

2022/0888

Mr Robin Baker

Alterations to front elevation including rendering and timber cladding

15 The Balk, Staincross, Barnsley, S75 6JJ

Description

The dwelling is a brick built detached chalet style bungalow set on a street scene of mostly individually designed detached bungalows and two storey dwellings off The Balk, Staincross. The existing brickwork to the frontage appears to be of different shades.

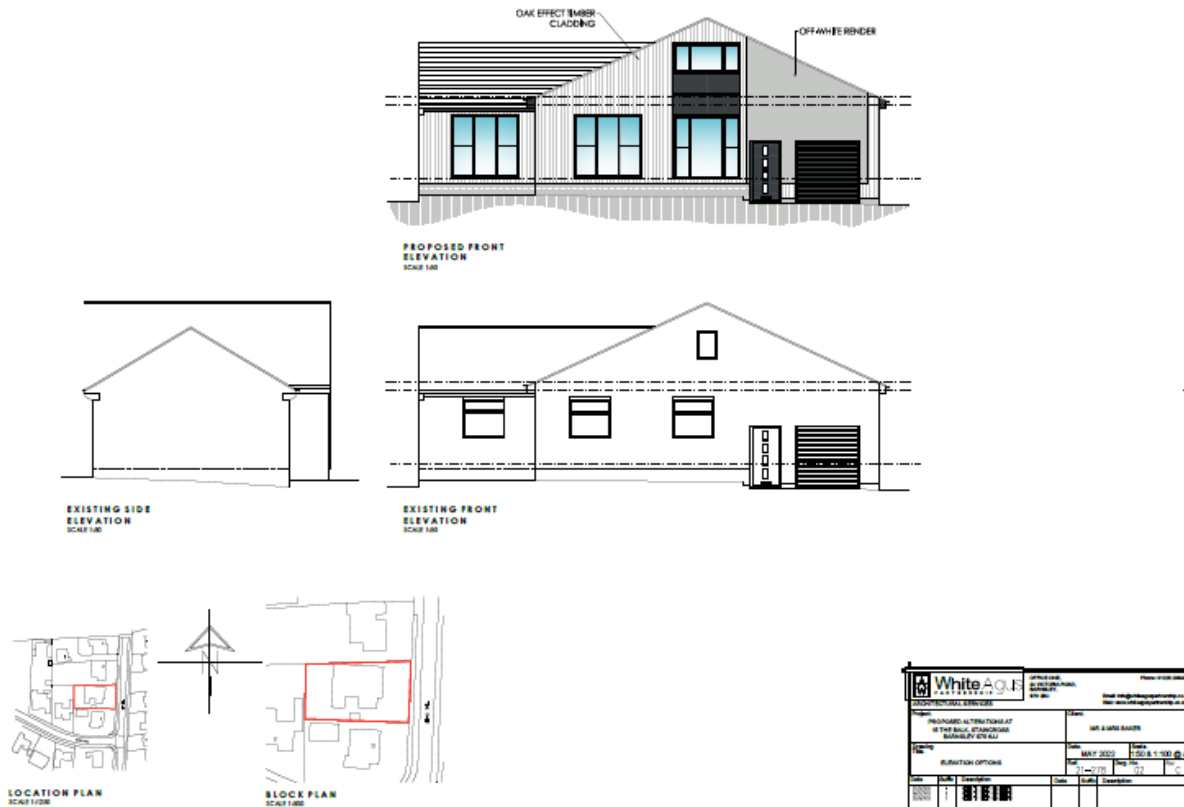
There are a variety of materials within the street scene, with cladding, brick and render seen. Adjacent to the property is modern chalet bungalow which has large openings and also has elements of render and timber cladding, as can be seen on the photograph below.





Proposed Development

The proposal involves alterations to front elevation which include the enlargement of the existing windows and rendering and cladding. The agent has specified that the timber cladding would be an oak colour and the render would be an off white colour. The windows and panels are shown to be anthracite grey. The sides and rear elevation would remain as brick.





Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the National Planning Policy Framework 2021 (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

The Local Plan was adopted by the Council in January 2019 along with a series of Supplementary Planning Documents.

Local Plan

The site is allocated as Urban Fabric within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy SD1 Presumption in favour of Sustainable Development

When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. We will work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

Policy GD1 General Development

Proposals for development will be approved if:

- There will be no significant adverse effect on the living conditions and residential amenity of existing and future residents;
- They are compatible with neighbouring land and will not significantly prejudice the current or future use of the neighbouring land;
- They will not adversely affect the potential development of a wider area of land which could otherwise be available for development and safeguards access to adjacent land;
- They include landscaping to provide a high quality setting for buildings, incorporating existing landscape features and ensuring that plant species and the

way they are planted, hard surfaces, boundary treatments and other features appropriately reflect, protect and improve the character of the local landscape;

- Any adverse impact on the environment, natural resources, waste and pollution is minimised and mitigated;
- Adequate access and internal road layouts are provided to allow the complete development of the entire site for residential purposes, and to provide appropriate vehicular and pedestrian links throughout the site and into adjacent areas;
- Any drains, culverts and other surface water bodies that may cross the site are considered;
- Appropriate landscaped boundaries are provided where sites are adjacent to open countryside;
- Any pylons are considered in the layout; and
- Existing trees that are to remain on site are considered in the layout in order to avoid overshadowing.

Policy D1 High Quality Design and Place Making

Design Principles:

Development is expected to be of high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley, including:

- Landscape character, topography, green infrastructure assets, important habitats, woodlands and other natural features;
- Views and vistas to key buildings, landmarks, skylines and gateways; and
- Heritage and townscape character including the scale, layout, building styles and materials of the built form in the locality.

Through its layout and design development should:

- Contribute to place making and be of high quality, that contributes to a healthy, safe and sustainable environment;
- Complement and enhance the character and setting of distinctive places, including Barnsley Town Centre, Penistone, rural villages and Conservation Areas;
- Help to transform the character of physical environments that have become run down and are lacking in distinctiveness;
- Provide an accessible and inclusive environment for the users of individual buildings and surrounding spaces;
- Provide clear and obvious connections to the surrounding street and pedestrian network;
- Ensure ease of movement and legibility for all users, ensure overlooking of streets, spaces and pedestrian routes through the arrangement and orientation of buildings and the location of entrances;
- Promote safe, secure environments and access routes with priority for pedestrians and cyclists;
- Create clear distinctions between public and private spaces;
- Display architectural quality and express proposed uses through its composition, scale, form, proportions and arrangement of materials, colours and details;
- Make the best use of high quality materials;
- Include a comprehensive and high quality scheme for hard and soft landscaping; and
- Provide high quality public realm.

In terms of place making development should make a positive contribution to achieving qualities of a successful place such as character, legibility, permeability and vitality.

Supplementary Planning Document: House Extensions and Other Domestic Alterations

The Supplementary Planning Document (SPD) sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations and indicates that these developments:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

Consultations

None

Representations

No comments received

Assessment

Principle of development

The site falls within urban fabric which has no specific land allocation, however the site and surrounding area is made up principally of housing. Extensions/alterations to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Visual Amenity

The SPD House extensions states that 'Materials should normally be of the same size, colour and texture as to the existing house or as close a match as possible.' In addition policy D1 of the Local Plan states:- 'Development is expected to be of high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.'

The dwelling is a brick-built chalet style detached bungalow and the existing brickwork to the frontage appears to be of different shades. It is proposed to render the front elevation in off white with oak effect timber cladding elements and enlarge the existing windows. The bungalow is set on a street scene of mostly individually designed detached bungalows and two storey dwellings. There are a variety of materials within the street scene, with cladding, brick and render seen.

Adjacent to the property is another modern chalet bungalow which features large openings and also has elements of render and timber cladding, similar to the proposed cladding and render shown on the application drawings. Given that the applicant's property is set within a diverse street scene and there are similar style properties with render and cladded elements, the proposal would not detract or harm the street scene to a significant extent and would be acceptable in terms of visual amenity, in accordance with policy D1 of the Local Plan.

Recommendation

Approve with conditions