

**Notes:**

**General Spec Notes:**

**External Wall (Brickwork)**

Ext. leaf 103mm Kilkreggan Multi wirecut brick by Ibstock Bricks code 2767 laid stretcher bond with bucket handle joints, with mortar mix 1:1:6. Feature soldier course below windows to match main facing brick (see architects drawings). Structural engineer to confirm the crushing strength. Cavity to be 120mm wide with 60mm thick Partial Fill Celotex CW4000 insulation. Ensure cavity is clean of mortar snots or other debris during construction. Insulation to be fitted in strict accordance with manufacturers recommendations with all joints foil taped. Internal 100mm Aglite concrete block with mortar mix 1:1:6. 15mm plaster finish with 3 mm skim. Structural engineer to confirm block strength. External wall to achieve U-Value of 0.25 W/m2K

**External Wall (Render)**

Parex render system with fine scraped finish, colour Athens Sand J39, applied directly to 100mm Aglite concrete block outer leaf. Cavity to be 120mm wide with 60mm thick Partial Fill Celotex CW4000 insulation. Ensure cavity is clean of mortar snots or other debris during construction. Insulation to be fitted in strict accordance with manufacturers recommendations with all joints foil taped. Internal 100mm Aglite concrete block with mortar mix 1:1:6. 15mm plaster finish with 3 mm skim. Structural engineer to confirm block strength. External wall to achieve U-Value of 0.25 W/m2K

**Internal Walls (Blockwork)**

100mm Aglite concrete block with mortar mix 1:1:6. 15mm plaster finish with 3 mm skim. Structural engineer to confirm block strength. 120kg/m2 minimum mass per unit area.

**Internal Walls (Stud Partition)**

Gypwall Classic. 70mm Metal c-stud at 600mm centres. Overall thickness 100mm, 12.5mm wall boards to both sides and 100mm slightly compressed Crownwood Insulation. Moisture resistant boards to be used in Bathrooms. Board density to be min 10kg/m2 and insulation density to be min. 10kg/m3 in line with Bldg Regs Part E Section 5.

**Ground Floor Construction**

75mm screed on 75mm Celotex FI5000 insulation on 500g separating layer on 150mm concrete slab on 2000g visqueen dpm on 50mm sand blinding on 150mm well compacted hardcore. U-Value 0.18W/m2K.

**First Floor Construction**

22mm thk flooring grade chipboard on 230mm TJI joist @600 c/c span 15mm plasterboard and skim to underside.

**Roof**

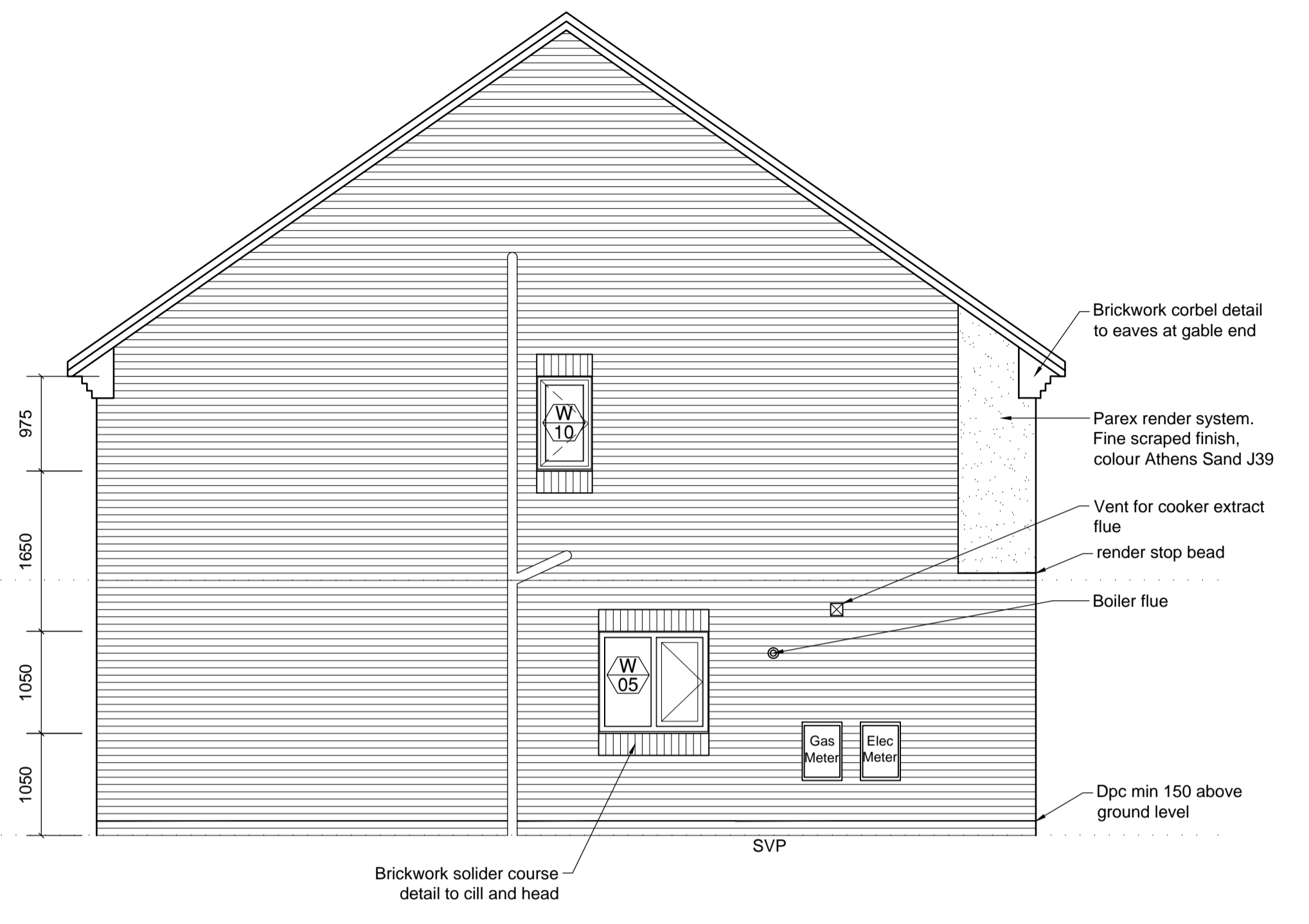
Northstone Donard Interlocking tiles on 38 x 25 sw treated batten on Kingspan Nilvent breathable felt or equal approved on trusses rafters to specialist details. Ridge and verge system to match roof finish. Roof insulation to be zero 'O' Zone depleting, Crown Rafter Roll 32 (or similar approved mineral wool insulation) minimum total depth to be 300mm, to achieve a U-Value of 0.15 (W/m²K). Insulation to have a minimum density 10 kg/m³.

**Windows**

PVCu windows, Veka Matrix 70mm system, colour white, doubled glazed 28mm self draining, incorporating low 'E' glass and internally glazed, the glass is to be Pilkington 'K' glass to increase daylight factor, the glazed cavity is to be argon filled to increase the 'U' value. Obscure units to bathrooms to be Cotswold (to achieve U-value 1.4 W/m2K). Living Room windows to be 750mm (10 course F.F.L.) height or lower and windows should be easy to open/operate. People should be able to see out of the window whilst seated. Wheelchair users should be able to operate at least one window in each room. Window handle to be no higher than 1200mm above F.F.L. Kitchen and Bathroom windows to 1050mm (14 courses F.F.L.)



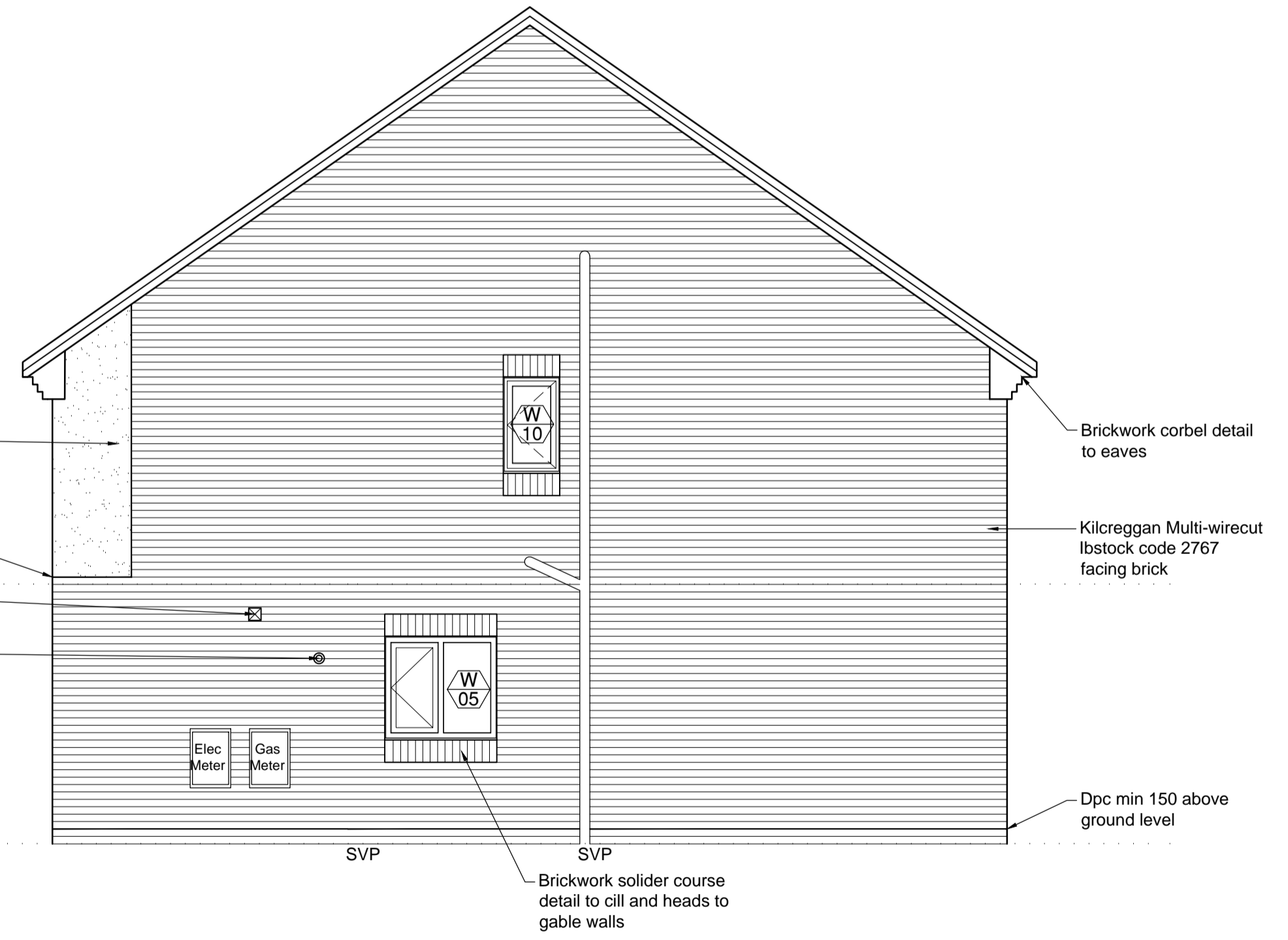
**01 Elevation A**  
1:50



**02 Elevation B**  
1:50



**03 Elevation C**  
1:50



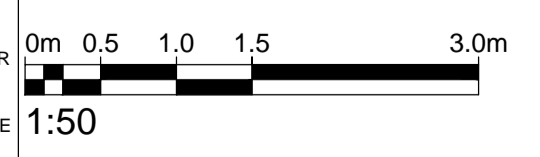
**04 Elevation D**  
1:50

|   |       |          |         |          |          |
|---|-------|----------|---------|----------|----------|
| Brick and roof tile specification amended due to availability |       |          |         |          |          |
| P3  | PHapp | 20-10-17 |         |          |          |
| Sip relocated - hotc run shortened                            |       |          |         |          |          |
| P2  | PHapp | 4-7-17   |         |          |          |
| FIRST ISSUE - Building Regulations Issue                      |       |          |         |          |          |
| P1  | PHapp | 4-7-17   | LS      | 17.07.17 |          |
| COMMENT   |       |          |         |          |          |
| REV   | DRAWN | DATE     | CHECKED | DATE     | APPROVED |

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CLIENT  
**Berneslai Homes**

PROJECT  
**New Residential Development  
Bellbrooke Avenue, Darfield**

TITLE  
**Proposed Detailed Elevations**

PROJECT  
**New Residential Development  
Bellbrooke Avenue, Darfield**

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|-------------------------------------|-------------------------|--|---|
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| SCALES<br>1:50                      | DISCIPLINE<br>ARCHITECT | PROJECT NUMBER<br>16-1-1233  |   |
| DRAWING NUMBER<br>NPS-DR-A-(00)-101 | REV CODE<br>P3          | STATUS CODE<br>S4  | PURPOSE OF ISSUE<br>BUILDING CONTROL APPROVAL |
| DRAWN BY<br>PH/BST                  |                         | DRAWN BY<br>PH/BST   |   |