

2023/0370

Mr Kenyon

46 Greenwood Avenue, Worsbrough Dale, Barnsley, S70 4BJ

Removal of existing conservatory and erection of a new single storey rear extension

---

### Site Description

46 Greenwood Avenue is a two-storey semi-detached dwelling located in Worsbrough Dale, in an area that is principally residential; some educational uses can be found to the East and West with Green Belt land beyond.

Greenwood Avenue is characterised by two rows of two-storey semi-detached properties lining either side of the street. To the South, dwellings are positioned higher due to differences in ground level and are fronted by small garden spaces enclosed by brick-built boundary walls topped with arched iron railings. To the North, dwellings are positioned lower and are mostly fronted by paved driveways with occasional boundary treatments comprising of low panelled timber fencing. Shared access points between properties are more prominent on the North side of the street. Visually, the character of the street scene is consistent with dwellings using red brickwork and red coloured roof tiles on hipped roofs throughout.

The applicant dwelling is situated within a relatively uniform building line where a slight set back from adjacent properties is introduced to every other pair of semi-detached properties. The applicant dwelling features a driveway and canopy to the front - a shared access point between no. 46 and no. 44 leads to the rear of the property where additional parking can be found alongside an existing detached single storey garage. An existing conservatory extension, detached summerhouse, and garden space can also be found to the rear. A step down from patio space leads to the garden, which itself is extensive.



### Planning History

There is no previous planning history associated with this site.

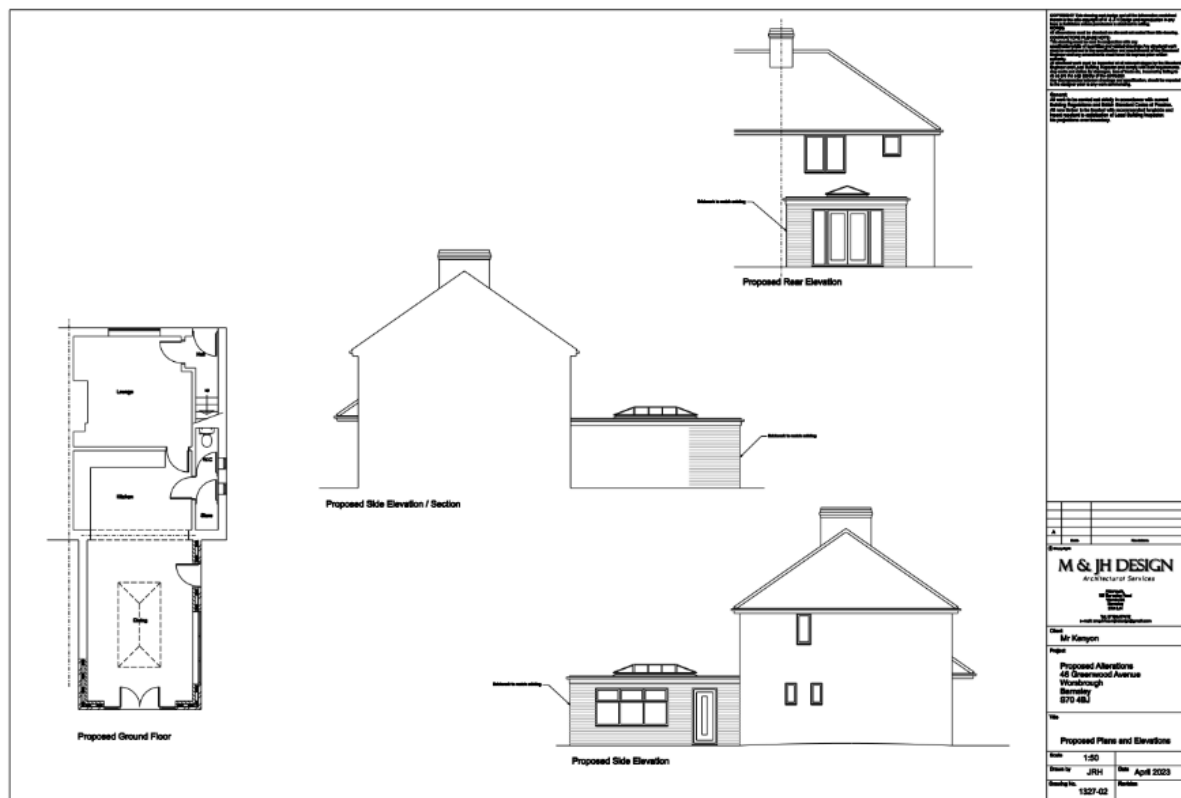
## Proposed Development

The applicant is seeking approval for the removal of an existing conservatory and the erection of a new single storey extension to the rear of the dwelling.

The existing conservatory projects from the rear elevation of the dwelling by approximately 4.2 metres with a total height of approximately 3.1 metres.

The proposed single storey rear extension would project from the rear elevation of the original dwelling by approximately 6 metres with a width of approximately 4.3 metres. The proposed extension would feature a flat roof with an approximate total height of 2.5 metres, and would be set-in from the East boundary by approximately 0.3 metres.

The proposed extension would be constructed of brickwork to match the original dwelling, and would include provisions for a sky lantern.



## Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

#### Local Plan Allocation – Urban Fabric

The site is allocated as Urban Fabric within the adopted Local Plan, which has no specific land allocation and therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

#### Supplementary Planning Document: House Extensions and Other Domestic Alterations

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations; reflecting the principles of the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

#### National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well designed places.***

#### **Consultations**

No consultees were consulted on this application.

#### **Representations**

Neighbour notification letters were sent to surrounding properties, no objections or comments were received.

#### **Assessment**

#### Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing; therefore, extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity, and highway safety.

### Residential Amenity

Proposals for extensions are considered acceptable where they do not adversely affect the amenity of neighbouring properties.

The SPD states that *“Single storey extensions to the rear of semi-detached dwellings should not exceed 4 metres in projection and where they exceed 3m in length the eaves height should not exceed 2.5m.”* In this instance, the proposed rear extension would project from the rear elevation of the original dwelling by approximately 6 metres, featuring a flat roof with a total height of approximately 2.5 metres, therefore, partially meeting the guidance of the SPD.

However, the location of the proposed rear extension is considered to be unlikely to result in any significant overshadowing of neighbouring properties, nor additional adverse impacts regarding a loss of outlook. The proposed extension would be positioned to the North of the dwelling; as such, impacts regarding overshadowing are generally not as harmful as those to the South due to the natural movement of the sun path. Moreover, whilst the proposed extension would introduce a greater projection, the overall height would be reduced by approximately 0.6 metres and an existing gap from the East boundary would be maintained. This boundary is a high brick-built wall - it is anticipated this would act as mitigation.

Whilst the proposals are contrary to some of the principles set out in the SPD, they do however, fall within the parameters of a Larger Home Extension development as set out in the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). This allows homeowners to erect single storey rear extensions up to 6m on semi-detached properties without the need for planning permission where no neighbouring properties object. In this instance, no adjacent neighbouring properties have objected to the proposal, and the impact to the adjoining neighbour(s) would be similar to that already experienced and tolerated.

In terms of overlooking, resulting in a loss of privacy, no new windows are proposed on the East side elevation of the proposed extension adjacent to neighbouring 48 Greenwood Avenue, therefore, maintaining existing amenity levels for this property. A single window opening would be created on the West elevation of the proposed extension alongside a new entrance doorway. Whilst this would create views to the rear of neighbouring 44 Greenwood Avenue, the impacts are considered to be less harmful and a slight improvement from those created by the glazing of the existing conservatory. Additionally, the existing distance between the two properties would be maintained and would continue to be separated by an area used for parking; as such, the impact is not considered to be significantly more than that already experienced and tolerated.

Furthermore, the SPD states that *‘a distance of 12 metres should be maintained to a blank gable wall and a distance of 10m should normally be provided between rear-facing windows in the first floor (and above) and the rear boundary.’* In this instance, the proposed extension would be of a single storey and a distance of approximately 29 metres would be achieved between the rear facing windows and the rear boundary.

The proposals, are therefore, considered to comply with Local Plan Policy GD1: General Development and would be acceptable regarding residential amenity.

### Visual Amenity

The SPD states that *‘materials should normally be of the same size, colour and texture as to the existing house or as close a match as possible’.* In this instance, the proposed extension would use brickwork that would match or be of a similar appearance to the brickwork used in the construction of the original dwelling.

The proposed extension would feature a flat roof – this roof type is generally considered to be an inferior choice aesthetically and as a method of construction; however, in this instance, it would be relatively hidden from views from the public realm, and as such, would not adversely affect the character of the street scene.

The proposals, therefore, are considered sympathetic to the main dwelling and consistent with the character of the street scene and are considered acceptable and in compliance with Local plan Policy D1: High Quality Design and Placemaking and would be acceptable regarding visual amenity.

#### Highway Safety

The dwelling benefits from an existing driveway located to the front, with additional space to the rear accessed to the side. There would be no changes to this provision and the location of the proposed extension is unlikely to interfere; as such, the proposals would not result in any detrimental loss of existing off-street parking provision that would adversely affect highways safety.

As such, the proposals would be considered acceptable and in compliance with Local plan Policy T4: New Development and Transport Safety.

#### **Recommendation**

#### **Approve with Conditions**