

## 2022/0274

Donna Dooley

Demolition of existing single storey structure and erection of a single storey side and rear extension, two storey front extensions, roof alterations with rear dormer and associated works

Briercliff, 6 Cliff Lane, Brierley, Barnsley, S72 9HR

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### Planning History

2007/1074 – Erection of garage/store – Approved with conditions

00/0727- Erection of single and two storey extensions – Approved with conditions

00/1048 – Erection of detached garage – Approved with conditions

01/0154 – Erection of detached triple garage – Approved with conditions

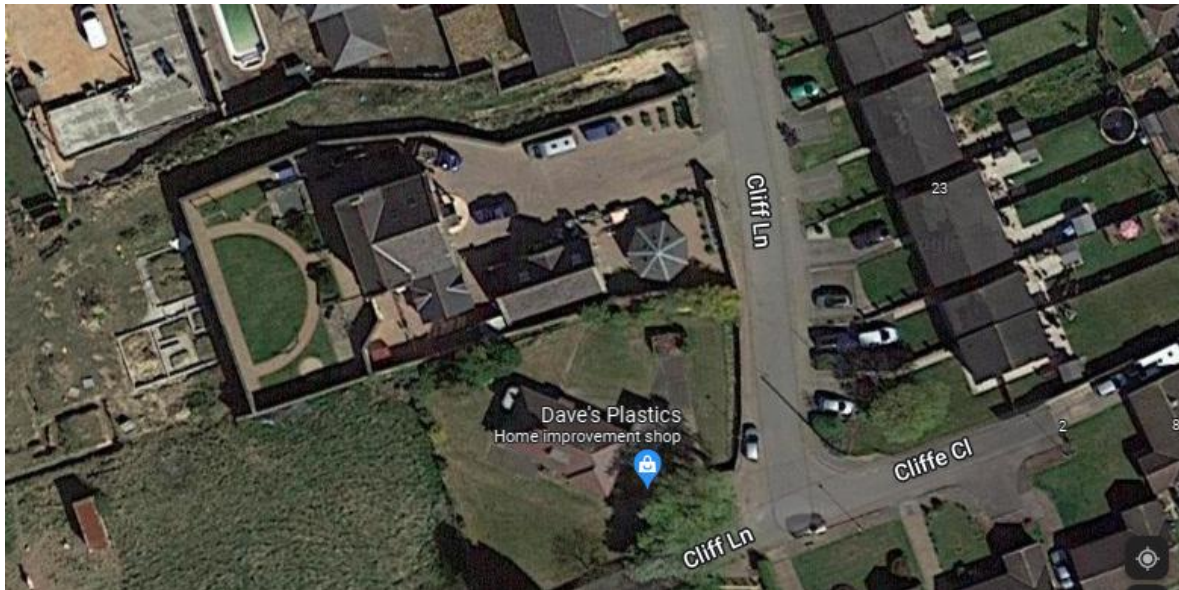
### Description

The dwelling is a large, detached dwelling set within a large plot off Cliff Lane, Brierley. The property is constructed of brick with part rendered sides/rear. The property has the benefit of a large, detached triple garage set to the front. The property also has an existing single storey side extension which is to be replaced as part of this proposal. The dwelling has a large rear garden which extends to fields to the rear.

The immediate neighbouring properties include a bungalow to the southeast known as number 8 Cliff Lane and two, two storey dwellings set to the north, known as 4b and 4c Cliff Lane. The surrounding dwellings are constructed of a mix of brick and stone finishes.







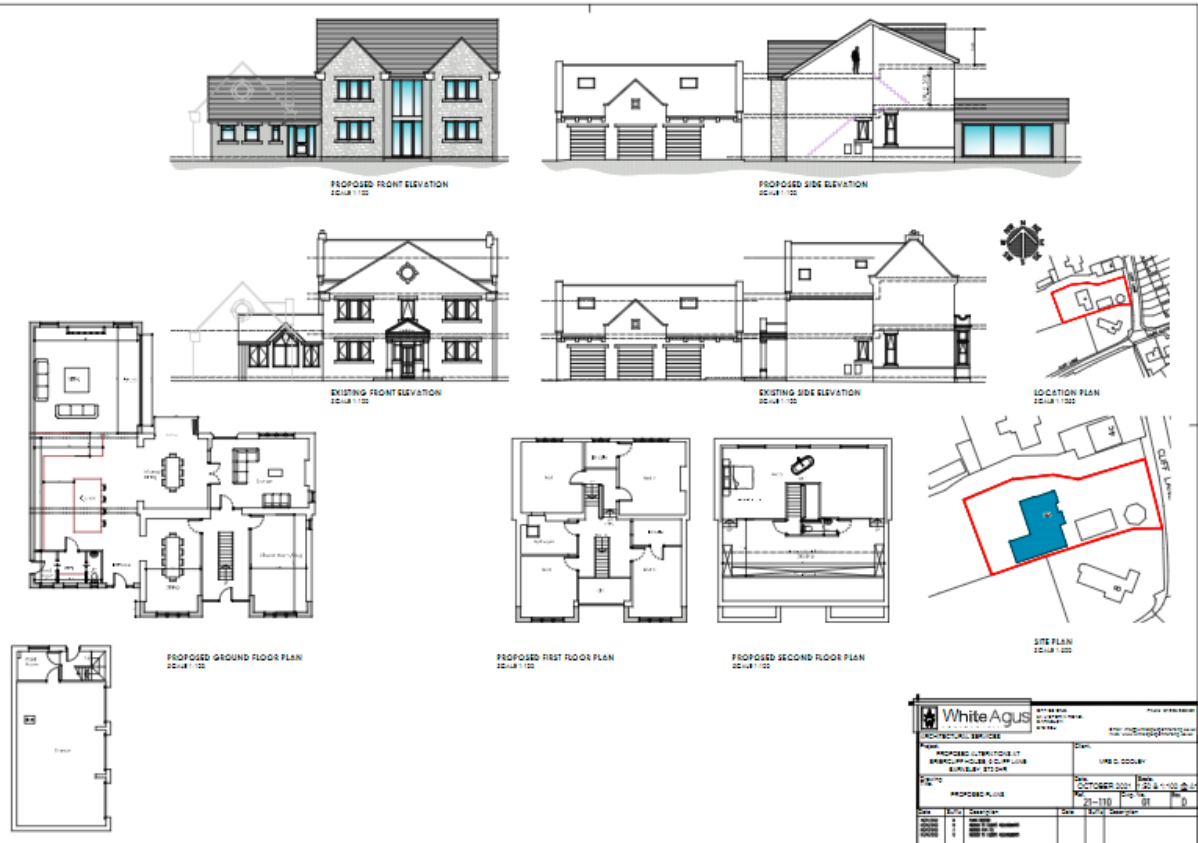
### **Proposed Development**

The proposal involves the demolition of the existing single storey side extension and the erection of a single storey side and rear extension, two storey front extensions, roof alterations with rear dormer and associated works.

The plans have been amended during the course of the application and the two-storey side extension and single storey rear extension have been reduced to single storey with a pitched roof and the projection of the rear extension has also been reduced. In addition, the proposal now includes a loft conversion and a rear dormer window which are permitted development.

The proposed single storey side extension projects from the side of the existing dwelling by approx. 7.2m and projects to the rear of the property by approx. 7.3m. The two storey front gable extensions project approx. 1m from the front elevation of the dwelling and feature a pitched roof and a two-storey glazed entrance area element. The proposals also include a change to the roofline of the existing property from a single gable frontage, to allow for two feature front gables to be formed.

The materials proposed include a natural stone cladding to the front elevation and off white render to the sides/rear. The roof tiles proposed would be of a slate effect. The existing brick built triple garage is to remain.



**Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise. The recently revised National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

### **Local Plan Allocation – Urban Fabric**

The Barnsley Local Plan (BLP) was adopted at the full Council meeting held 3rd January 2019. In addition, the Local Authority (LPA) has adopted a series of Supplementary Planning Documents (SPD), and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process. In reference to this application, the following policies are relevant:

***Policy SD1: Presumption in favour of Sustainable Development*** – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

***Policy GD1: General Development*** – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

***Policy D1: High quality design and place making*** – Supersedes Core Strategy Policy CSP 29 and sets out the overarching design principles for the borough. Policy D1 States that development is expected to be of high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.

***Policy HE1: The Historic Environment*** - We will positively encourage developments which will help in the management, conservation, understanding and enjoyment of Barnsley's historic environment, especially for those assets which are at risk

### Supplementary Planning Document: House extensions and Other Domestic Alterations

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should;

- Be of a scale and design which harmonises with the existing building;
- Not adversely affect the amenity of neighbouring properties;
- Maintain the character of the street scene; and
- Not interfere with highway safety

The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise.

## **Consultations**

Conservation Officer – No objection subject to the use of natural stone coloured cladding

## **Representations**

Neighbour notification letters were sent to surrounding properties, two objections were received and in summary raised the following points;

- I am against any demolition and building any new structure
- Masking view
- Noise
- Destruction of natural life
- Overbearing
- Over dominant
- Impact on visual amenity
- Insufficient information
- Encroachment
- Impact of two storey extensions on habitable room windows

Following the receipt of the amended reduced proposals/plans, a re-consultation was carried out with the surrounding residents. The following comment has been received as a result:-

'Further to our objection to the initial proposal, the amended 'Reduced in Scale' plans have been discussed in great detail, amended and drawn and sent to us via email for our consideration prior to re-submission. An invitation was extended by the applicants to meet them at their property, discuss their updated ideas and proposals which was very thoughtful, considerate and much appreciated. We therefore whole heartedly accept and support the updated plans and feel a 'True Compromise' has been reached amicably.'

## **Assessment**

### Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and highway safety.

### Visual Amenity

The property is a large, detached dwelling set within a large plot. The dwelling has been extended over the years with a detached triple garage to the front and a side extension. The side extension would be demolished and replaced as part of this proposal. The SPD House Extensions states that 'The front elevation of a building is the most important for its contribution to the street scene. Generally, therefore, such extensions need to be of a high standard of design and will not be considered acceptable where they detract from the quality of the existing

dwelling or character of the street scene or cause overshadowing to neighbouring dwellings. Large extensions and conservatories are likely to appear particularly intrusive and will not normally be acceptable.'

This application seeks to create a defined front entrance area with glazing to the ground and first floor and symmetrical appearance, with the alteration and formation of two large front gables, projecting approx. 1m to the front elevation. The proposal also includes a single storey side and rear extension with pitched roofs which is acceptable and in keeping with the existing dwelling. As the proposal has been reduced in height and is set back from the front elevation, the main dwelling will remain the dominant feature in line with the SPD Guidance.

The proposed changes are to modernise and simplify the elevations and are of an updated and improved design which is acceptable in terms of visual amenity. In terms of the proposed materials, the front elevation of the dwelling would be stone clad and the side and rear elevations would be white rendered. Normally it is requested that extensions are constructed of matching materials, however it is proposed to clad the frontage in natural stone. The site is not set within the Conservation Area; however it is set adjacent to it. The Conservation Officer has no objection to the proposal subject to the use of natural stone cladding to the front elevation. There are no objections to this change from brick to stone as the proposed materials are of a high quality and the street scene is diverse with a range of shades of stone and brick, including render. The property is also set well back from the road and stone elements can also be seen on the existing property. The proposals are acceptable in terms of visual amenity in accordance with policy D1 of the Local Plan.

#### Residential Amenity

The proposal has been reduced in scale with the reduction of the height and projection of the side extension from two to single storey, thus reducing any potential overbearing or overshadowing impact of the proposal upon the bungalow to the southwest, number 8 Cliff Lane. The extensions would also be set along the southern boundary which limit any overshadowing impact due to the path of the sun in relation to the proposal. The proposal does not include any side windows which would overlook the adjacent properties.

The proposal also includes the formation of two storey front extensions, however these will not cause any significant impact to the adjacent dwellings, given their limited projection and separation distance to the adjacent dwellings. The amended proposal is considered to be acceptable in terms of impact upon residential amenity by way of overshadowing, overlooking and overbearing impact, in compliance with Local Plan Policy GD1: General Development and the House Extension SPD.



View along side boundary with number 8 Cliff Lane

#### Highway Safety

There will be no impact upon highway safety.

### Other issues

Other issues raised such as a loss of view is unfortunately not a material planning consideration. In terms of noise disturbance, the proposal is an extension to a residential dwelling, therefore there should not be any material increase in noise or disturbance to surrounding residents once the extensions have been constructed.

### **Recommendation**

**Approve with conditions**