



4. The Brief

The brief in numbers

Detailed analysis of the accommodation within the previous Central Library on Shambles Street and the current facility in Wellington House was undertaken at Stage 1.

We have represented the areas of Shambles Street and Wellington House again as they provide a useful reference when considering what the new building should be.

Shambles Street

Use	Area	Occupancy	
Children	160m ²	tbc	
Adult	900m ²	tbc	
Quick Choice	0m ²	N/A	
Quiet Study	55m ²	tbc	
IT Training Room	35m ²	tbc	
Meeting Rooms	185m ²	tbc	
Toilets & Welfare	75m ²	tbc	
Demonstration	0m ²	N/A	
Cafe	120m ²	tbc	

New Public Library

Use	Area	Occupancy	
Children	76m ²	11	
Adult	910m ²	130	
Quick Choice	100m ²	15	
Quiet Study / Meeting	46m ²	49	
IT Training Room	51m ²	9	
Demonstration	100m ²	37	
Roof Terrace	205m ²	195	
Cafe	84m ²	50	
Staff Accommodation	54m ²	9	
Toilets & Welfare	72m ²	N/A	

Wellington House

Use	Area	Occupancy	
Children	185m ²	tbc	
Adult	500m ²	tbc	
Quick Choice	0m ²	N/A	
Quiet Study	50m ²	tbc	
IT Training Room	30m ²	tbc	
Meeting Rooms	147m ²	tbc	
Toilets & Welfare	66m ²	tbc	
Demonstration	0m ²	N/A	
Cafe	157m ²	tbc	



5. Planning Statement

This planning statement provides further relevant details to support the reserved matters application for the proposed library within Barnsley Town Centre.

This statement should be considered in conjunction with the approved Outline Permission and the associated supporting documents for this Reserved Matters planning submission.

Planning Policy Context

In accordance with s38(6) of the Planning and Compulsory Purchase Act (2004), the purpose of this planning policy appraisal is to review national and local planning policy relevant to the development of the site, and to assess the scheme in light of these policies.

There is a hierarchical structure of guidance and plans covering national and local planning, which includes the Local Development Frameworks / Local Plans and National Planning Policy Framework. This appraisal addresses each of these levels of guidance and plans.

Policy Framework

The development plan, against which the application must be considered, comprises the following adopted policy documents (as agreed with the LPA):

- Barnsley Core Strategy (2011) (Core Strategy)
- Barnsley Unitary Development Plan – Saved Policies (UDP)
- Supplementary Planning Documents - Shop Front Design SPD (2012), Advertisements SPD (2012) and Parking SPD (2012)
- National Planning Policy Framework (March 2012) (NPPF) and National Planning Practice Guidance (NPPG)

A number of planning policy documents are currently in the process of being prepared by Barnsley MBC. These include:

- Barnsley Local Plan Consultation Draft 2014 and Local Plan Additional Consultation – this document will replace the Core Strategy and UDP and will provide local planning policy for the future development of Barnsley up to the year 2033. The Local Plan Consultation Draft was consulted upon between November 2014 and January 2015. The Local Plan Additional Consultation was consulted upon between 30 October and 11 December 2015. The comments received have informed the Local Plan Publication Version which will be available for consultation between 24th June and the 5th August 2016.
- The emerging Development Sites and Spaces Development Plan Document and the Barnsley Town Centre Area Action Plan have been superseded by the Draft Local Plan described above.

Planning Policy Review

This section of the report deals with planning policy by theme, and under each theme summarises key local and national planning policy, and how it has been considered

and responded to as part of the proposed development. Most themes are detailed further in other supporting documentation and are cross referenced accordingly.

The key themes are as follows:

- Principle and Scale of Development
- Community Uses and Town Centre Regeneration
- Heritage and Conservation
- Design Quality

Principle and Scale of Development

The proposed library lies wholly within the red line boundary identified at the outline application stage. This area is designated as “Principle Shopping Frontages” (May Day Green and Cheapside – Policy TC5). The principle of the development was approved as part of the outline application which reserved access, appearance, scale, landscaping and layout for future consideration.

Community Uses and Town Centre Regeneration

As identified within the outline application, The NPPF encourages local planning authorities to plan positively, to support town centres to generate local employment, promote beneficial competition within and between town centres, and create attractive, diverse places where people want to live, visit and work. The NPPF is clear in its approach with a focus on ensuring the vitality of town centres. It states that local planning authorities should assess and plan to meet the needs of main town centre uses in full, in broadly the same way as for their housing and economic needs, adopting a ‘town centre first’ approach and taking account of specific town centre policy (paragraph 24). Specifically, ‘Planning policies should be positive, promote competitive town centre environments and set out policies for the management and growth of centres over the plan period’.

The town centre and markets are identified as being a core part of the vision for Barnsley within the Barnsley Core Strategy (2011). The Vision for 2026 (p25) states that ‘In 2026, Barnsley will be a successful uniquely distinctive 21st Century Market Town at the centre of a prosperous borough’.

Policy CSP31 of the Core Strategy reinforces the advice within the NPPF stating that support will be given to maintaining and enhancing the vitality and viability of Barnsley Town Centre as the dominant town centre in the borough. The town centre also forms an important part of the Strategic Objectives outlined in the Core Strategy, including ‘Fostering the ‘remaking’ of Barnsley Town Centre and promoting it as the main place for shopping, indoor leisure, culture and business and creating a 21st Century Market Town’.

Core Policy 9.13 Community Infrastructure and CSP 43 of the Core Strategy identify that community uses should be protected and that investing in education and skills to support the development of the economy and to

increase educational attainment should be encouraged. Moreover CSP 43 highlights that community uses should be located centrally to the communities they serve, in places where they will be highly accessible either by walking and cycling or by public transport.

Response:

The proposed development represents the first stage in the wider regeneration of the Town Centre, creating an improved heart to the town centre, revitalising the market, which will create individuality and activity.

The Library’s location at the heart of Barnsley Town Centre will allow the facilities to be easily accessed via sustainable modes of transport as identified in the supporting policies.

Heritage and Conservation

The NPPF seeks to conserve heritage assets and requires local planning authorities to take account of the desirability of new development making a positive contribution to local character and distinctiveness. It also notes the opportunities presented by the historic environment on character of place (paragraph 126). Paragraph 128 also advises that details supporting applications should be proportionate to the assets’ importance.

Barnsley Core Strategy supports quality development, particularly those that takes advantage of and enhances the distinctive features of Barnsley, including its heritage and townscape character, scale and layout, building styles and materials of the built form, particularly in and around Barnsley Town Centre and adjacent to conservation areas (Policy CSP29). Policy CSP 30 (The Historic Environment) seeks to ensure that development which affects the historic environment and Barnsley’s heritage assets and their settings will be expected to protect or improve the character and / or appearance of conservation areas.

Response:

The setting of both the Conservation Area and adjacent Listed Buildings will be affected by the proposed development. Whilst the proposal (out of necessity) follows much of the existing footprint of the recent 20th Century development, close attention to scale, form, massing, details and materials will ensure that the historic elements of the townscape and their settings will not be compromised. The proposed new development will refurbish and replace a number of discordant and poor quality buildings. Whilst, this will clearly change the character and the setting of a number of heritage assets, it will do so by providing well considered, high quality designed buildings that will ultimately enhance the context, character and appearance of the conservation area.

Design Quality

Design quality is a common thread running through national and local planning policies. The NPPF (paragraph 56), states that “Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people”.

The Core Strategy outlines the importance of local distinctiveness and elements that contribute to it. Those of relevance to this project include references to local historical character, culture and architecture; the market itself; embracing the strong community; building on the town centres role as the administrative hub; and utilising the topography of the area.

The importance of high quality design to provide improved town centre facilities are supported by Core Strategy Policy CSP29. Development is expected to take advantage and reinforce the distinctive character of Barnsley. It is stipulated that development should contribute to place making, be high quality, and transform the character of physical environments that have become run down and lack distinctiveness, enable people to gain access safely and conveniently, contribute to attractive, sustainable and successful neighbourhoods.

The NPPF and Core Strategy also support the protection and enhancement of the settings of conservation areas.

Response:

The building is of the same footprint as the existing parade of shops on the site. The site’s location at the western edge of the new public square has led us to increase the mass of the library to the North of the site, giving the building a presence from a multitude of public and private viewpoints in the town centre.

The glazed curtain walling that wraps the entire building is framed in aluminum and anodised to a champagne colour. The colour of this is intended to reference the bronze at the Town Hall but also the better honey-hued stone buildings on Regent Street. Where glazing isn’t required spandrel panels in the same aluminum will form an elegant façade. The frames to the curtain walling (the mullions and transoms) are intentionally deep to give the building’s frontage more depth and provide an element of sun shading to mitigate internal solar gain in the glazed library spaces. All aspects of the design will provide Barnsley with a new public building of great quality, designed to be efficient, visually elegant, striking, sustainable and inclusive.



6. Heritage Statement

Heritage Statement

This Heritage Statement accompanies the reserved matters application for the construction of the new library building adjacent to May Day Green.

The reserved matters application follows the successful granting of an outline permission for the redevelopment of the wider Barnsley Town Centre. The proposed site of the new library is to the north west of the application site.

The purpose of this statement is to set out and assess the effect of the development proposals on heritage assets, notably the adjacent conservation area, and nearby listed buildings.

To undertake this assessment, this statement is structured as follows:

- Site Overview
- Heritage Policy Context
- Conservation Area Character Assessment
- Heritage Assets Assessment
- Development Proposals: Assessment of Heritage Impact
- Summary and Conclusion

Proposed Site

There are no registered heritage assets (Listed buildings) or Scheduled Monuments within the defined site area. However the site abuts the Regent St/ Market Hill/ Church Street Conservation area and 13 of the 18 Listed Buildings identified within the surrounding area are located within this Conservation area.

Heritage Policy Context

The NPPF seeks to conserve heritage assets and requires local planning authorities to take account of the desirability of new development making a positive contribution to local character and distinctiveness. It also notes the opportunities presented by the historic environment on character of place (paragraph 126). Paragraph 128 advises notes that details supporting applications should be proportionate to the assets' importance.

Furthermore, Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that, in the exercise of planning powers in conservation areas, "special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area".

Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 also states that in considering whether to grant planning permission for development which affects a listed building or its setting, the decision maker shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Barnsley Core Strategy supports quality development that enhances the distinctive features of Barnsley. Policy

CSP 30 (The Historic Environment) seeks to ensure that development which affects the historic environment and Barnsley's heritage assets and their settings will protect or improve the character and / or appearance of conservation areas. This includes the heritage and townscape character, and development should ensure the scale, layout, building style and materials of the built form is appropriate to its context, particularly in and around Barnsley Town Centre and adjacent to conservation areas (Policy CSP29).

Heritage Guidance

Historic England has produced a large number of useful guidance documents, which have either been revised, or are currently under revision, following the publication of the NPPF where appropriate. The following have been referred to, where appropriate, in the preparation of this Heritage Assessment:

- Understanding Place: An Introduction (EH, 2010, revised 2012)
- Understanding Place: Character and context in local planning (EH, 2011, revised 2012)
- The Setting of Heritage Assets (EH, 2011, under revision)
- Building in Context: New development in historic areas (EH/CABE, 2001)
- Conservation Principles: Policies and Guidance (EH, 2008)
- Seeing the History in the View (EH, 2011)

Significance

In addition significance (for heritage policy) is defined in the Glossary to the Framework as:

"The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."

Heritage assets may be affected by direct physical change or by change in their setting. Being able to properly assess the nature, extent and importance of the significance of a heritage asset, and the contribution of its setting, is very important to understanding the potential impact and acceptability of development proposals.

The effect of a proposal on a heritage asset could be positive, neutral or harmful.

The Framework identifies two levels of harm which are substantial harm and less than substantial harm.

Where there would be substantial harm to, or loss of, significance of a designated asset, applications should not succeed unless it is necessary to bring about substantial public benefits or other criteria set out in the Framework apply. In cases where the harm would be less than substantial, any public benefits of the scheme

should be weighed, including the need to secure its optimum viable use.

This assessment is therefore structured as follows:

1. An assessment of the significance of the heritage asset
2. An assessment of the effect of the proposed development on the significance of the heritage assets
3. Conclusions

Assessment of Significance

Heritage Assets Assessment: Listed buildings

1. The Civic Hall, Eldon Street, Grade II, Listed: 1986 Ref: 1151151 333717 Built: 1877 Address: Eldon Street S70 2JL
2. Yorkshire Bank, Grade II, Listed: 1986 Ref: 1191723 333731 Built: 1903 Address: Market Hill S70 2QE
3. 1 Queen Street, Grade II, Listed: 1980, Ref: 1315037 333747 Built: Late C18 Address: 10 Market Street, S70 1RJ
4. Co operative store, Grade II, Listed: 1986, Ref: 1191770 333736 Built: 1911 Address: Wellington Street, S74 0JQ
5. Co operative store - Barnsley British, Grade II, Listed: 1976 Ref: 1192019 333763, Built: 1886, Address: 64 Market Street, S74 0JQ
6. Co operative Jewellers, Grade II, Listed: 1986, Ref: 1315040 333762, Built: 1885, Address Wellington Street, S74 0JQ
7. The Theatre Royal, Grade II, Listed: 1985, Ref: 1151126 333764, Built: 1898, Address: Wellington Street, S74 0JQ
8. Yorkshire Bank, Grade II, Listed: 1986, Ref: 1191865 333741, Built: 1857, Address: Tasker Market Hill, S70 2QE
9. 1 & 3 Peel Square, Grade II, Listed: 1986, Ref: 1151160 333742, Built 1857, Address: Tasker Peel Sqr, S70 2QT
10. The White Hart Public House, Grade II, Listed: 1986, Ref: 1191881 333743, Built: Late C19, Address: Peel Sqr, S70 1YA
11. 15 Market Hill, Grade II, Listed: 1986, Ref: 1191744 333733, Built: Mid C19 Grahams, Address: Orchard S70 2PX
12. The Old No 7 Public House, Grade II, Listed: 1986, Ref: 1151158 333732, Built: Mid C18 10, Address: Grahams Orchard S70 2PX
13. 12 & 14 Market Hill, Grade II, Listed: 1986 Ref: 1286924 333730, Built: Late C18, Address: 12 & 14 Market Hill, S70 2QE
14. 16 Market Hill, Grade II, Listed: 1986, Ref: 1151157 333730, Built: Mid C18, Address: George Yard S70 2QE
15. Warehouse Building at East End, Grade: II, Listed: 1986, Ref: 1191618 333720, Built: Late C18, Address: George Yard S70 2QE
16. The Royal Hotel, Grade II, Listed: 1986, Ref: 1151142 333695, Built: Late C18, Address: Royal Street, S70 2AD
17. Town Hall & attached railings, Grade II, Listed: 1986, Ref: 1151143 333696, Built: 1933, Address: Lancaster Gate S70 2AD

18. War memorial front Town Hall, Grade II, Listed: 1986, Ref: 1151144 333698, Built: 1920, Address: Church Street, S70 2TA

Of the eighteen listed buildings within the surrounding area, three have direct views into the site area (Buildings 1, 2, and 8) and are therefore considered in more detail.

The Civic Hall (1)

The Civic Hall (1) is sited on Eldon Street to the north of the site and has direct southerly views of the majority of the development site.

Listing:

Civic Hall. Dated 1877. By Hill and Swan of Leeds, at the expense of Mr. Charles Harvey of Park House, Kendray. Ashlar. Welsh slate roof. 3 storeys, and attic. Seven bays. Baroque style. The symmetrical facade has central and end bays defined by pilasters. The central two-storey round-arched portal has panelled pilaster jambs with foliated capitals. Elaborate double panelled door. Swagged frieze and dentilled entablature to the springing of the arch. Well-carved figures of art and science in spandrels. Figure-head of Charles Harvey in cartouche as enlarged keystone. C20 shop frontages to rest of ground floor. 1st-floor windows are round-arched with pilaster jambs, those to bays 2 and 6 in triple groups. All are archivolted and have balustrade supporting sill band. Dentilled 1st-floor cornice. 2nd-floor windows are similar with triple groups to bays 2, 4 and 6 and these have a small balcony to the central lights supporting urns. Frieze above centre window has in raised letters "PUBLIC HALL 1877". Heavy, modillioned moulded eaves cornice. Richly and heavily treated attic storey has 8 circular dormer windows with segmental pediments alternating with ball-on-stalk finials. Surmounting the 4 pilasters are square round-arched turrets with finials, those to the centre bay being particularly elaborate and flanking a 2-light round-arched dormer with circle in head and pediment and urns.

Interior: 1st-floor hall has horseshoe gallery on cast-iron columns and decorative iron brackets. Moulded panelled roof with central bosses, and moulded, dentilled cornice. Some recent decoration.

The Yorkshire Bank Buildings (2 & 8)

The Yorkshire Bank buildings (2 & 8) which are sited on opposite corners of Market Hill hold views both along Eldon Street and Queen Street to the development area.

Listing (2):

Bank. Dated 1903. Ashlar. Welsh slate roof. 3 storeys. Free Classical style. 3 bays to Market Hill, one corner bay, 7 bays to Eldon Street. The main doorway is in the corner bay and has small cartouche over with initials "Y P B" (Yorkshire Penny Bank). Over the doorway is a 1st-floor oriel 3-light window whose roof extends through the 2nd floor and is surmounted by an enriched plaque

bearing the date in raised letters. Above this, breaking through the eaves, is a clock turret with broken pediment supported on tapering pilasters which flank the clock. Market Hill elevation: left bay projects slightly and rises as a gabled dormer. Large ground-floor windows with quoins and later glazing. Ground floor fascia has bays marked by enriched pedimented cartouches. Paired 1st- and 2nd-floor windows all square-headed, those to 1st floor with cambered arches above and central colonnettes. Bays 1, 2, 6 and 7 of the Eldon Street elevation are similar; bays 3, 4 and 5 are the same but windows are in triple groups. Deep parapets. Tall stacks.

Listing (8):

Bank and shop premises. 1857 (Tasker). Ashlar. Welsh slate roof. 3 storeys and attics. 2 bays to Peel Square, one round corner bay, 4 bays to Market Hill plus a further single bay and a rounded corner bay which both belong to No 19. Corner site. Italianate style. Rusticated ground floor. Rusticated quoins to ends and corner bays at 1st- and 2nd-floor level. Square-headed entrance in corner bay with architrave, swagged frieze and cornice. Segmental-headed ground-floor windows with voussoirs, dropped keystones and aprons. C20 shop frontage to No 19. Modillioned 1st-floor cornice. Round-arched 1st-floor windows have architraves with pilasters, motifs in spandrels, friezes and cornices. Similar paired lights to 5th bay (No 19). Segmental-headed 2nd-floor windows on sill band, with eared architraves and dropped keystones. Similar paired lights to 5th bay (No 19). Heavily modillioned eaves cornice with ashlar parapet. Surmounting the corner bay is a good lead lantern with swept sides and elliptical lights. Later C20 dormer windows. Hipped roof.

The premises were built as the Coach and Horses Public House, and became a bank in 1912.

Heritage Assets Assessment: Regent St/ Market Hill/ Church Street Conservation Area

It is unfortunate that a Character Appraisal is not available for the Regent St/ Market Hill/ Church Street Conservation Area, however its characteristics are summarized within the Development Sites and Places Consultation Draft 2012. The South Yorkshire Historic Environment Characterisation Project also provides some detail.

The Development Sites and Places Consultation Draft identifies that the area constitutes the historic core of Barnsley town centre and is dominated by Barnsley Town Hall. The area contains thirty six listed buildings of various ages and architectural styles and the area can be roughly divided into two character areas: Church Street and Regent Street forming the civic, legal and administrative core whilst the area around Market Hill and Eldon Street lends itself to commercial uses.

The area contains some of Barnsley's most prominent architecture including the Town Hall, the Civic Hall (The Civic), St Mary's Church and a number of Georgian properties along Regent Street. A number of commercial properties are converted Georgian town houses and large formal Victorian Buildings vary from two stories to five, but the topography of the area is a dominant feature defining views and vistas both within and towards the town.

In addition the South Yorkshire Historic Characterisation Study notes that: 'One of the oldest landscapes to be overwritten by the replanning of Barnsley was that of May Day Green. When Barnsley was relocated from Old Town to focus around Market Hill, in around the 13th century, this land remained common land (Elliot 2002, 27-9). By the 18th century, the green had been surrounded by wiremakers' workshops and cottages but the triangular form of the green remained largely unchanged throughout the 19th and early 20th centuries, only for it and much of the street patterns to the south and east to be radically altered by the construction of the covered markets and surrounding shopping precincts in the 1970s and 80s. However, the edges of the green are partially preserved by existing roads (May Day Green and Cheapside).'

It is therefore considered that the significance of the listed buildings lies within their fabric and design. The significance of the conservation area derives from the architecture of its historic building and street pattern.

Development Proposals: Assessment of Heritage Impact

The proposed development does not directly affect any built heritage assets. However the site's proximity to the conservation area and several of the assets listed, requires that the impact of the proposed development upon its 'setting' be considered.

Of particular relevance to the location of the proposed development is the Civic Hall to the north of the site. The new building will frame the views to and from the Civic Hall, replacing buildings which previously had a negative impact upon the listed buildings, the conservation area and their setting.

Due to the separation distance between these assets and the development site, their 'setting' is unlikely to be directly affected. However the demolition and refurbishment of the existing poor quality structures to provide high quality buildings, will ensure that the views to and from these assets will be enhanced.

The important street pattern of May Day Green and Cheapside is not altered by the proposals, and the building reinforces this layout as the library sits within the original building's footprint.

The massing has been modelled and adjusted in relation to its immediate context. To the Market Square it has a

strong 3 storey facade with fourth floor and accessible roof terrace. Along Eldon Street the building steps down in height to acknowledge the lower buildings on Burlington Arcade.

The aluminum curtain wall that wraps around the building is anodised in a honey tone that is intended to rhyme with the prevalent sandstone 19th Century buildings within the conservation area.

Summary and Conclusion

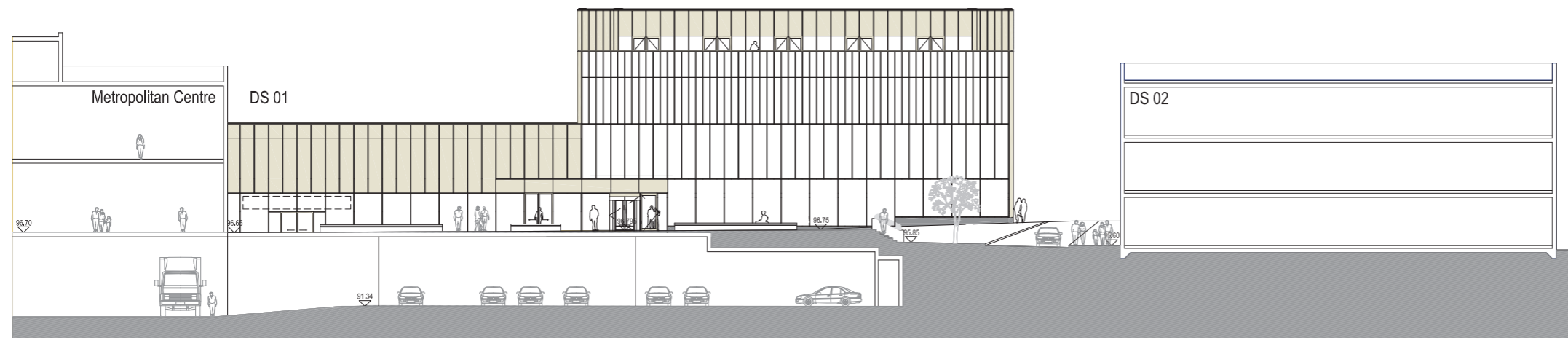
It is not considered that the proposals represent any harm to the character and appearance of the conservation area or the setting of the adjacent Listed Buildings. Indeed, it is considered that the proposal will enhance their setting considerably by providing a new modern building which responds positively to the character of the conservation area in terms of scale, quality and materials.

The public benefits of the scheme are also significant, developing a new high quality community facility for the town centre. This will secure improved facilities for the residents and visitors to Barnsley alike.

As the proposals provide a significant improvement to the current built form and a benchmark for the quality of design for future proposals within this area, it is respectfully requested, that planning permission be granted.



7. Architectural design



Proposed section DD

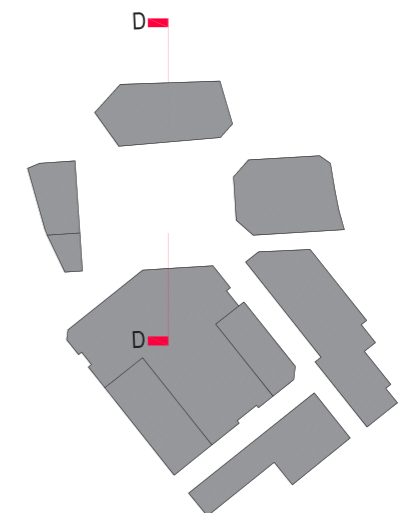
Introduction

The following section explains how the scheme has developed through an ongoing iterative process of analysis, design testing and consultation. It presents the key issues that have been identified with the site and the 'big moves' offered to address these issues.

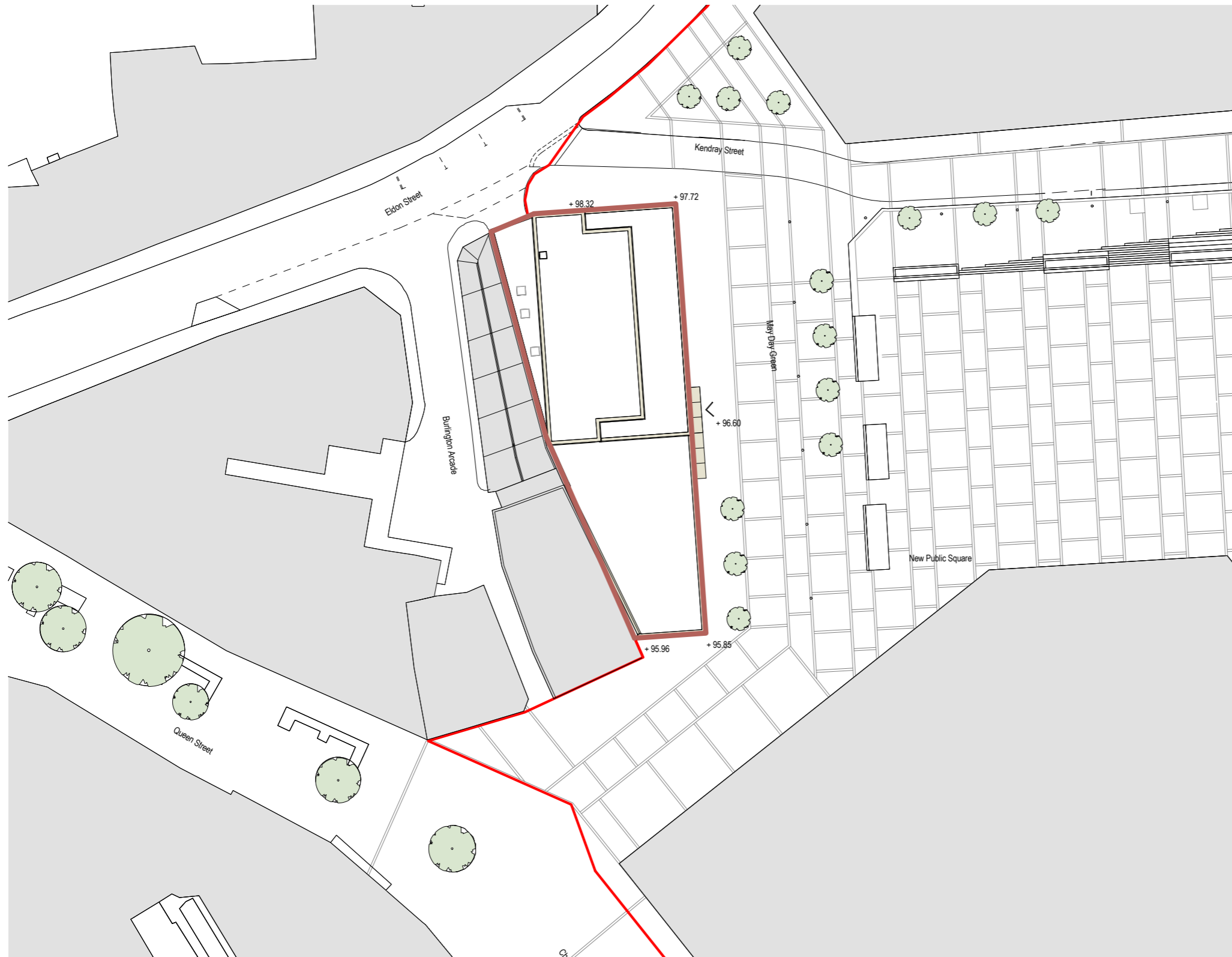
In addition to addressing the key issues the proposals recognise the strategic importance of the site, particularly in the context of the wider Better Barnsley Town Centre scheme, and the role the Library and café have in ensuring Barnsley remains a dynamic, thriving town.

There has been an extensive programme of consultation, design workshops and presentations to various stakeholders on the emerging designs. These have provided useful comment and constructively challenged the proposals. Naturally, the design evolution is not a linear process but a more general process of moving forward with occasional loops, reversals and sideways diversions along the way as should be expected of any genuinely open and consultative design process.

It remains vitally important to the success of this project that this process continues.



Section Key Plan



Site plan

The site plan illustrates the key location of the Library as one of the 4 sides of the new public square.

The proposed building occupies the same footprint as the existing May Day Green parade of shops, but provides a stronger edge to Eldon Street where it meets Burlington Arcade due to its four storey form.

The main entrance off the square is set to give the Library a prominence within the regenerated town centre. This being central on the site's eastern edge has set the new finished floor level at +96.795m above sea level which enables level access into the building.

Key principles of the design

Flexibility

The nature of libraries is constantly evolving and library buildings must facilitate this change. We have adopted the analogy of a warehouse - an efficient building that has inherent flexibility including;

- Generous floor to ceiling heights
- Optimised structural grid
- Robust materials and finishes that require minimal maintenance
- Excellent internal environment;
- Good levels of natural light
- Access to views to the outside

Low energy

Connected to an idea of flexibility we adopted an holistic approach to achieving a low energy building with a BREEAM Very Good rating which the design is on track to meet. Strategies for achieving this will include the adoption of a 'Passive' approach;

- Utilising the thermal mass of the structure to provide a stable internal environment
- Minimise solar gains and overheating to reduce the reliance on cooling reducing energy consumption
- Employing displacement / underfloor air distribution system towards providing a clean, fresh air supply and the removal of pollutants
- 'Active' measures such as solar thermal ducts on the roof.

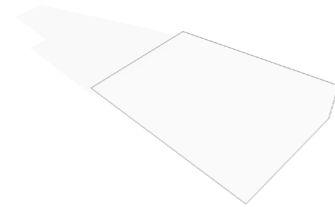
Prefabrication

Our challenge is to ensure a high quality building delivered on time and budget while minimising disruption within the town centre during the construction phase. The use of prefabrication can play an important role in meeting this challenge achieving;

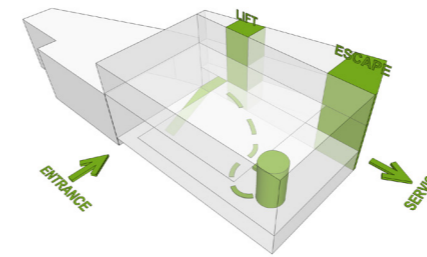
- Improved quality and finish
- Reduced site phase / programme savings
- Reduced requirement for on site storage
- Reduced reliance on wet and finishing trades
- Minimised construction waste
- Minimised requirement for scaffolding

Procurement and construction

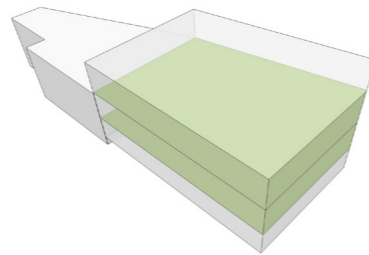
- Adopt project partnering towards a collaborative approach between all the project stakeholders
- Ensure close coordination between the design team members, principally architecture, structure and services
- Allow early input from specialists on the building envelope, the concrete superstructure and questions of buildability and logistics



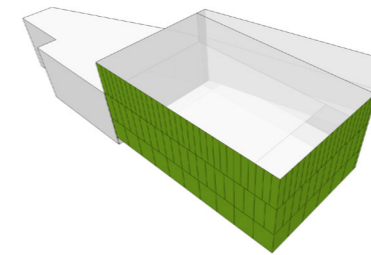
Identify the site area



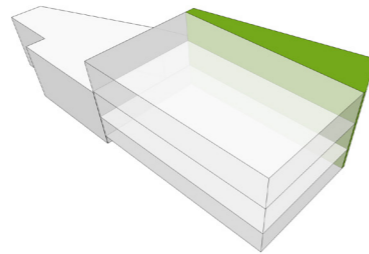
Develop the circulation and movement strategy



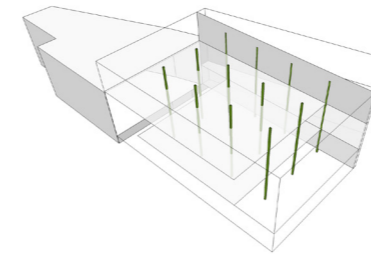
Extrude the building upwards to make 3 storeys



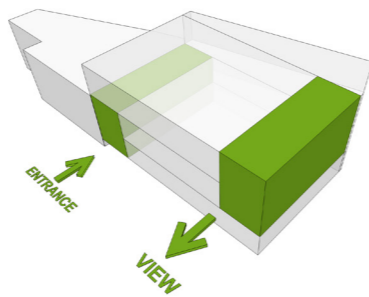
Wrap in a transparent glazed skin



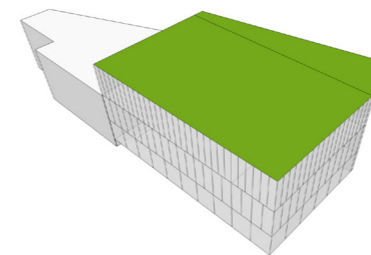
Place an efficient core in a sensible location



Adopt a cost effective and efficient structural strategy



Form a generous entrance in and provide wonderful views out



Provide a usable roof with views onto the new square

The big moves

The project is guided by a number of key moves that have developed through engagement with the project stakeholders. We call these 'the big moves'. They comprise;

Identify the site area

May Day Green has been identified as the site for the library. It can accommodate a footprint of 675m².

Extrude the building upwards to make 3 storeys

This gives the library the required total floor area and an appropriate presence on the proposed new square

Place an efficient core in sensible location

Pragmatic decisions allow a budget to stretch further. A efficient core containing stairs, lifts, toilets, storage and service risers is one means of achieving this. Locating it on the party wall with the Burlington Arcade also frees the other facades for views in and out.

Form a generous entrance in and provide views out

The Library is an important new public facility for the town centre. It will also form one side of the proposed new square. A generous entrance is vital to encourage people in. The ability to see out again is also important and we intend to plan the interior to provide these views in as many locations as possible.

Develop the circulation and movement strategy

The circulation strategy can be developed to encourage people to move through the extent of the building and have greater vibrancy. The vertical circulation can also contribute to the understanding of the ground floor as busy and public, the first floor (piano nobile) as slightly quieter and the second floor as quieter again - perhaps a place for individual study or research?

Wrap in a transparent glazed skin

We propose a building of glass to reinforce its public nature - an open, transparent building for the people of the town. It also offers a transformative effect at night - a glowing lantern in the town centre.

Adopt a cost effective and efficient structural strategy

To maximise the budget we are proposing a simple 6m grid which will allow a 'standard' structural solution.

Provide a usable roof with views onto the new square

The roof will have fantastic views onto the new square and beyond. Providing a usable roof where functions could be held could be a fantastic asset for the town.



Ground floor plan

Multi functional library space

The ground floor remains an extension to the public realm and is intended to contain and facilitate the more public library facilities including the primary information point, a cafe, an exhibition space and the quick choice library. This is also currently the preferred location for complimentary council services to be provided.

Meeting room

A flexible meeting room is provided for private meetings for staff, visitors or anyone else when required. They might also be used as private study space for groups of students or a base for the local societies.

Meeting pods

Four meeting 'pods' have been provided to primarily facilitate small face to face meetings between members of the public and council staff. As the function of the library and the nature of public services evolve so will the use of the pods - they could become, or double as, places for private study or a 'BFI Mediatheque' as in Manchester Central Library.

Toilets

We have ensured that there are adequate male and female WC's and a Changing Places Toilet - a non-standard disabled toilet facility that meets the needs of a wider range of disabled people, including those with profound and multiple learning disabilities, and their carers.

Sanctuary

A Sanctuary Space is provided for people who need respite from visual stimulants, for examples those with autism.

Storage

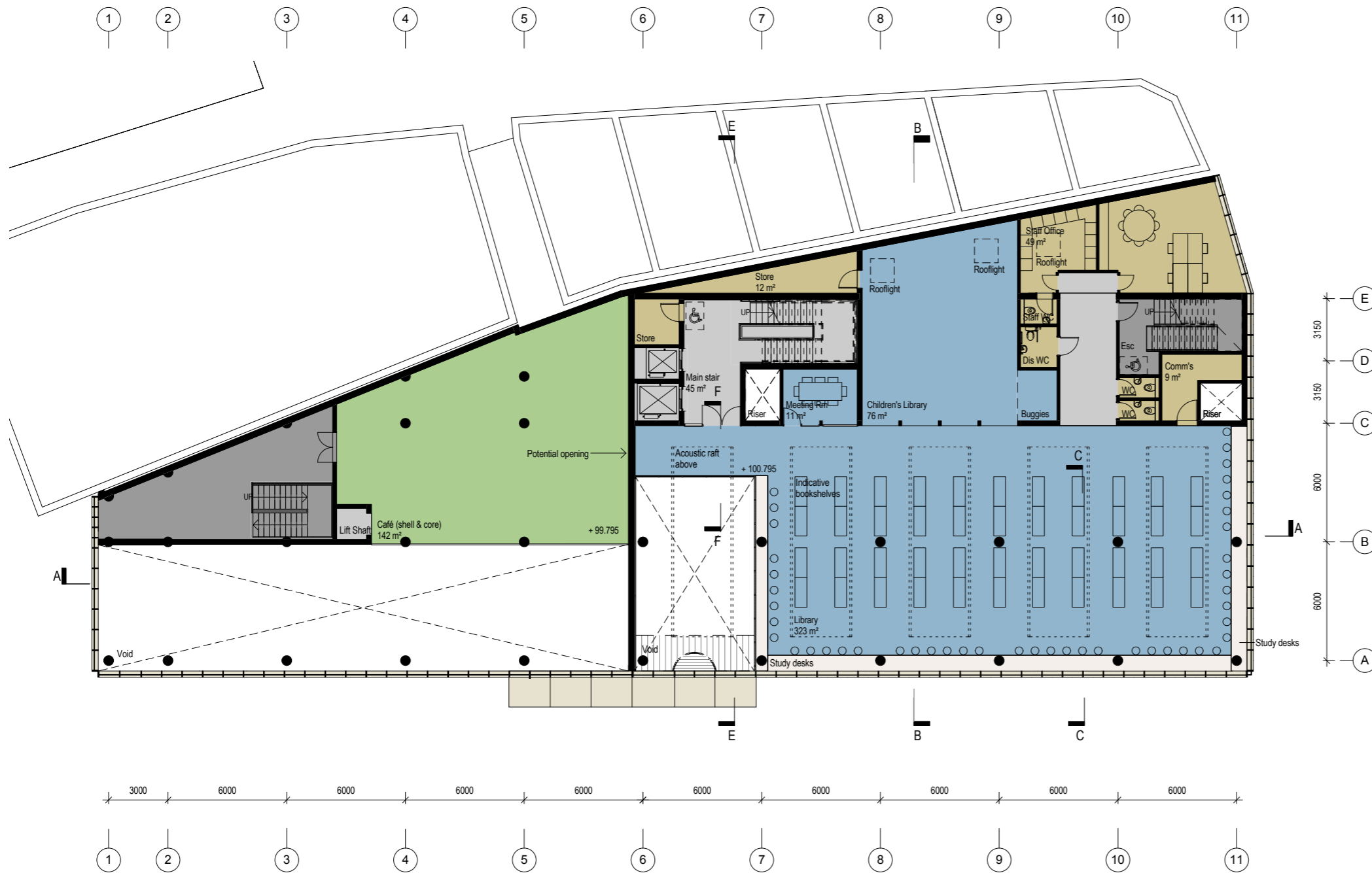
A range of storage space has been included to the rear of the ground floor so it is easily accessible. It has been configured to allow the installation of shelving if required.

Café

The Restaurant / Café is located directly adjacent to the Library and is directly linked to it with a generous opening. It is double height with a mezzanine to the first floor. The space can accommodate up to 285 covers. The unit will be delivered to 'shell & core' comprising: Structure / cladding, base plant, stair cores (for min' fire requirement only) & lift shaft.

Café unit

The café space will be delivered to shell and core specification with an entrance to May Day Green.



First floor plan

Library space

The first floor is intended to contain the main Library collections. It will be connected to the ground floor via a void in the floor - so that some of the life and activity of the ground floor extends upwards.

Children's Library

The Children's Library is located to the rear of the plan in a space that is more private and secure but still open to the rest of the library. It has its own designated storage space and an area for buggy storage. It is lit from the front and from above via two generous rooflights.

Staff office

This is located to the back of the building where is slightly more private but remains well connected to the main library space so that staff can be quickly on hand to deal with visitors. The staff office is an open plan space with generous windows onto Eldon Street supplemented with rooflights above. It contains a kitchenette (separated from the office space by a screen) and a designated staff wc.

Toilets / storage / 'back of house'

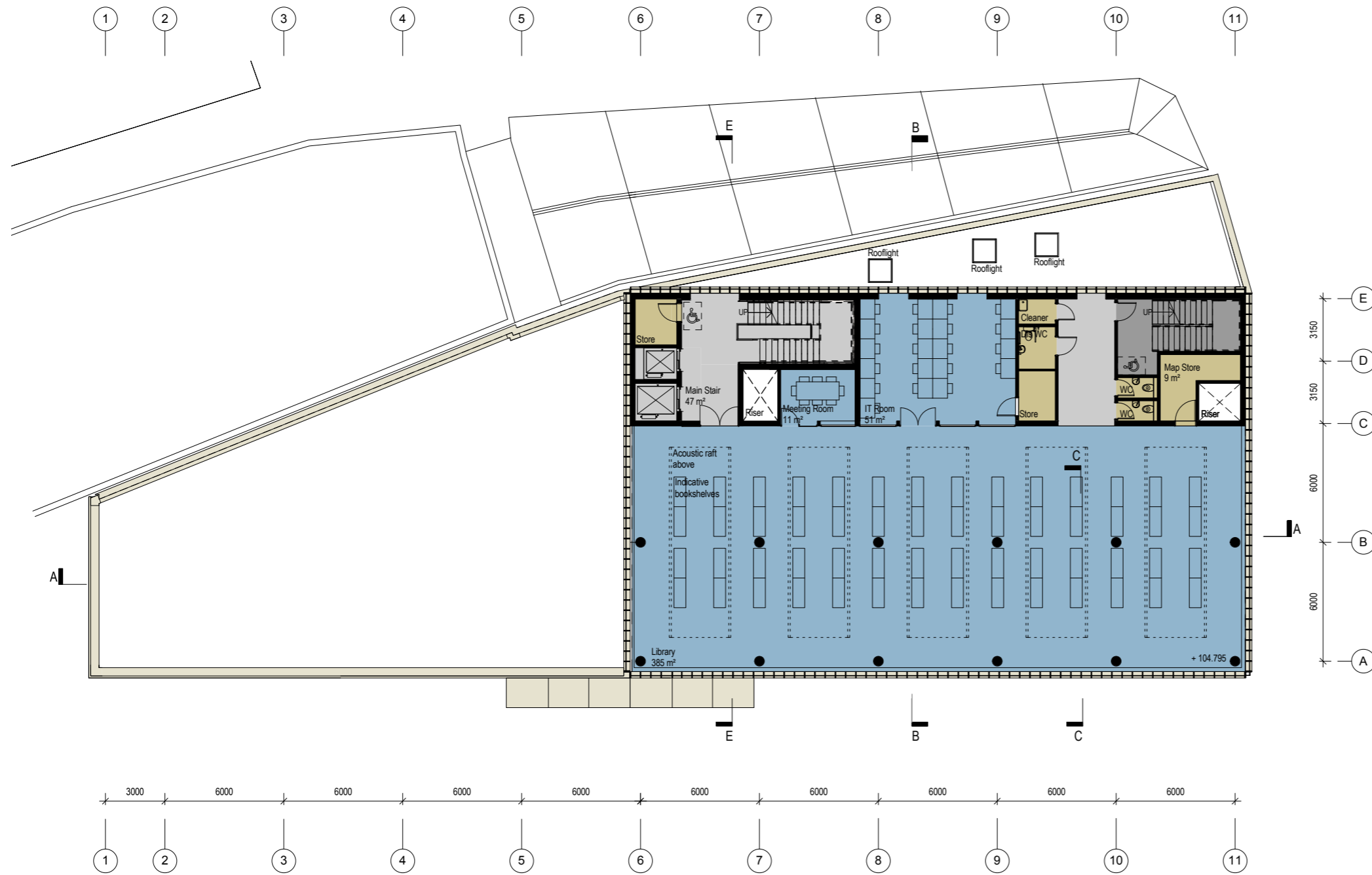
These facilities will be located in a compact core at the rear leaving a clear open and flexible library floor space. The provision of toilets is in compliance with the relevant British Standard.

Meeting room

A flexible meeting room is provided to facilitate private meetings between staff and an additional space for private group study.

Café unit

The first floor of the café will comprise of a mezzanine looking over a generous double height space beneath it. The service core and lift will provide access to this level with an opportunity for an opening through to the library space.



Second floor plan

Library space

The second floor is intended to be the quietest and most private floor. It will house the non-fiction collection, training rooms and computer workstations. It is accessed by lift or via the main stair from the floor below.

IT Room

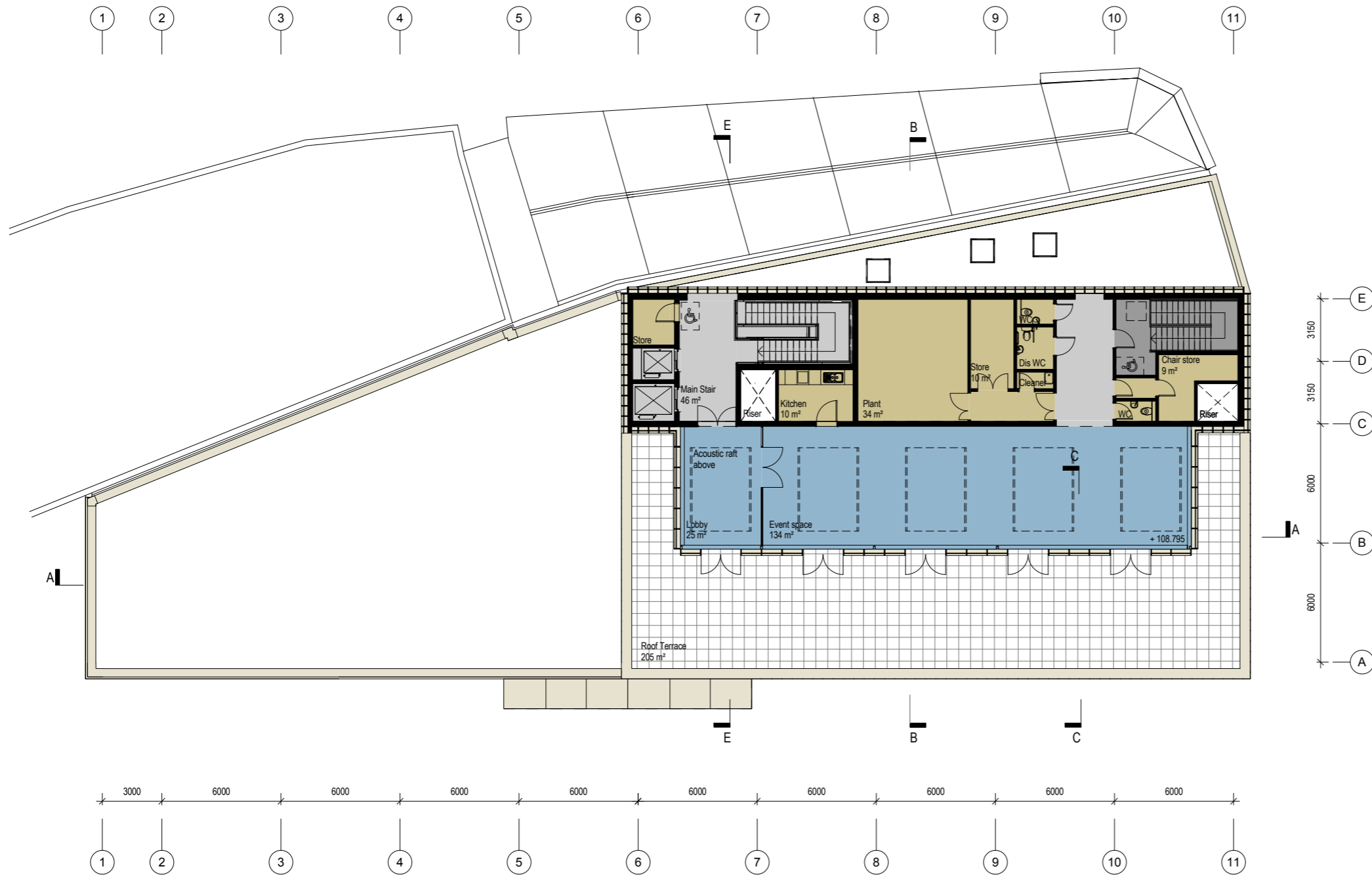
An IT room is located within the core area separated from the main library space by glazed screens

IT suite

A large IT suite is provided which can accommodate up to 20 standard work stations. The suite is separated from the library space by a glazed screen.

Meeting room

A further large meeting room is provided on this floor.



Third floor plan

Event space

This is intended as a flexible space that can accommodate a wide range of uses and has direct access onto a roof terrace.

Plant

The roof will contain plant equipment that serves its ventilation strategy, mechanical and electrical installations. The dimension of the plant space has been verified by the M&E Engineers. We will be giving consideration in the next design stages to ensure that it is acoustically sealed.

Kitchen / Preparation room

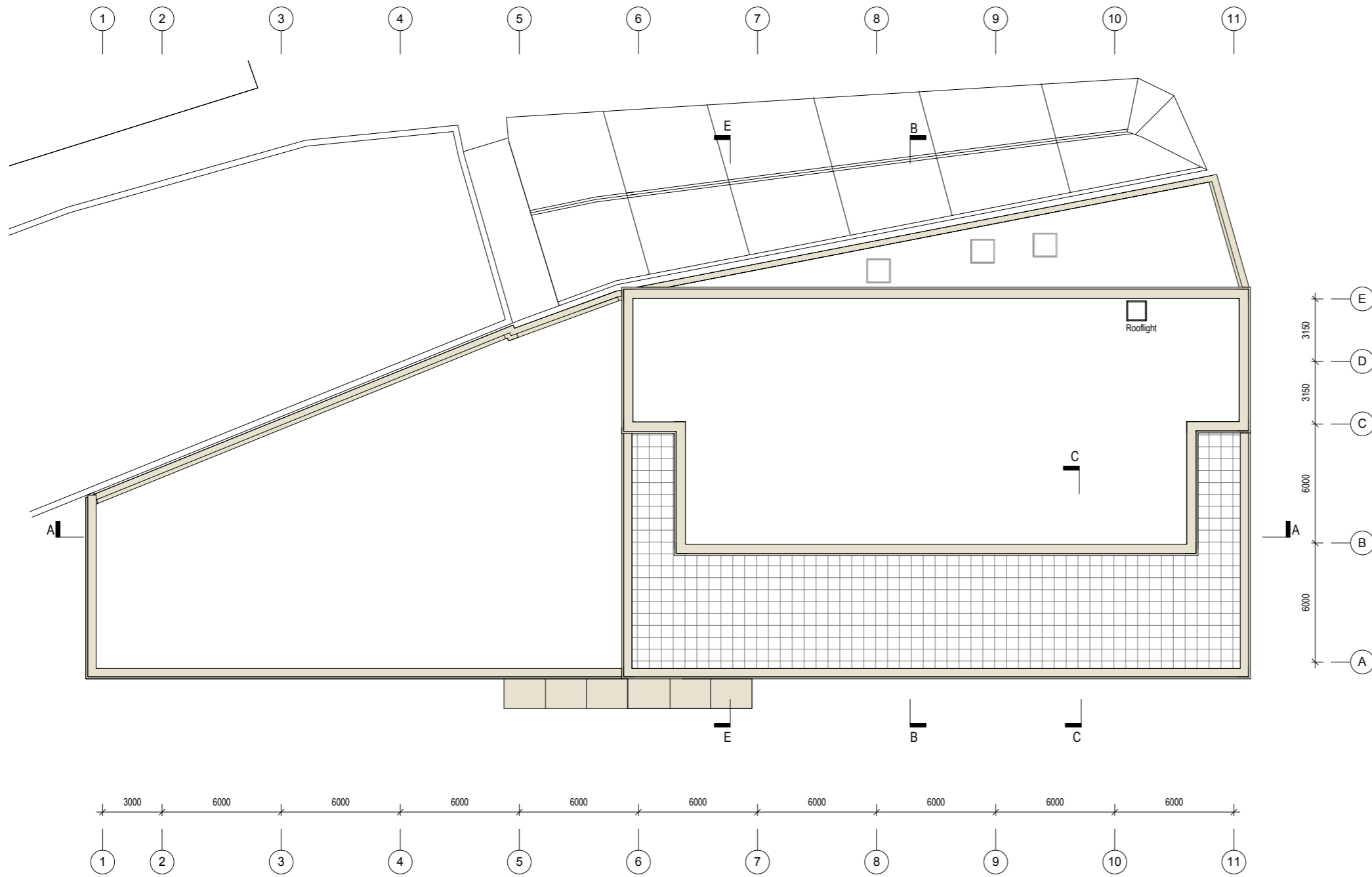
A space has been included for the preparation of food and drinks when the Event Space is in use. Again this room is modest but practical.

Toilets

To facilitate the hosting of events outside of normal library opening hours the Event Space must be able to operate independently. Toilet facilities are therefore included on this floor too.

The Terrace

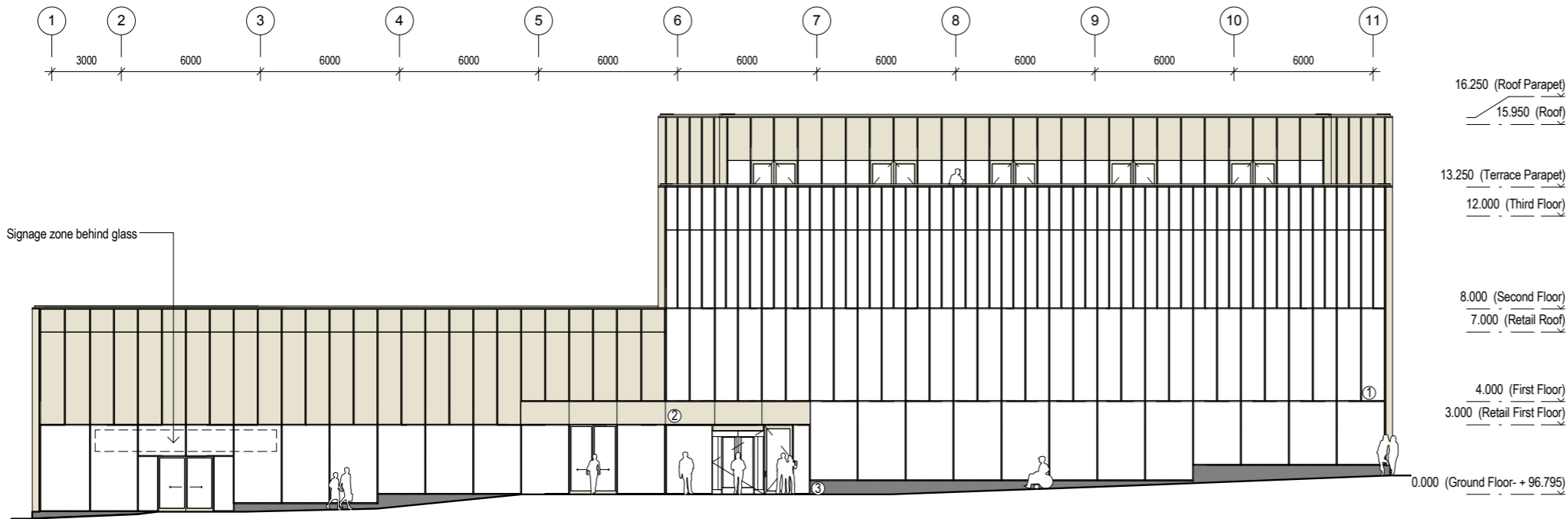
Perhaps one of the most exciting spaces within the building, the terrace will be accessible to everyone. We have added a lobby to ensure that it can be accessed when the event space is in use.



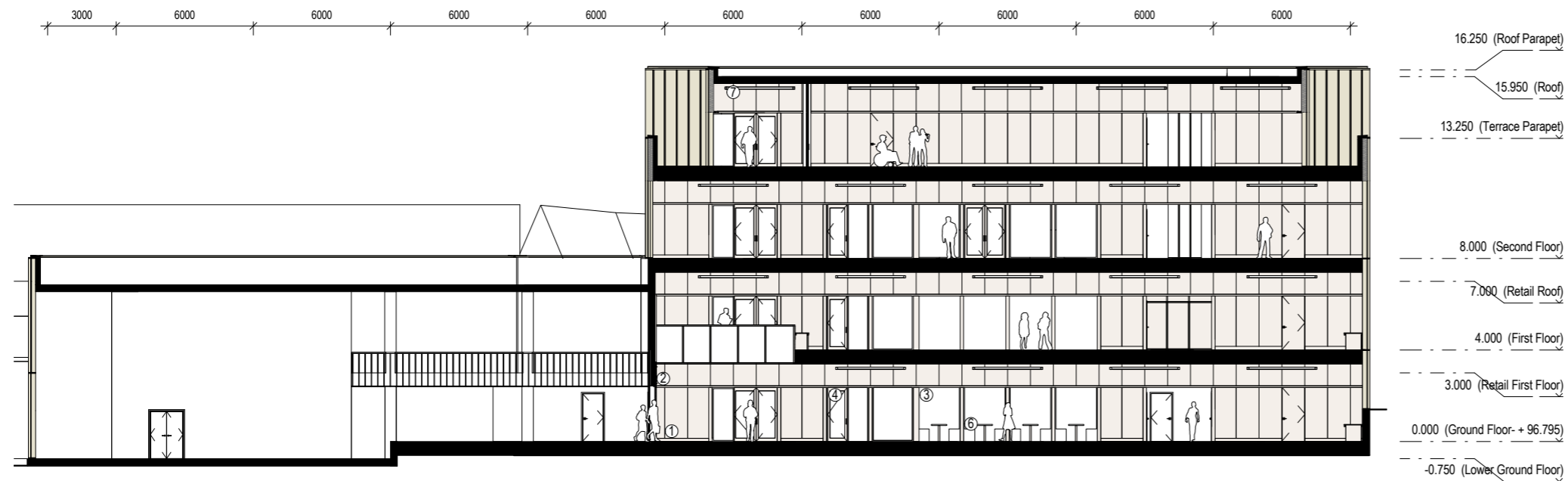
Roof plan

The building has a flat roof. This is no longer the problem that it was 50 years ago due to material and technological advancements. It will be covered in rigid insulation board and a EPDM membrane that has a long life expectancy and warranty. It is also dimensionally stable so is not affected by changes in temperature or weather.

Access to the roof will be limited to essential maintenance. A Mansafe system will be installed to ensure this access is safe and in compliance with the current codes.



South Elevation - May Day Green



Section AA

Elevations

The elevational strategy for the building has developed considerably during Stage 3, but the concept remains the same - a hierarchy of open / public to closed / private from the ground floor to the top.

We have met with curtain walling manufacturers to understand the practical constraints of the available technologies and adjusted the size of the glazing panels and mullions accordingly, while still retaining the stacking effect reminiscent of a bookshelf that was developed at the beginning of the scheme.

Where the building meets the ground plinth walls have been developed to firstly ground the building aesthetically, and secondly add efficiency to the facade's manufacture by eliminating non-straight edges that would be apparent if the building followed the sloping topography.

The entrance canopy has been extended to encompass the Library & café entrances to give greater emphasis to the buildings entrance from the new square.

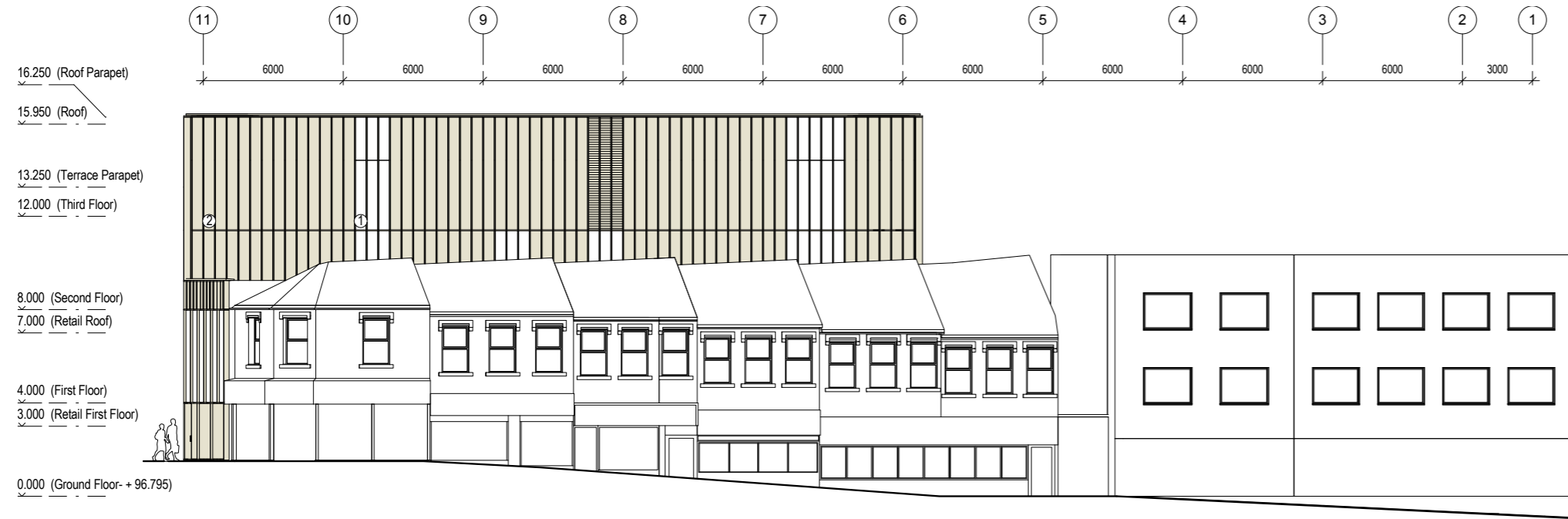
The same architectural language has now been adopted for both the Library and café to give the impression of a larger building, creating a strong edge to the new square.

External Material Legend:

- 1 Glazing
- 2 Anodised Aluminium
- 3 Black Granite rainscreen cladding

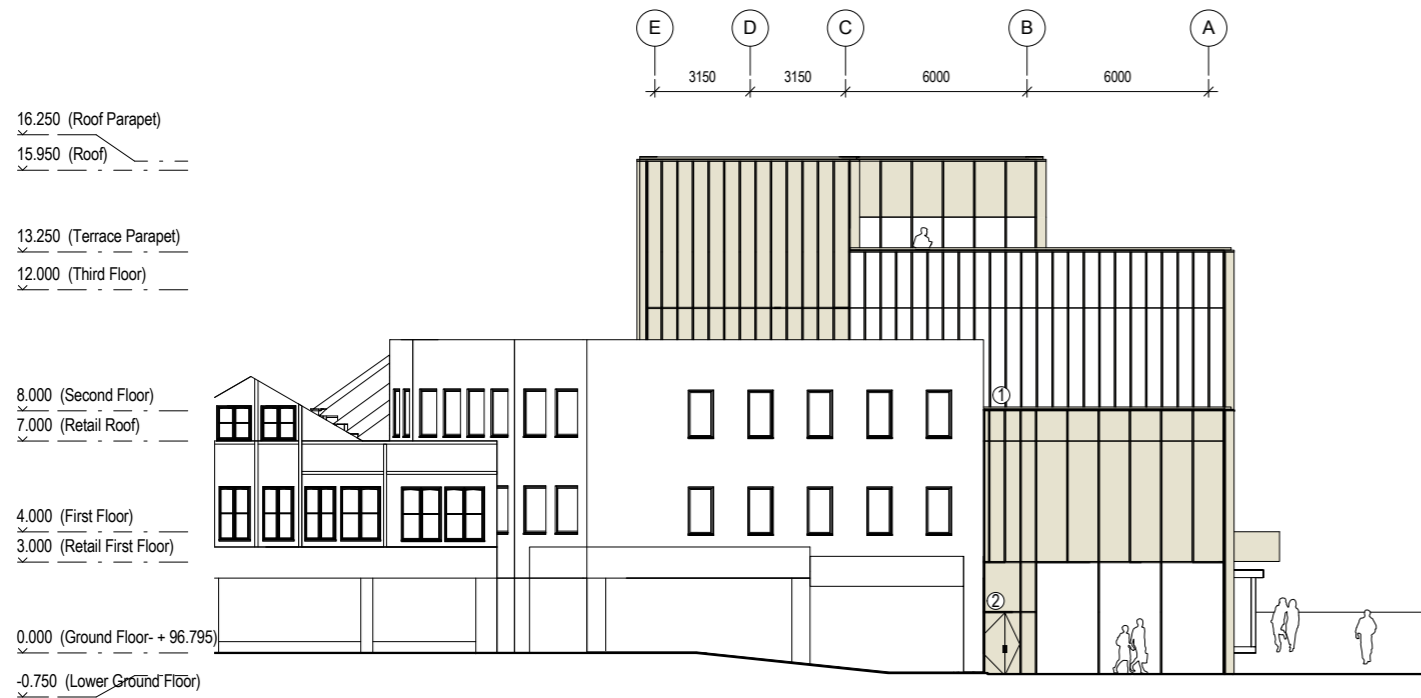
Internal Material Legend:

- 1 Oak face plywood
- 2 Perforated Oak faced plywood
- 3 Painted plasterboard
- 4 Oak framed door / screen
- 5 Treated exposed concrete
- 6 Felt lined padded seating
- 7 Felt lined ceiling raft

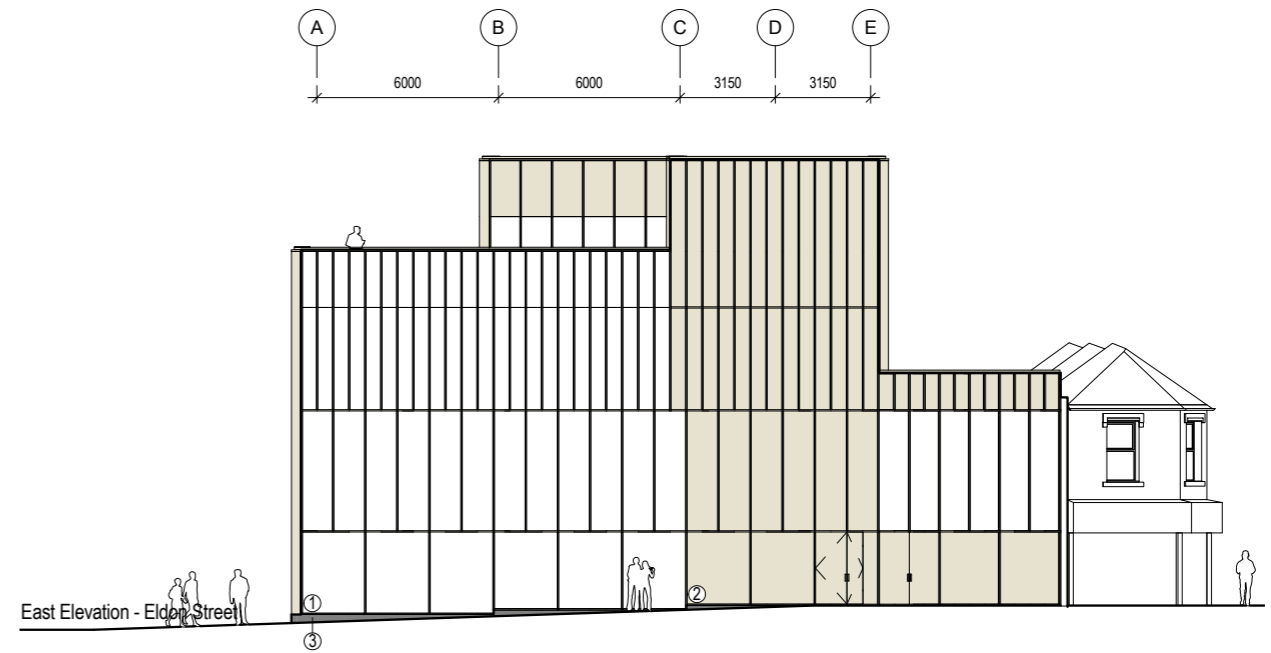


North Elevation - Burlington Arcade

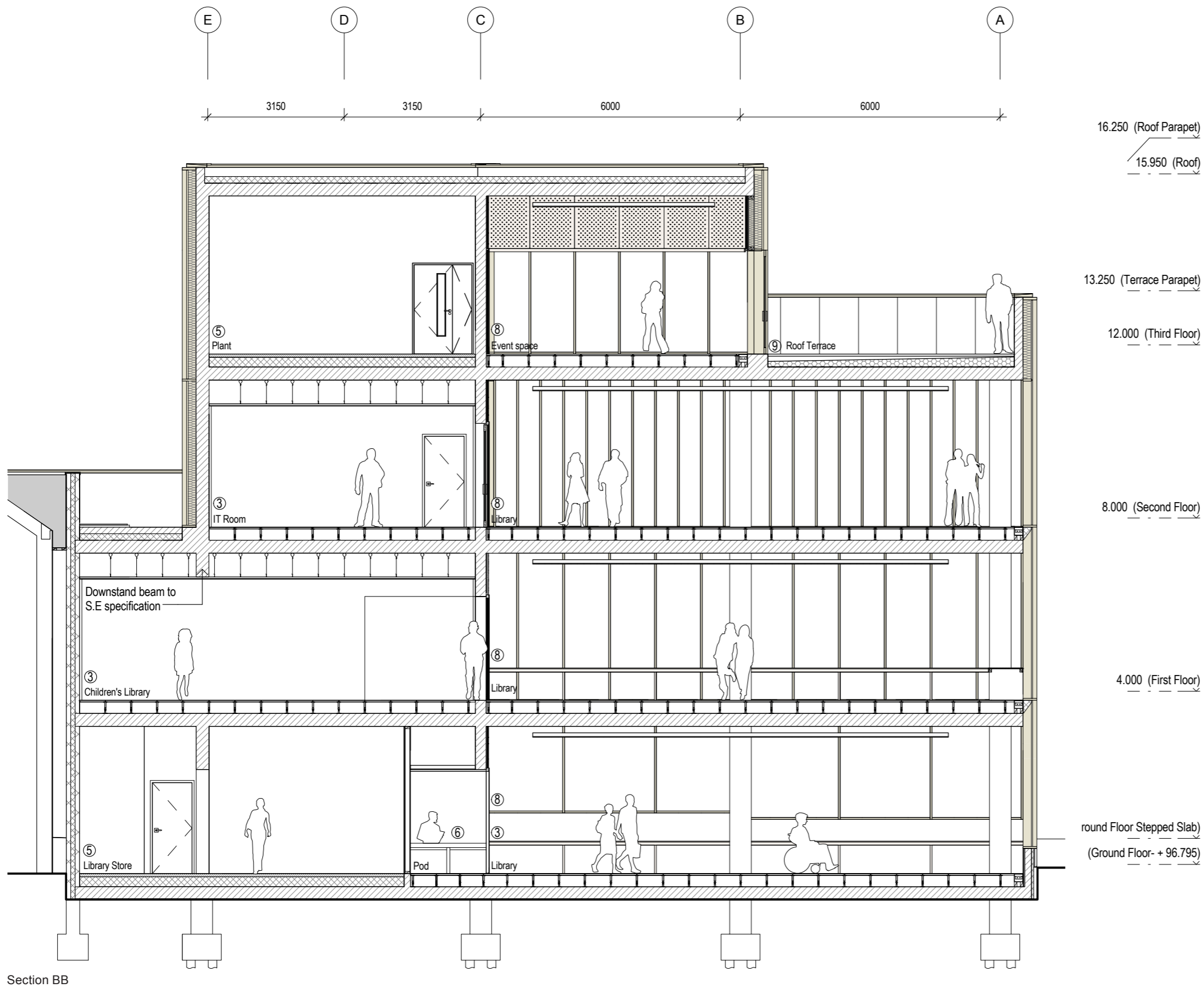
- External Material Legend:
- 1 Glazing
 - 2 Anodised Aluminium
 - 3 Black Granite rainscreen cladding
- Internal Material Legend:
- 1 Oak face plywood
 - 2 Perforated Oak faced plywood
 - 3 Painted plasterboard
 - 4 Oak framed door / screen
 - 5 Treated exposed concrete
 - 6 Felt lined padded seating
 - 7 Felt lined ceiling raft



West Elevation - Cheapside / Queen Street



East Elevation - Eldon Street



Sections

The building section describes many of the key architectural ideas - how it steps in height in response to the context, how the service and ventilation strategies have been resolved (with a view to concealing them wherever possible) and how the library spaces are tall, open and generous spaces that can accommodate a wide range of uses.

Internal Material Legend

- 1 Oak face plywood
- 2 Perforated Oak faced plywood
- 3 Painted plasterboard
- 4 Oak framed door / screen
- 5 Treated exposed concrete
- 6 Felt lined padded seating
- 7 Felt lined ceiling raft
- 8 Glazed Curtain Walling
- 9 Cementboard

16.250 (Roof Parapet)

15.950 (Roof)

13.250 (Terrace Parapet)

12.000 (Third Floor)

8.000 (Second Floor)

4.000 (First Floor)

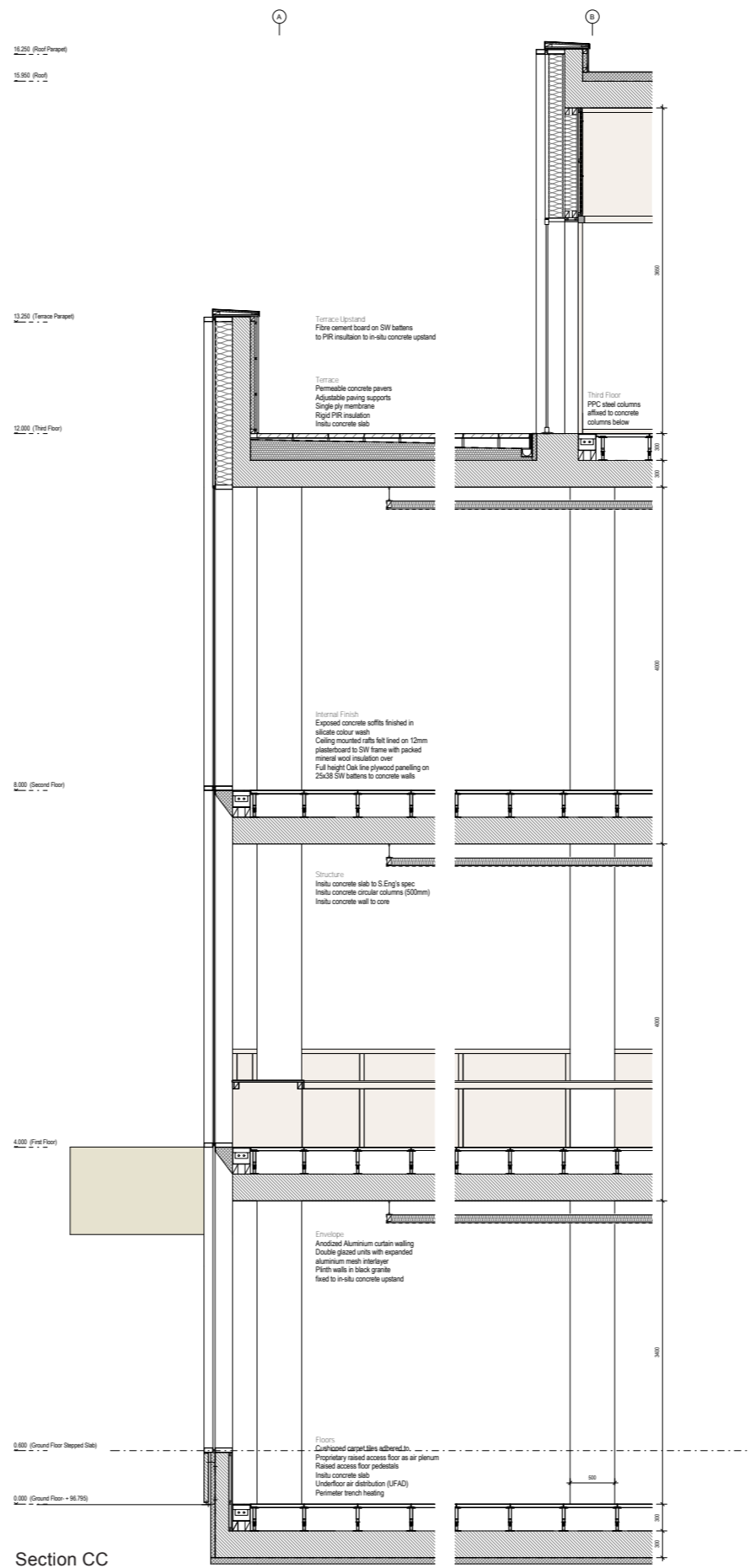
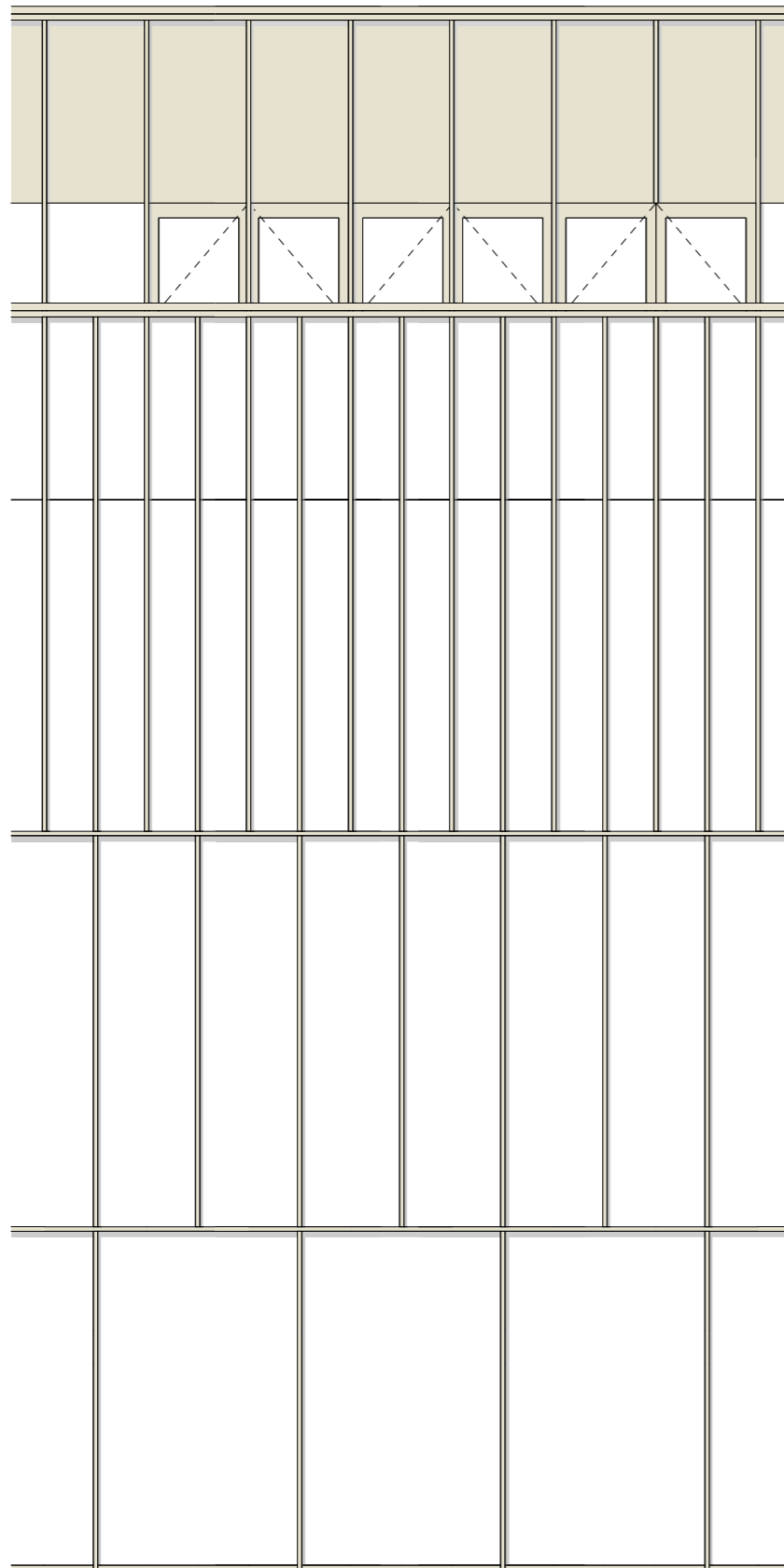
round Floor Stepped Slab)

(Ground Floor- + 96.795)

Section BB



Section EE



Detailed section

The adjacent drawing describes the detailed construction of the building. We established the general principals at an early stage which are a concrete frame, raised access floor, and glazed curtain walling.

These studies, in section and elevation, illustrate the visual implication of detailed design decisions.