

Design and Access Statement

Residential Development
Chapelfield Lane, Penistone

September 2009

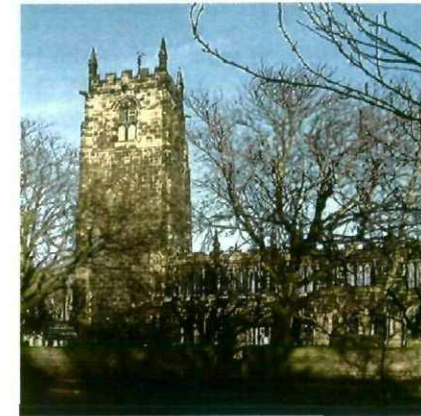


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M3008.08

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1.0 Executive Summary



Nicol Thomas are pleased to submit this Design and Access Statement in connection with the proposed residential development at Chapelfield Lane, Penistone.

The purpose of this document is to *outline* the understanding and significance of the residential units in both design and site usage and the impact that this will have on the immediate environment and wider community.

This document is not exhaustive and is purely an accompanying document to the planning submission drawings; it must be read in conjunction with all other components of the planning submission.

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2.0 Introduction



This application submission seeks planning permission for the residential development of land at Chapelfield Lane, Penistone.

The total site area is approx 0.10ha. The proposals allow for residential accommodation consisting of 2 bed bungalows.

This document is a response to planning and associated issues relative to the proposals for a new housing scheme with associated car parking.

The development of this pocket of land on the edge of an existing housing estate will provide the area with additional housing to meet current demands.

The following pages describe the site and its context, its key characteristics and the opportunities that exist. It will also set the scene in terms of the planning policy and masterplan context and begin to outline the aspiration of this development.

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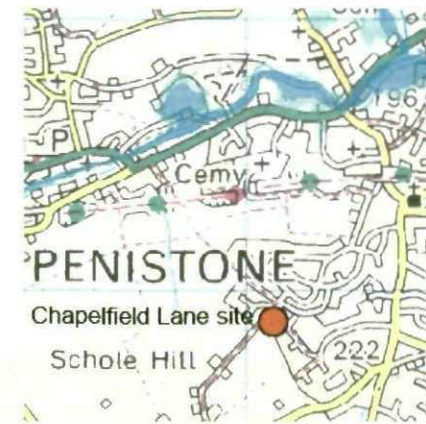
3.0 Site Analysis



Wider Context:

The site is located on an infill piece of land on the edge of an existing housing estate in Penistone. The land formerly housed domestic garages.

The application site lies outside any area of risk on the Environment Agency's flood risk map (below), therefore no flood risk assessment will be required.



■ Flooding from rivers or sea without defences

■ Extent of extreme flood

■ Flood defences

■ Areas benefiting from flood defences

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LINKS:

BY AIR

Leeds Bradford International Airport is the most accessible to the site. This is approximately 55 minutes drive accessed via the A629, M62 and M606 motorways, the A6177 and A658. Manchester International Airport is also less than one hours drive away via the A628, M67, M60 and M56.

BY RAIL

Railway networks are good in the area with Penistone railway station being less than one mile from the site. This provides direct access to neighbouring Barnsley and Huddersfield.

BY ROAD

The site is accessed off Chapelfield Lane which runs onto Clarel Street which in turn connects with the main road through Penistone; Market Street.

The site is approximately 15 minutes from the M1 motorway providing links to Leeds, Doncaster, the midlands and beyond.

Leeds is approximately 35 minutes drive from the site, Doncaster is around 40 minutes away with Barnsley a mere 15 minutes drive from the site.

BY BUS

The nearest bus stop is around 120metres from the site with routes linking to Market Street. The buses provide easy access to Penistone town centre and also connect to the railway station. Buses run 3 times an hour between Penistone and Barnsley and up to 6 times a day to Huddersfield, operated by Stagecoach Yorkshire.

PEDESTRIAN

Amenities in Penistone town centre are just a short walk away from the site. These include local shops, dentists, doctors and green space. (See following context diagram.)

Penistone is a market town with regeneration plans in place for the market area. There are also proposals for a new Tesco supermarket in the town.

Nurseries, infant, primary and secondary schools are all within easy reach of the site providing all levels of education. The University of Huddersfield can be accessed either via road, bus or rail offering further education.

Education facilities are excellent in the area, there are also nearby leisure facilities with Penistone Leisure Centre being within a mile of the site offering multiple sports sessions and a gym.

Recreational activities can also be offered in Penistone with large amounts of open space for walking and cycling including Westwood Country Park and the reservoirs at Midhopstones. There are also 2 golf clubs in the immediate area.

Due to the size of the proposed development, a Transport Assessment will not be required.

Application Site:

The application site is an infill piece of land on the fringes of an existing housing estate. It is currently used for parking by the existing residents. Access is off Chapelfield Lane.

Bounding the site to the south and west are open fields. Existing residential properties lie to the south east and north east. The access road is to the east of the site, to the north west is a public footpath followed by more housing.

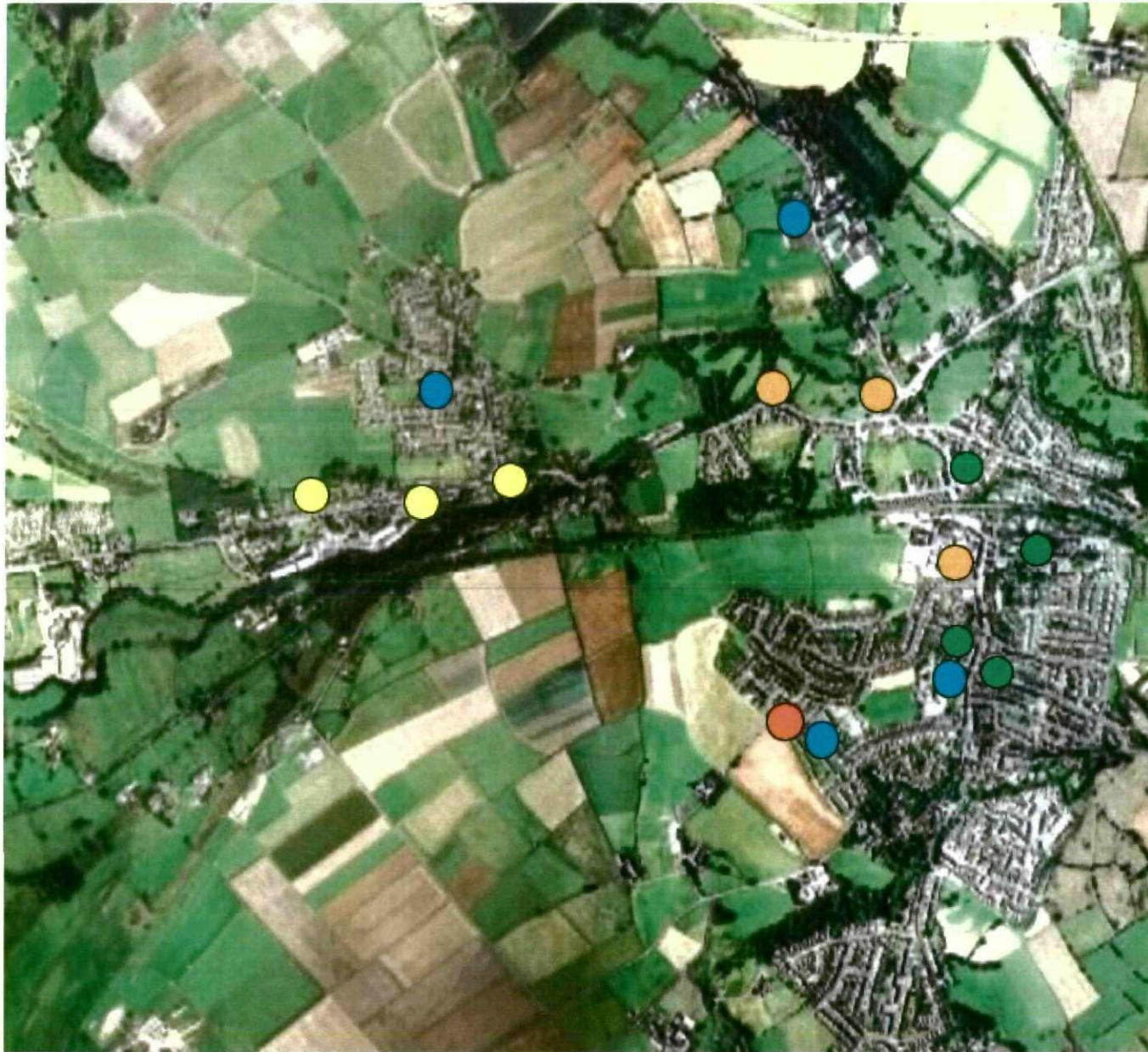
The main restrictions to development are maintaining views through to the open green areas and overlooking distances to the existing properties.

There is a fall of approximately 1.7m across the site from the fields down to the road. Photographs of existing properties demonstrate this.

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- Education Facilities**
 - St John the Baptist CofE Infant School, Chapelfield Lane S36 6FS.
 - St John the Baptist CofE Junior School, High Street, S36 6BS.
 - Thurlstone Primary School, Royd Moor Road, S36 9RD.
 - Penistone Grammar School, Huddersfield Road, S36 7BX

- Medical Facilities**
 - Penistone Health Centre, Shrewsbury Road, S36 6DY.
 - Penistone Group Practice, 19 High Street, S36 6BR.
 - S Chaudhuri & T Jones (dentist) High Street, S36 6BR.
 - Penistone Physiotherapy and Sports Injury Clinic, Bridge Street, S36 6AJ.

- Places of Worship**
 - Kingdom Hall of Jehovah's Witnesses, Windmill Lane, S36 9RP.
 - St John the Evangelist CofE Church, Manchester Road, S36 9QR.
 - St Saviours at Thurlstone, Manchester Road, S36 9QS.

- Retail/Leisure**
 - Co-op supermarket, Market Street, S36 6BZ.
 - Bridge End Garage, Barnsley Road, S36 8AF.
 - Penistone Leisure Centre, Thurlstone Road, S36 9EF.

- Application Site**

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4.0 Planning Policy Context



Pre-application discussions have been held with Barnsley MBC Planning department. These discussions have led to the final scheme which is presented within this planning application.

Guidance within national planning policy and the following local planning policy documents has been followed throughout the design process.

- Barnsley MBC Unitary Development Plan
- Barnsley MBC UDP Supplementary Planning Guidance:
 - 02: the design and layout of new housing
 - 03: infill residential development
 - 11: design to avoid crime
 - 20: open space provision on new housing developments
 - 21: the design and layout of open space on new housing developments
 - 25: landscape design guidance for development in barnsley
 - 32: parking, transport assessments and travel plans
- Planning Advice Note 34: Affordable housing in new residential developments

The Barnsley MBC Unitary Development Plan, adopted in 2000, provides the statutory policy framework for this application. This document aims to outline the planning policies relevant to the proposals.

The adjacent extract from the Penistone UDP proposals map has the application site highlighted in red.

The yellow colour which surrounds the site from the north round to the south east represents areas which are covered by housing policy PE2.

The green line to the west of the site indicates the greenbelt boundary.

The pink shading represents existing community facilities, in this case the local infant school.

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Particular attention has been made to the aims and objectives of the following key policies in developing the application proposals.

Barnsley MBC Unitary Development Plan:

H5 The council will promote diversity of dwelling type, size, density and design throughout the borough to meet the full range of housing need. In particular, the council will encourage, in appropriate locations throughout the borough:

- a) housing for key workers
- b) affordable housing and housing for rent
- c) housing for the elderly and those with disabilities
- d) homes intended for single person households

GS2 The council will continue to reclaim and improve derelict, disused, degraded and under used land. Priority will be given to those schemes which:

- a) provide sites for new development, especially for industrial, commercial or housing purposes.

T22 New development shall be provided with no more car parking, servicing and manoeuvring space than is necessary in order to ensure there is no significant adverse impact upon:

- a) highway safety
- b) the local environment including amenity of local residents and adjoining land uses
- c) the vitality and viability of Barnsley town centre and other shopping and commercial centres

T27 The council will seek to encourage and support walking as a mode of transport, and the *design and layout* of all developments will be required to take account of the needs of pedestrians.

Barnsley MBC Supplementary Planning Guidance:

SPG02 - The Design and Layout of New Housing:

Schemes should efficiently use land and it is important that development should achieve a density of at least 35 dwellings per hectare.

The council will expect developments to be provided with no more than 1.5 car parking spaces per dwelling.

The layout and design of dwellings on the site must ensure that a high standard of privacy, light and outlook is obtained for existing and future residents.

SPG03 - Infill Residential Development: Habitable room windows should be a minimum of 21 metres from original windows in existing dwellings.

Habitable room windows should be a minimum of 10 metres from the boundary with existing private gardens.

Walls without habitable room windows should be at least 12 metres from original habitable room windows in existing dwellings to minimise overbearing or overshadowing effects.

SPG11 - Design to Avoid Crime:

Parking areas and garage courts should be well lit and in a location visible from the highway, not screened by walls or planting

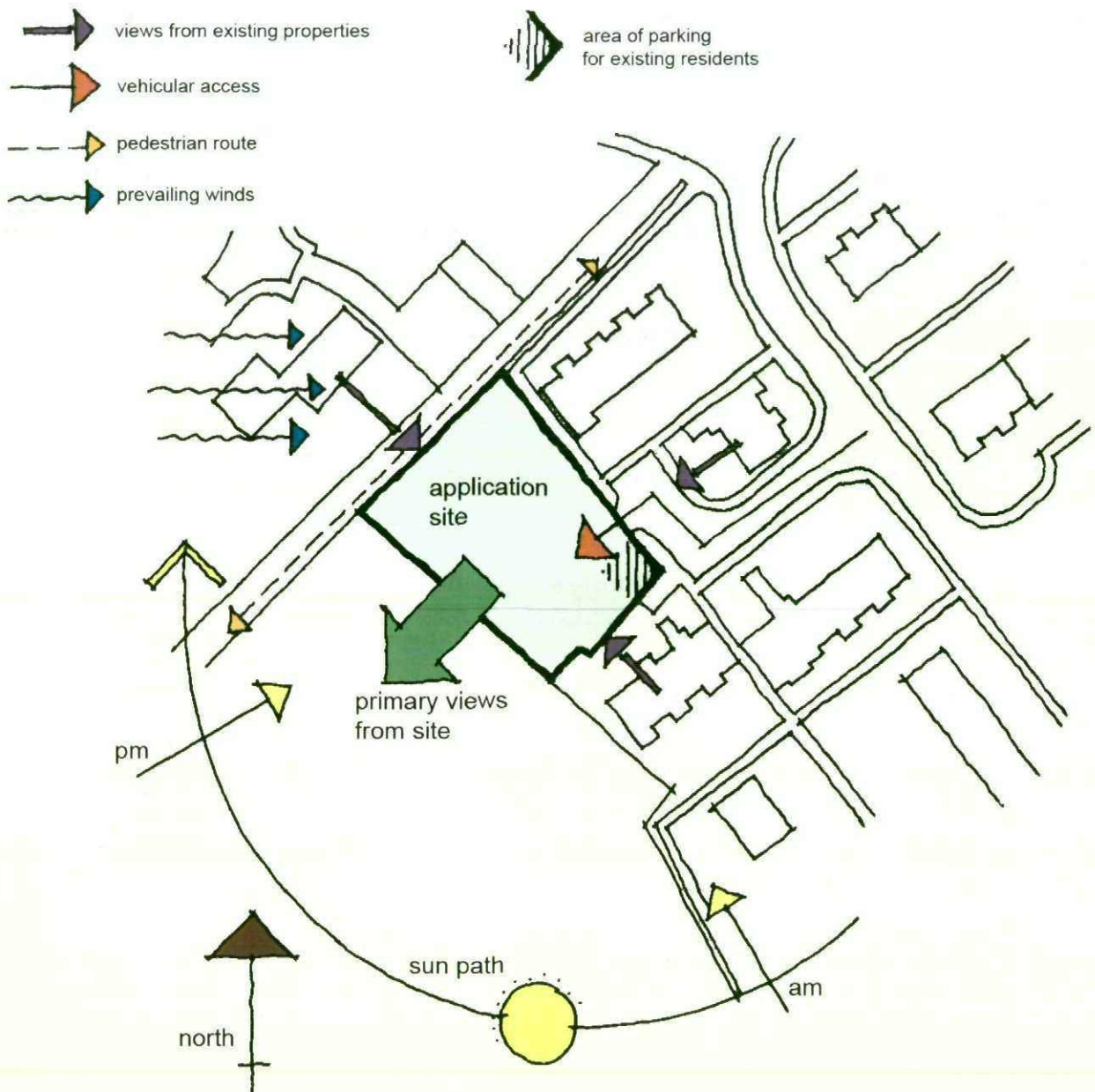
Development should be separated in public and private areas. Security of private areas must not be reduced by such things as footpaths between rear gardens.

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5.0 Design Process



5.1 Factors Influencing Design

The rationale behind the design is based upon several key drivers:

- To create an exemplar housing scheme to meet the needs and requirements of contemporary living.
- Built form to respond to the site and topography. The built form must respect and respond to the mass and scale of adjacent buildings.
- To create a genuine sense of place and community and achieve good standards of architectural quality in terms of building positioning, grouping, massing, scale, materials, architectural detailing and elevational design that makes a positive contribution to the public realm.

The adjacent site context diagram demonstrates the existing site constraints and major factors influencing the design process.

The positioning of the proposed dwellings should make full use of the views to the south and west without reducing the views of the existing properties.

The only access point available for vehicles is in its existing location as per the adjacent diagram. An existing pedestrian footpath runs to the north of the site.

The proposed design also needs to work with the existing topography of the site which generally falls northwards.

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1



2



3



4



Photograph 1 shows the existing 2 storey dwellings situated at the entrance to the site. The existing junction with Chapel Field Lane is also shown on this picture.

Photograph 2 is of the bungalows further along Chapel Field Lane.

Photograph 3 shows the 2 storey dwellings to the south east of the site and indicates how they step in level to accommodate the fall in topography.

Photograph 4 is taken along Chapel Field Lane looking towards the site entrance. The land is currently used for vehicular parking for the local residents.

The main outlook of the proposed dwellings will be the open space to the south west.

Existing views through to the open space from existing residents will be maintained through the use of bungalows within the proposals.

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5.2 Application Proposals

Use:

The scheme proposals comprise a residential development with bungalow accommodation.

The development follows urban design principles i.e. the relationship between different buildings and the street and buildings.

Amount:

The proposed scheme offers 5 No. 2 bed bungalows. This is approx 50 units per hectare which is an efficient use of land as per Barnsley's SPG02 document.

The type of units has been identified as being required in the area to increase community cohesion and balance and is therefore in line with Barnsley's UDP policy H5 of promoting diversity of dwelling type.

Layout:

The layout provides a well planned and designed environment.

The main objectives are as follows:

- To optimise the views in and out of the site in relationship to the open aspects, achieving pleasant external views both from within and beyond the site.

- To protect and enhance the boundaries to ensure the amenity of adjacent dwellings and future residents of this site.

- To ensure that the development makes the best use of land as per the high density achieved which is appropriate to the local form and character and in accordance with the guidance in PPS3.

Parking spaces will be provided for existing residents at numbers 24-26.

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All dwellings overlook areas of open space offering pleasant views and added security.

Bungalows have been utilised within the proposals so that views are not lost from the existing properties.

All new dwellings have been designed to have private useable garden space.

Car parking is to be provided at 100%. This will be in court format and is to be naturally surveyed from the new bungalows as per SPG11.

Scale:
The proposed dwellings will all be single storey units which will not dominate the streetscape and will enable views to be maintained over them from existing properties.

Landscaping:
Landscaping is considered to be integral to the success of a development and as such has been integrated wherever possible on the application site.

Appearance:
The architectural language of the new development will respond to the local vernacular utilising the traditional materials of red brick and concrete tile roof.

In addition, the proposals will offer a contemporary feel through the use of render panels and modern detailing.

Access:
Vehicular access to the site is to be off Chapelfield Lane as existing.

Access points from vehicle parking spaces to be level and non-slip. Minimum 1200 x 1200mm unobstructed level entrance.

When determining the level of parking for the proposed development, consideration was given to the accessibility of the site, its relationship to the town centre and public transport links, and site restrictions. As these links are good, 100% car parking will be provided to the development, plus cycle storage. Barnsley's parking standards as outlined in SPD32 are for 1 space per dwelling.

Sustainability:
This site offers great opportunity to create a sustainable development. The re-use of a brownfield site is the most sustainable approach.

Large amounts of landscaping soften the feel of the development and assist with encouraging wildlife and local habitats. The units will also look to achieve Code for Sustainable Homes Level 3.

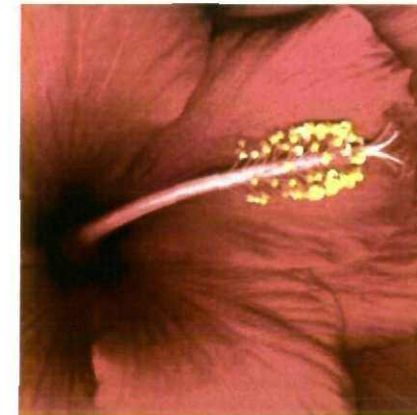
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6.0 Conclusions



This application is for the residential development of an infill piece of land off Chapelfield Lane, Penistone. The site is approximately 0.10ha and is situated on the edge of the greenbelt. It will house 5 No. 2 bedroom bungalows. Each unit will benefit from car parking and private amenity space and maximise the views to the south west.

Pre-application discussions have been held with Barnsley's Planning department along with a public consultation which received positive feedback.

The proposed plans allow for a development of high quality, creating a well integrated residential development which respects the existing built and natural form of the surrounding area.

This document is to be read in conjunction with Nicol Thomas Architects drawings and supplementary information.

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Rear Elevation



Gable Elevation

Gable Elevation

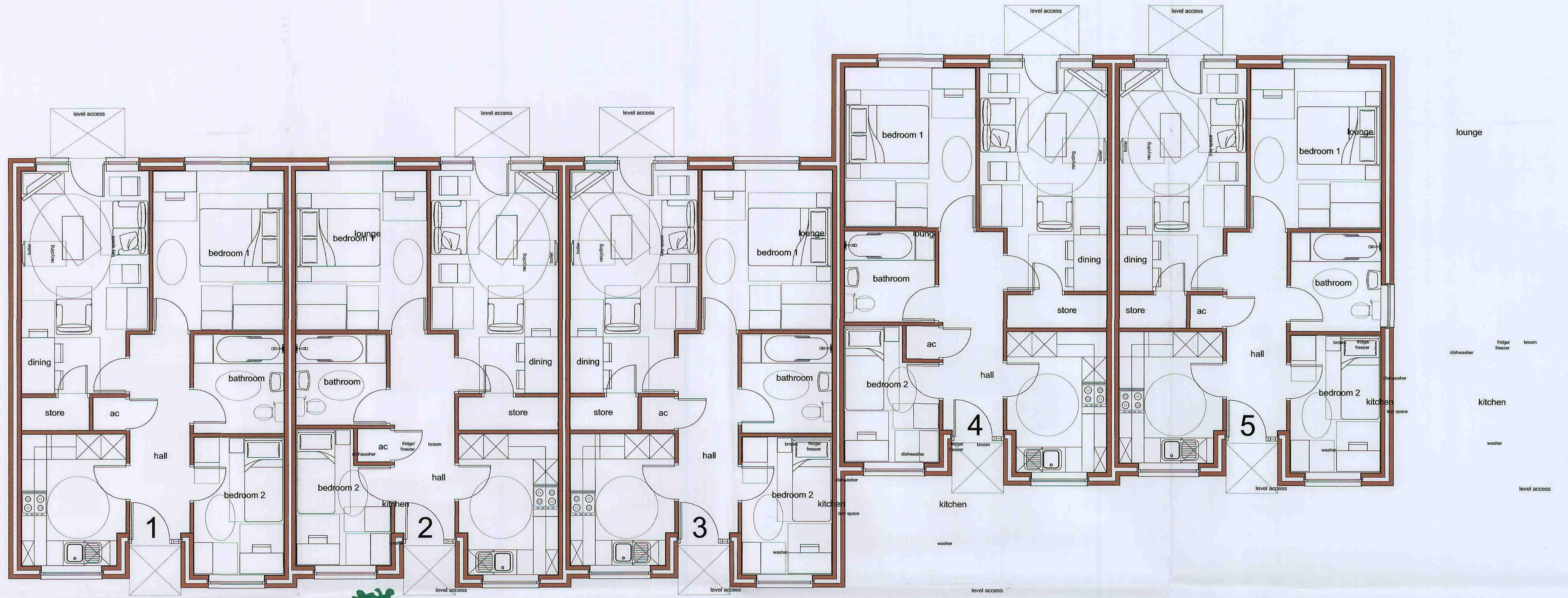


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Revision	Date	Details
A	Feb 10	Amendments to client requirements
B	Mar 10	Plots 2 and 4 handed internally at client's request

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Client:		Equity Housing Group	
Job:		Chapelfield Lane, Penistone	
Drawing title: Proposed Elevations			
Drawing Number: (Job number)	M3008	(PL)	03
Scale:	1:50 @ A1		
Date:	Sept 09		
Drawn by/ checked by:	RO / GRF		
Revision:	B		



Floor Plan



Front Elevation



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Revision	Date	Details
A	Feb 10	Amendments to client requirements
B	Mar 10	Plots 2 and 4 handed internally at client's request

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Client:	Equity Housing Group		
Job:	Chapelfield Lane, Penistone		
Drawing title:	Proposed Floor Plan & Front Elevation		
Drawing Number: (Job number)	M3008.08 (PL)	02	Revision: B
Scale:	1:50 @ A1		
Date:	Sept 09		
Drawn by/ checked by:	RO / GRF		

Chapelfield Lane, Penistone

Materials Specification

Walls

red multi facing brickwork, through render as indicated on elevations-colour white

Roof

redland richmond interlocking concrete tiles-colour grey with matching ridge

Windows

Upvc double glazed sealed units - colour white

Rainwater Goods

Upvc gutters and downpipes - colour black
All to be approved by L.A.

Boundary Treatments

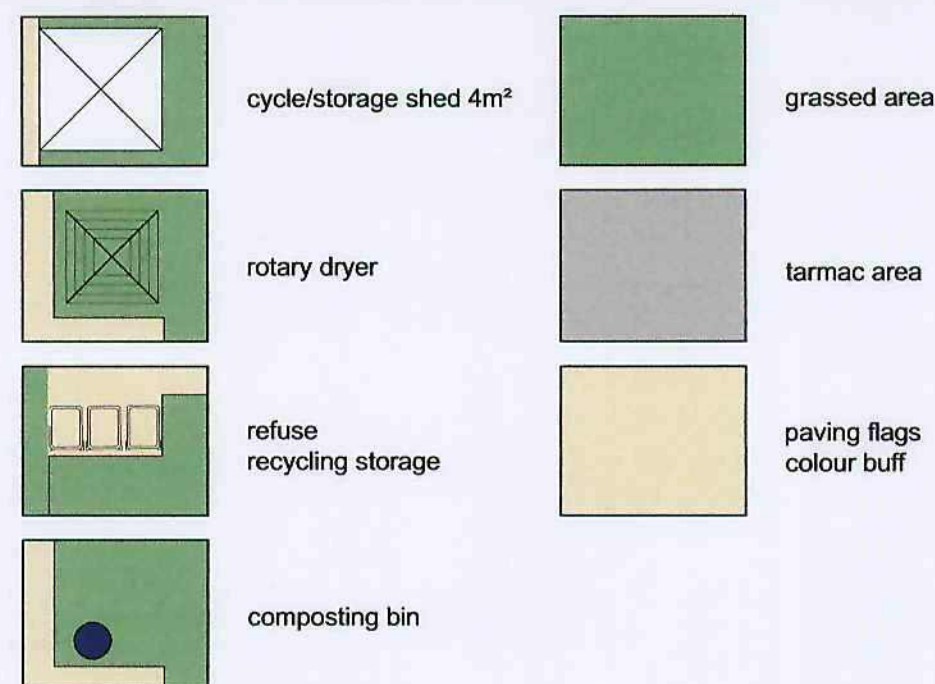
2100mm high timber fence to site perimeter (2100mm high weld mesh fence to rear boundary with field), 1800mm high front/rear and to plot boundaries, lockable gates to match fence heights.

External Works

New car parking bays to be coated macadam.
Hard landscaped areas around dwellings to be buff coloured pre cast concrete paving slabs.

Secure Sheds

4sqm timber sheds to be provided to each dwelling with Sheffield style cycle stand fixed to concrete base



SCHEDULE OF ACCOMMODATION

5 no. 2 bed 3 person bungalows @ 60sqm

Car Parking: generally 100%, 200% to plots 1 and 5 & provision for No.s 24/26



Site Layout
Scale 1:200



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Revision	Date	Details
A	Feb 2010	Amendments to client requirements
B	Mar 2010	Boundary line amended to exclude rear path to numbers 22-26. Parking amendments, inclusion of bin store to front for plots 2-4

Client: Equity Housing Group			
Job: Chapelfield Lane, Penistone			
Drawing title: Proposed Site Layout			
Drawing Number: (Job number)	M3008.08 (PL)	01	Revision: B
Scale: 1:200@A2			
Date: Sept 09			
Drawn by/ checked by: RO / GRF			