy BIO1: Biodiversity and Geodiversity and is considered acceptable.*

### Planning Balance and Conclusion

In accordance with the provision of paragraph 11 of the NPPF (2024), the proposal is considered in the context of the presumption in favour of sustainable development and therefore, for the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant local and national planning policies and guidance and planning permission should be granted subject to necessary conditions.

**RECOMMENDATION: Approve subject to conditions.**

### **Justification**

#### **Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.**

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

- *Hip the roof to the first-floor bridge extension.*
- *Provide additional Arboricultural details.*

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with

the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.