

SITE PLAN

(Including Levels)

The proposed annexe is shown in red lines.
 Gross external area of the annexe is 32.7 square metres.
 This does not include the existing conservatory, which is to be incorporated into the annexe.
 The external area of the existing house is
 Ground floor (inc. conservatory) 91 square metres.
 First floor 74.5 square metres
 Total 165.5 square metres

The garden slopes downwards from west to east by approximately 800mm.
 In a north/south direction it is reasonably level.

Vehicular access will be via Crane Moor Nook and there is space for a disabled ramp if and when necessary.

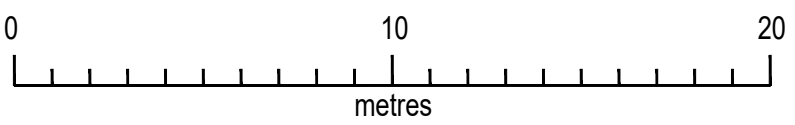
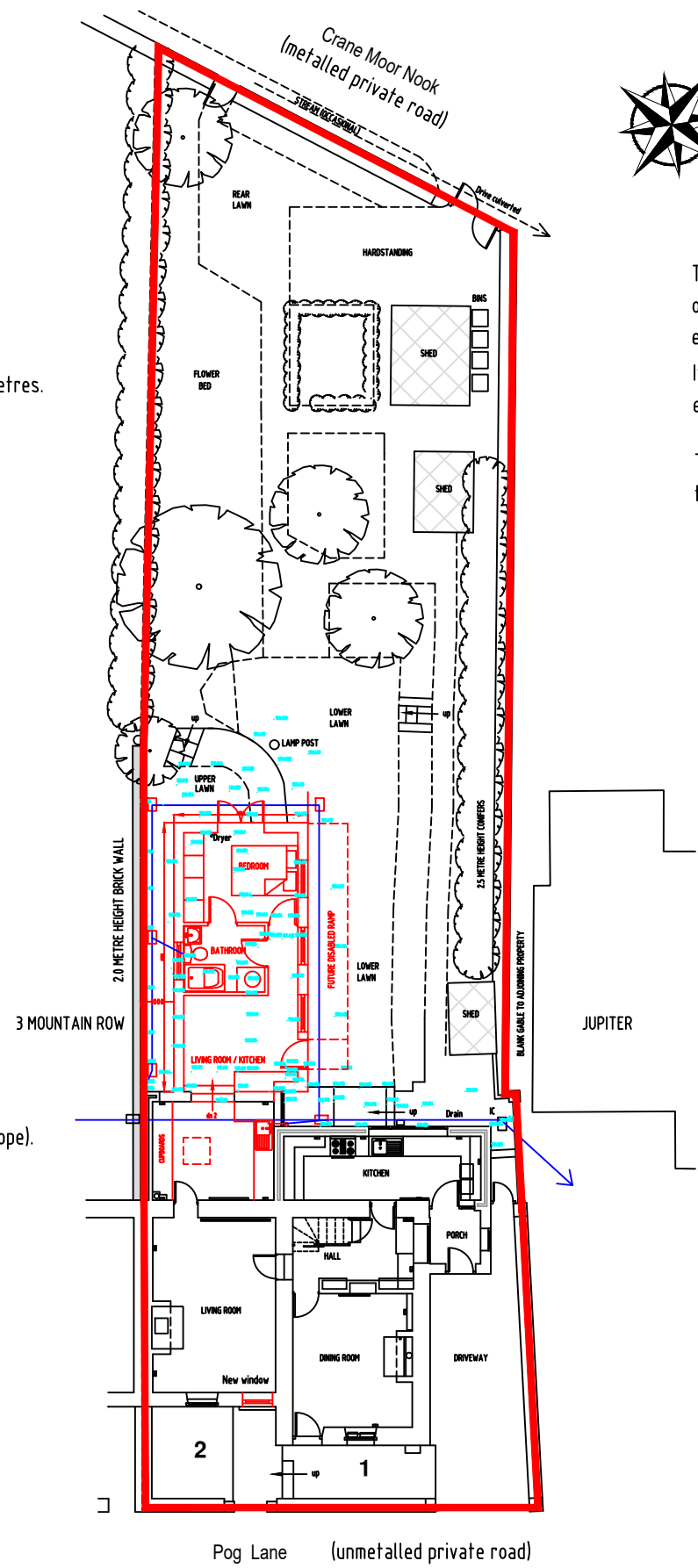
The neighbour at Jupiter has a blank gable wall facing the site and will not be affected.

The neighbour at 3 Mountain Row has built a 2 metre height brick wall and will not be affected by the development except for the sight of a roof slope.

The roof slope is kept to a minimum (20 degree slope).
 The annexe is sited one metre from the wall

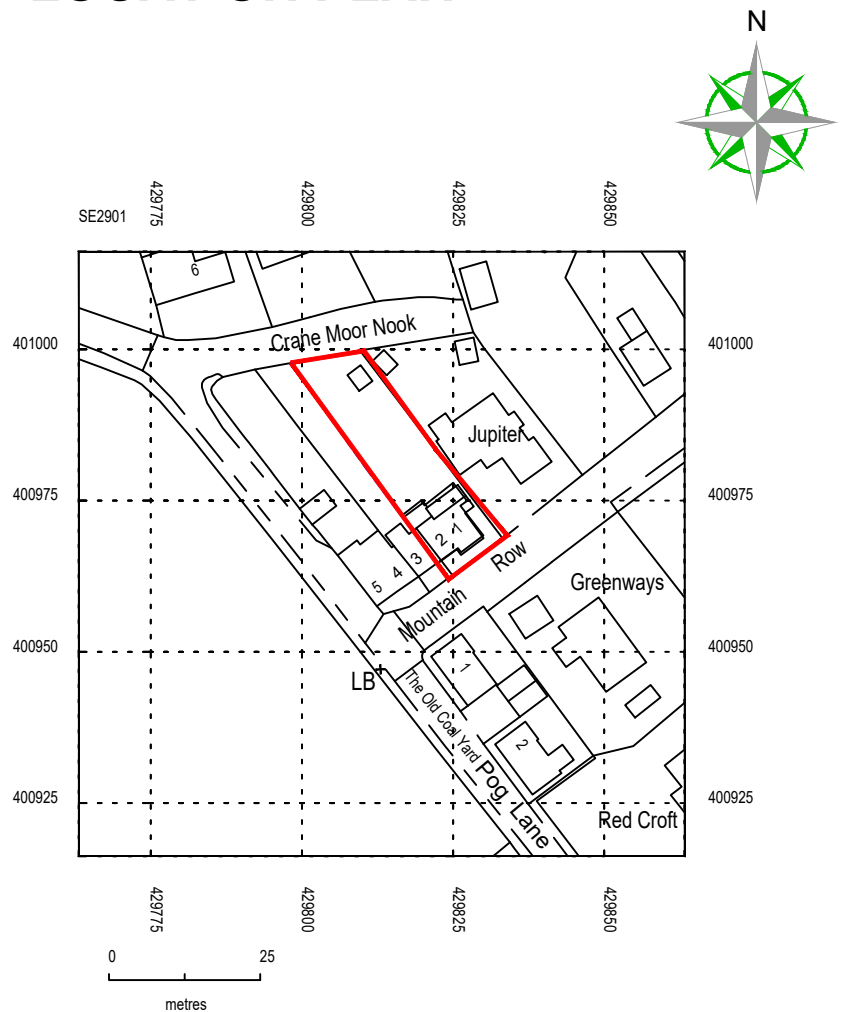
See sections and elevations.

Drainage to be connected to the existing combined system as shown on the plan.
 There is sufficient fall on site for drainage



The existing kitchen and first floor over (bedroom 2) are a two-storeyed extension that was built over 50 years ago. It has an area of 15 square metres on each floor.
 The conservatory (12.5 square metres) and the front porch (3.5 square metres) were added 15 years ago.
 The property was originally two dwellings converted into one approximately 40 years ago.
 Total site area of application 467 sq. m. (558 sq. yds.)

LOCATION PLAN



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 Ordnance Survey 100053143

PROPOSED GRANNY ANNEXE AT 1, MOUNTAIN ROW, CRANE MOOR NOOK
SEE OTHER PLANS FOR MORE DETAIL

Mr A and Mrs AM Rowley
1, Mountain Row,
Pog Lane,
Crane Moor Nook,
Sheffield S35 7AN

Scale	Date
1:200:1/1250	1st May 2026
PRINT ON A3	