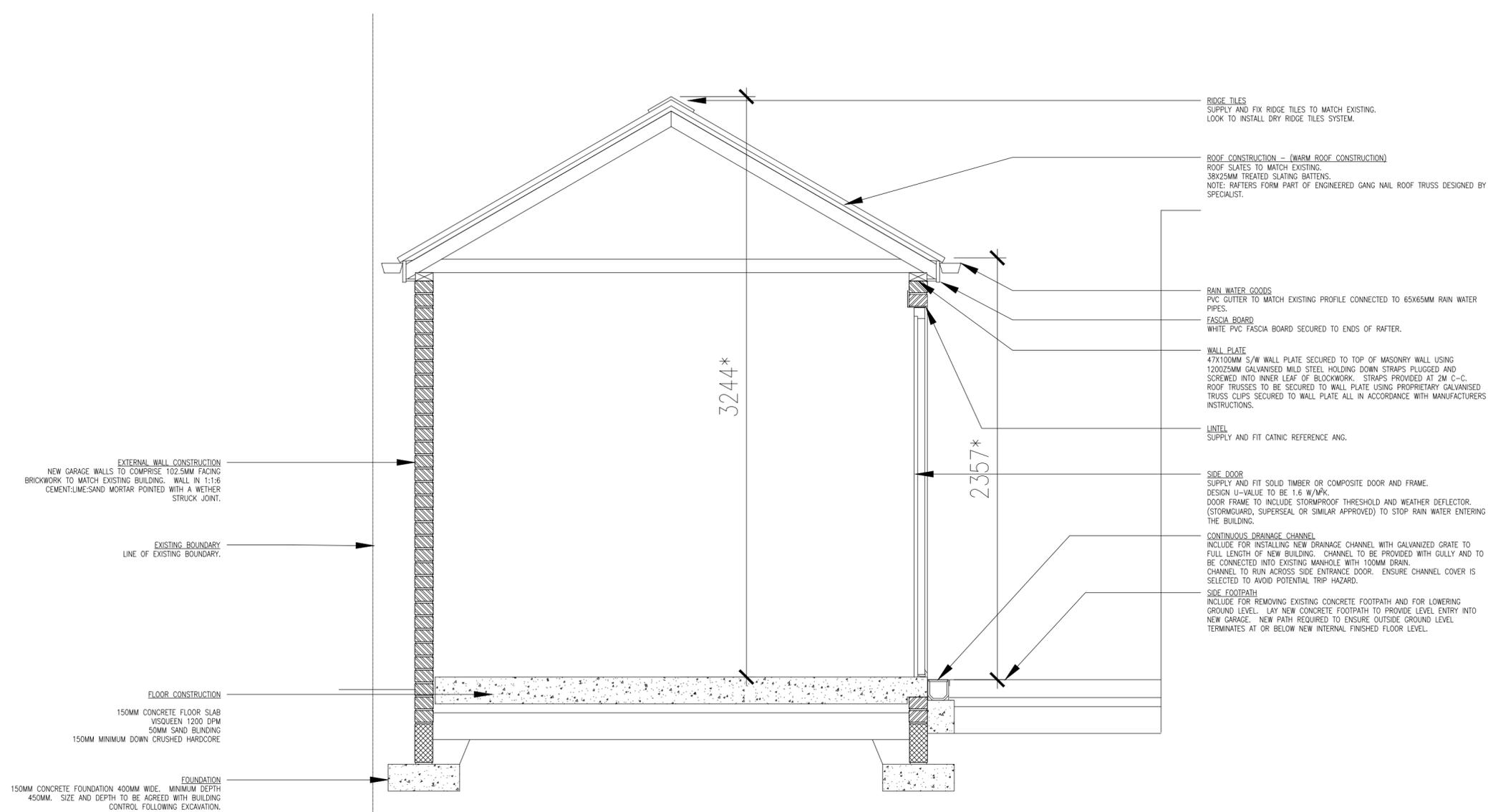


- NOTES:
1. Do not scale this drawing to ascertain dimensions. In all cases figured dimensions to be followed. All dimensions to be checked on site before work commences
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RIDGE TILES
SUPPLY AND FIX RIDGE TILES TO MATCH EXISTING.
LOOK TO INSTALL DRY RIDGE TILES SYSTEM.

ROOF CONSTRUCTION - (WARM ROOF CONSTRUCTION)
ROOF SLATES TO MATCH EXISTING.
38X25MM TREATED SLATING BATTENS.
NOTE: RAFTERS FORM PART OF ENGINEERED GANG NAIL ROOF TRUSS DESIGNED BY SPECIALIST.

RAIN WATER GOODS
PVC GUTTER TO MATCH EXISTING PROFILE CONNECTED TO 65X65MM RAIN WATER PIPES.

FASCIA BOARD
WHITE PVC FASCIA BOARD SECURED TO ENDS OF RAFTER.

WALL PLATE
47X100MM S/W WALL PLATE SECURED TO TOP OF MASONRY WALL USING 1200Z5MM GALVANISED MILD STEEL HOLDING DOWN STRAPS PLUGGED AND SCREWED INTO INNER LEAF OF BLOCKWORK. STRAPS PROVIDED AT 2M C-C.
ROOF TRUSSES TO BE SECURED TO WALL PLATE USING PROPRIETARY GALVANISED TRUSS CLIPS SECURED TO WALL PLATE ALL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

INTEL
SUPPLY AND FIT CATNIC REFERENCE ANG.

SIDE DOOR
SUPPLY AND FIT SOLID TIMBER OR COMPOSITE DOOR AND FRAME.
DESIGN U-VALUE TO BE 1.6 W/M²K.
DOOR FRAME TO INCLUDE STORMPROOF THRESHOLD AND WEATHER DEFLECTOR (STORMGUARD, SUPERSEAL OR SIMILAR APPROVED) TO STOP RAIN WATER ENTERING THE BUILDING.

CONTINUOUS DRAINAGE CHANNEL
INCLUDE FOR INSTALLING NEW DRAINAGE CHANNEL WITH GALVANIZED GRATE TO FULL LENGTH OF NEW BUILDING. CHANNEL TO BE PROVIDED WITH GULLY AND TO BE CONNECTED INTO EXISTING MANHOLE WITH 100MM DRAIN.
CHANNEL TO RUN ACROSS SIDE ENTRANCE DOOR. ENSURE CHANNEL COVER IS SELECTED TO AVOID POTENTIAL TRIP HAZARD.

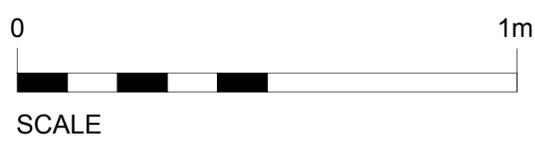
SIDE FOOTPATH
INCLUDE FOR REMOVING EXISTING CONCRETE FOOTPATH AND FOR LOWERING GROUND LEVEL. LAY NEW CONCRETE FOOTPATH TO PROVIDE LEVEL ENTRY INTO NEW GARAGE. NEW PATH REQUIRED TO ENSURE OUTSIDE GROUND LEVEL TERMINATES AT OR BELOW NEW INTERNAL FINISHED FLOOR LEVEL.

EXTERNAL WALL CONSTRUCTION
NEW GARAGE WALLS TO COMPRISE 102.5MM FACING BRICKWORK TO MATCH EXISTING BUILDING. WALL IN 1:1:6 CEMENT:LIME:SAND MORTAR POINTED WITH A WETHER STRUCK JOINT.

EXISTING BOUNDARY
LINE OF EXISTING BOUNDARY.

FLOOR CONSTRUCTION
150MM CONCRETE FLOOR SLAB
VISQUEEN 1200 DPM
50MM SAND BLINDING
150MM MINIMUM DOWN CRUSHED HARDWARE

FOUNDATION
150MM CONCRETE FOUNDATION 400MM WIDE. MINIMUM DEPTH 450MM. SIZE AND DEPTH TO BE AGREED WITH BUILDING CONTROL FOLLOWING EXCAVATION.



Rev.	Date	Description	Drawn	Approved



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Client:
J WALLIS

Project:
107 HOUGHTON ROAD, THURNSCOE
REPLACEMENT OF EXISTING GARAGE

Drawing:
SECTION C-C AS PROPOSED

Scale: 1:20 @ A2	Drawn by: GT
Date: 15.09.25	Checked by: CT
Drawing no.:	Revision:
L0209/40:01	-