

Application Reference Number:	2026/0240		
Application Type:	Householder		
Proposal Description:	Erection of 1st floor rear extension, with Juliet balcony to dwelling		
Location:	4 Queens Drive, Shafton, Barnsley, S72 8PB		
Applicant:	Mr Andy Rowley		
Third-party representations:	None	Parish:	Shafton
		Ward:	North East

Summary:

This planning application seeks householder planning permission for the erection of a two-storey side and rear extension, with Juliet balcony to the dwelling. Regarding the planning history of the site, it appears a material start was made on application 2022/0277 however the side extension has not been built. For the avoidance of doubt the entire application including proposed side extension will be addressed.

The site falls within Urban Fabric as allocated by the adopted Local Plan. Development comprising alterations to an existing residential building are considered acceptable in principle if proposals would not significantly adversely affect residential amenity, visual amenity, highway safety, and where satisfactory standards of design are achieved.

The proposal would have no adverse impact on highway safety, residential or visual amenity and is considered acceptable in policy terms. The proposal is therefore considered to be an acceptable and sustainable form of development in accordance with Section 2 of the National Planning Policy Framework (NPPF, 2024).

Recommendation:

Approve subject to conditions

Site Description

The dwelling is a two-storey semi detached dwelling located in Shafton on Queens Drive. The area has a consistent street scene featuring other two-storey semi detached dwellings that share similar external materials, these being render. The dwelling has a parking area to the front and a rear garden. The rear of the property bounds a PROW to the east.



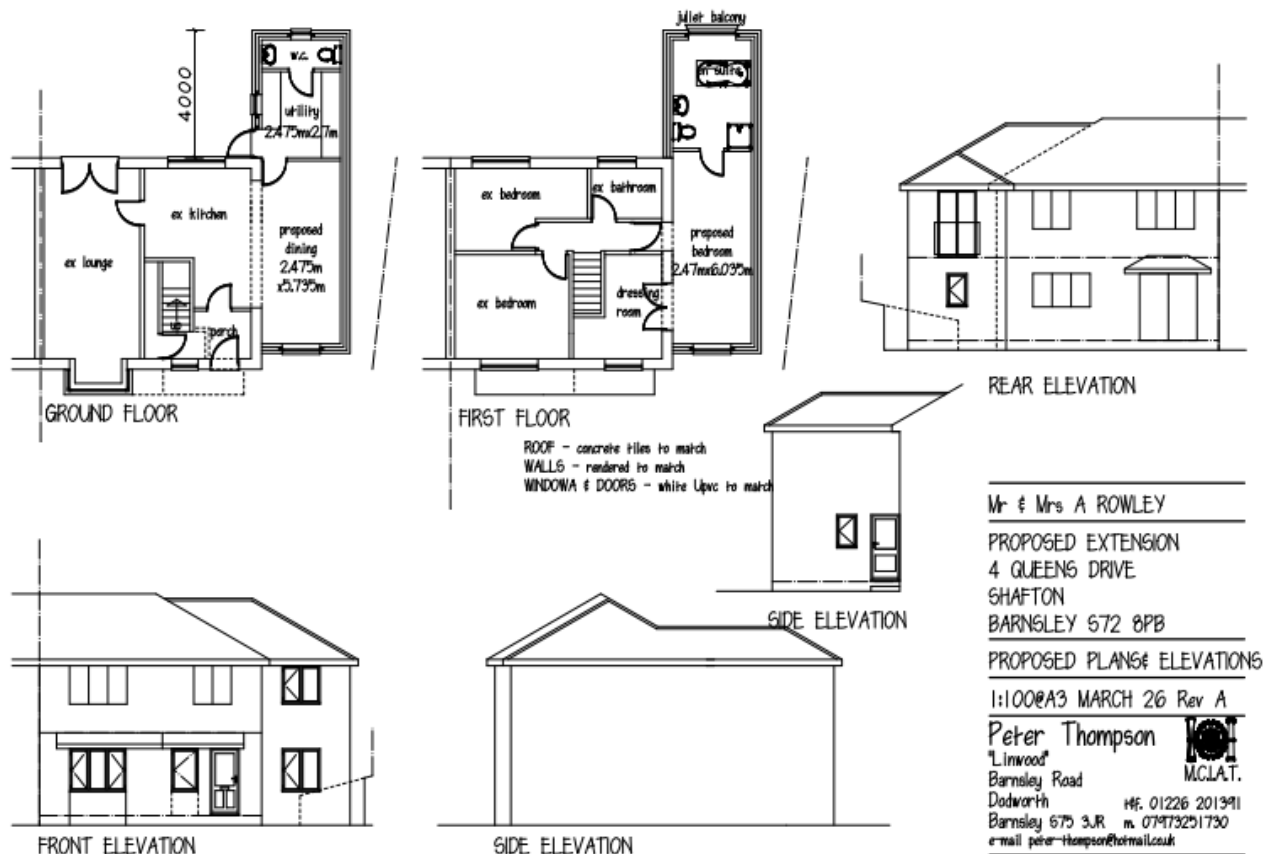
Planning History

There is one previous planning application associated with the site.

Application Reference	Description	Status
2022/0277	Two storey and single storey side extension and new vehicular access and parking area	Approved with Conditions

Proposed Development

The applicant is seeking approval for the erection of a two-storey side/rear extension. The side extension will project 2.8 metres from the side (south) elevation of the dwelling. The extension has a width of 6.15 metres. The extension will feature a hipped roof with a ridge height of 7.1 metres and an eaves height of 5 metres. The rear extension will project 4 metres from the rear elevation of the dwelling. The extension has a width of 3.1 metres. The extension will feature a hipped roof with a ridge height of 6.25 metres and an eaves height of 5 metres. The rear extension also features a Juliet balcony. The materials used will be matching render and roof tiles.



Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan Allocation – Urban Fabric

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004).

In reference to this application, the following policies are relevant:

Policy SD1: Presumption in favour of Sustainable Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy GD1: General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land.

Policy D1: High quality design and place making – Development is expected to be of a high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

Policy T4: New Development and Transport Safety – New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

- Section 2: Achieving sustainable development
- Section 4: Decision making
- Section 12: Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Documents

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Representations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website; no comments have been received.

Consultations

Public Rights of Way – No objections

Shafton Parish Council – No objections

Assessment

The main issues for consideration are as follows:

- The acceptability of the principle of the development
- The impact on neighbouring residential properties
- The impact on the character of the area and host dwelling
- The impact on the highway network and highways standards

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and highway safety.

Impact on Neighbouring Residential Amenity

No objections were raised from the neighbouring properties. The proposed extension will not have a significant detrimental impact on any neighbouring property by way of overshadowing or being overbearing due to the modest sideways projection that still leaves a distance of over 1 metre to the side boundary. Additionally, the neighbouring dwelling to that side (5 Queens Drive) is set at a higher ground level. Overlooking from the proposed extension will be limited as no windows are proposed on the side elevation of the extension. This weighs significantly in favour of the proposal.

The SPD states that *“two-storey rear extensions will be considered on the basis of the extent of overshadowing, loss of privacy and outlook”* and that *“two-storey rear extensions to semi-detached houses should, therefore, generally be designed with a rear projection of less than 3.5 metres and for terraced houses 2.5 metres”*. The proposed projection at first floor level to the rear is to be 4 metres which slightly exceeds the above recommendation. The SPD does also state however that *“larger extensions may be acceptable in certain circumstances”* and in this case the rear extension is offset to the side of the dwelling away from the adjoining dwelling. This weighs significantly in favour of the proposal.

Further regarding overlooking the main impact of this would come from the proposed Juliet balcony. It is acknowledged that introduction of this could increase levels of overlooking of the adjoining dwelling, however it is considered that the levels of this is not significantly harmful. The levels of overlooking do not overly exceed that of a window, and the Juliet balcony is offset as is the extension.

Furthermore, the SPD states that *“a distance of 10 metres should normally be provided between rear-facing windows in the first floor (and above) and the rear boundary”*. In this case over 10 metres is maintained from the rear elevation of the proposed rear extension to the rear boundary. There are no dwellings beyond the rear boundary that would be impacted as the curtilage of the closet dwellings to the rear is approximately 22 metres away. This weighs significantly in favour of the proposal. The proposal is considered to be in compliance with Local Plan Policy GD1: General Development and is acceptable in terms of residential amenity.

Scale, Design and Impact on the Character of the Dwelling

The SPD states that *‘materials should normally be of the same type, colour and texture to the existing house or as close a match as possible’*. In this case, the proposed materials will match the existing dwelling with matching render and roof tiles to be used. Both extensions utilise hipped roofs which are akin to the existing dwelling’s hipped roof. This weighs significantly in favour of the proposal.

The SPD states *“all two-storey side extensions should therefore have a pitched roof following the form of the existing roof”*. The proposed two-storey side extension utilises a hipped roof which is set down from the main roof line and is aligned at the eaves. The SPD states *“to prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 500mm from the main front wall of the dwelling”*. The two-storey side extension is setback 0.5 metres from the front wall of the dwelling which is an acceptable setback distance. This weighs significantly in favour of the proposal.

The SPD states that *“the sideways projection of a two-storey side extension should not exceed more than two thirds the width of the original dwelling”* in order to ensure subordination and so that the original dwelling stays as the dominant feature. A projection of two thirds of the original dwelling would be 4.64 metres, and the proposed projection is less than this at 2.8 metres. This projection is therefore acceptable. This weighs significantly in favour of the proposal.

The proposed extension conforms to the SPD in terms of its materials, roof type, projection and setback; therefore, the proposal won’t be detrimental to the character of the street scene due to the harmony with the existing dwelling. This weighs significantly in favour of the proposal. The proposed development is therefore not considered to be contrary to Local Plan Policy D1: High Quality Design and Place Making and is considered acceptable in terms of visual amenity.

Highway Safety

There will be no impact upon highway safety. The area for the proposed extension is not currently used for parking therefore there is no change to the existing parking arrangements, in addition two spaces are shown on the site plan to the front of the property which is in line with the SPD Parking. There is a PROW which runs to the rear boundary of the site; however, the works are set a significant distance away and will therefore not impact the PROW. This weighs significantly in favour of the proposal.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

Recommendation

Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.