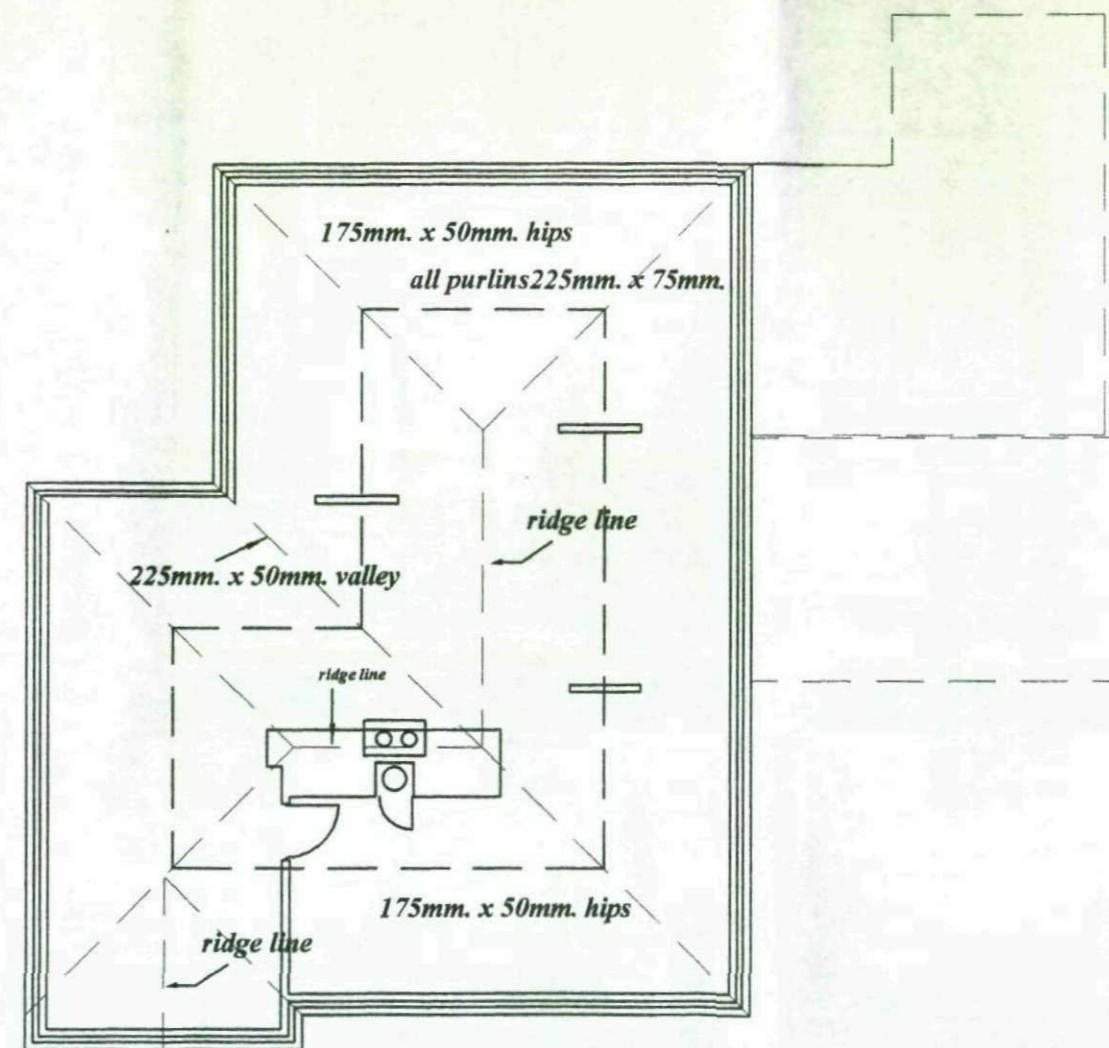


Existing Ground Floor Plan



Existing Roofspace Plan

Date 16 : 9 : 2008

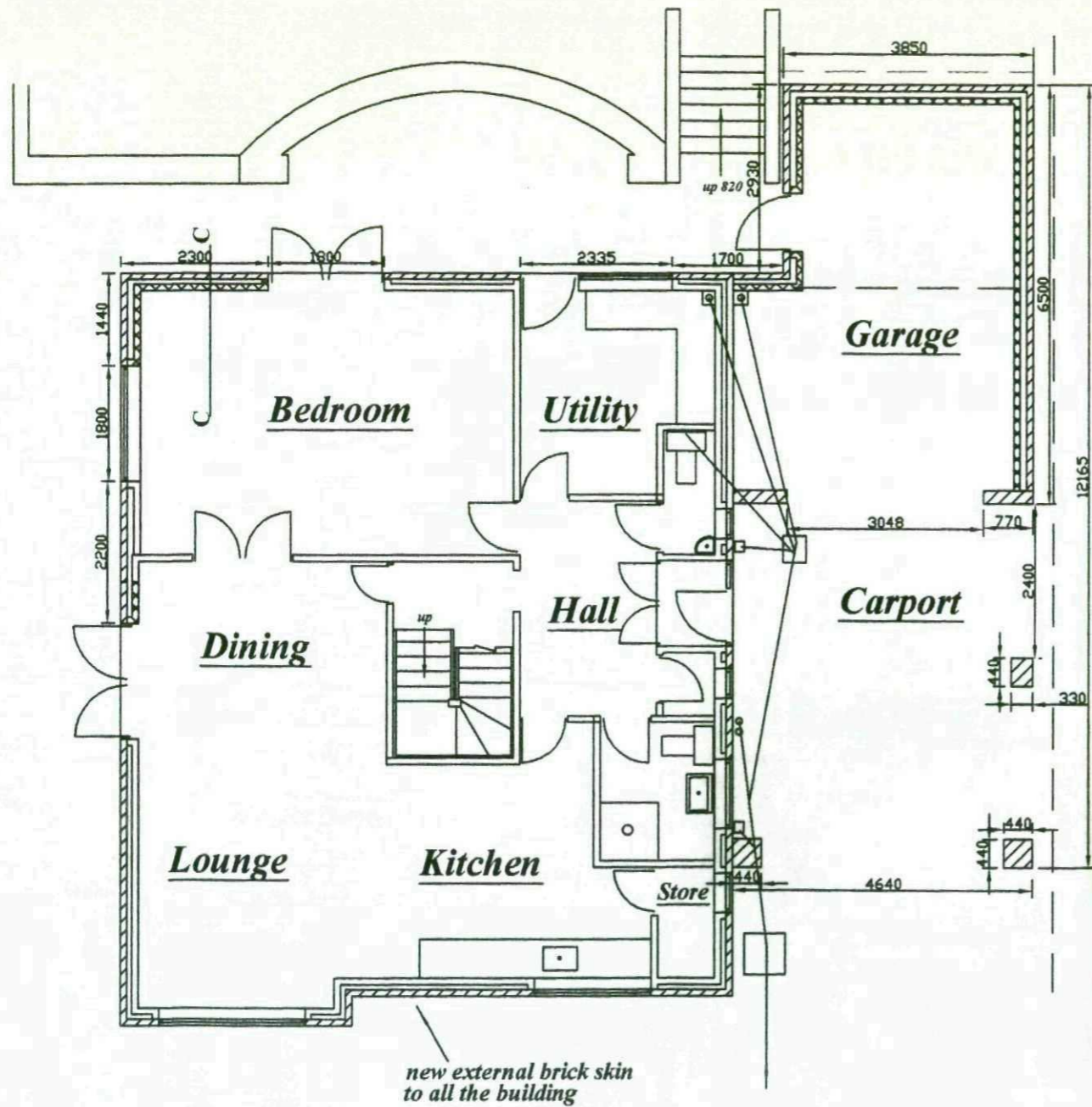
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Client
 Mr.D. & Mrs.L. Rapson
 370 Pontefract Road
 Lundwood
 Barnsley S71 5JY

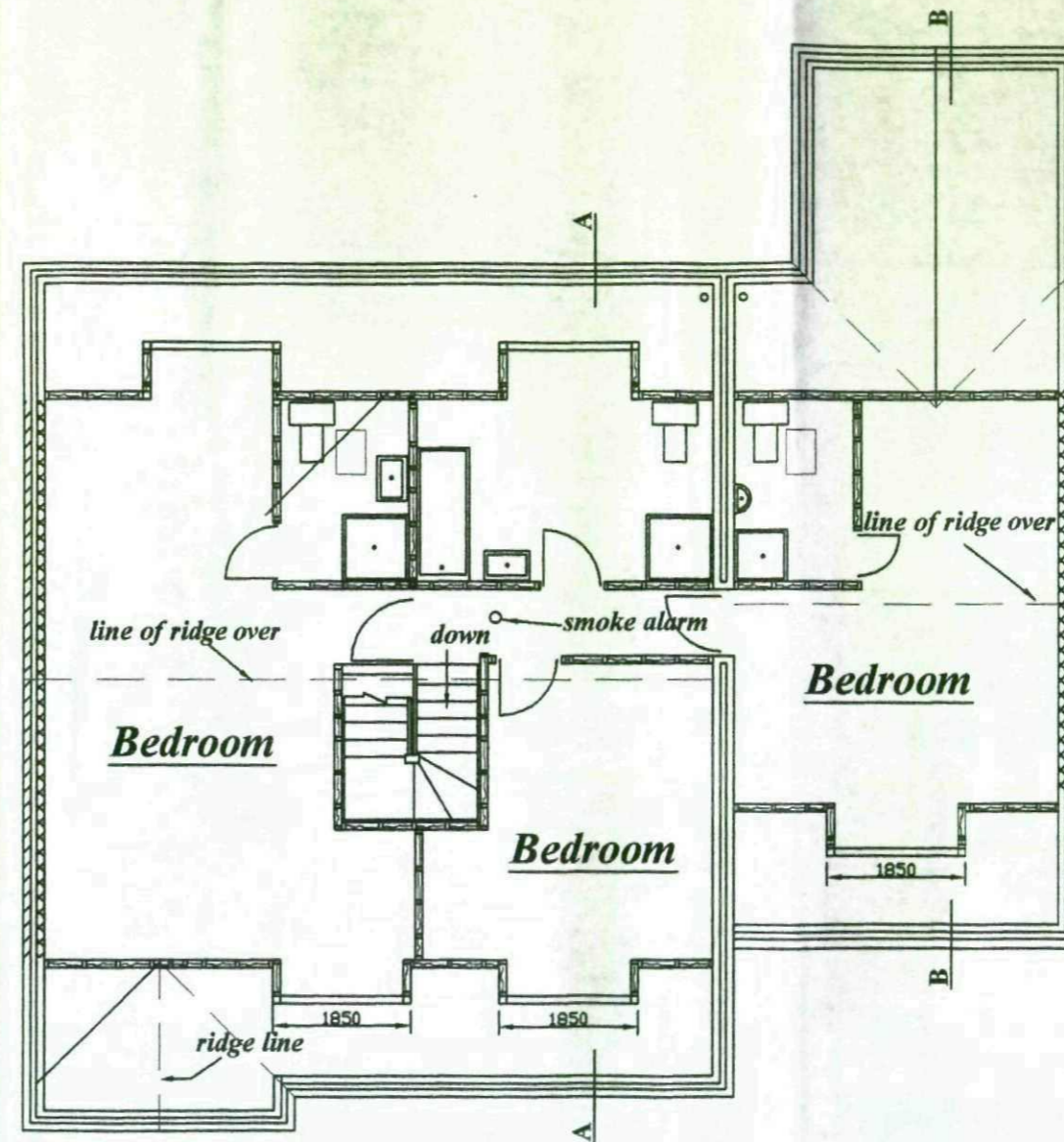
PROPOSAL
 Formation of Rooms in Roofspace
 & Extensions & Alterations to
 Bedroom, Garage & Carport

Revisions
Date

M. Whyke MRICS
 9 Witham Court
 Higham
 Barnsley
 S75 1PX
 Tel. 01226 386190



Proposed Ground Floor Plan



Proposed First Floor Plan

Date 16 : 9 : 2008

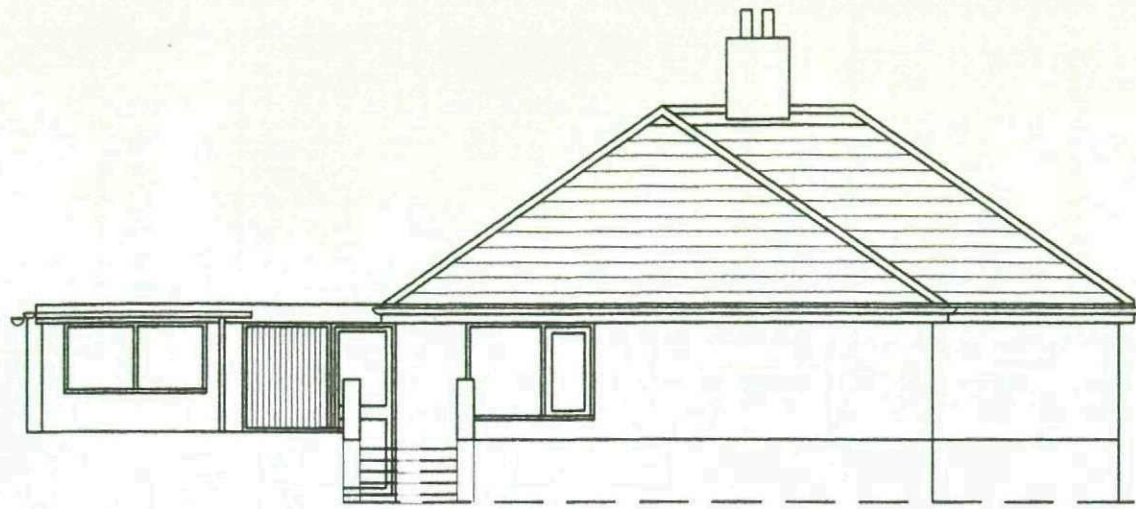
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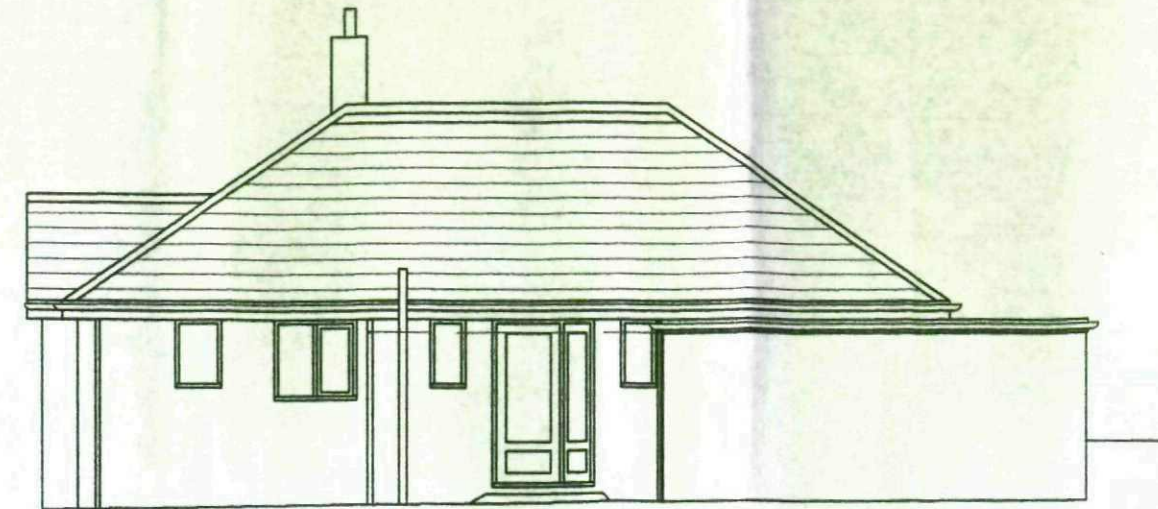
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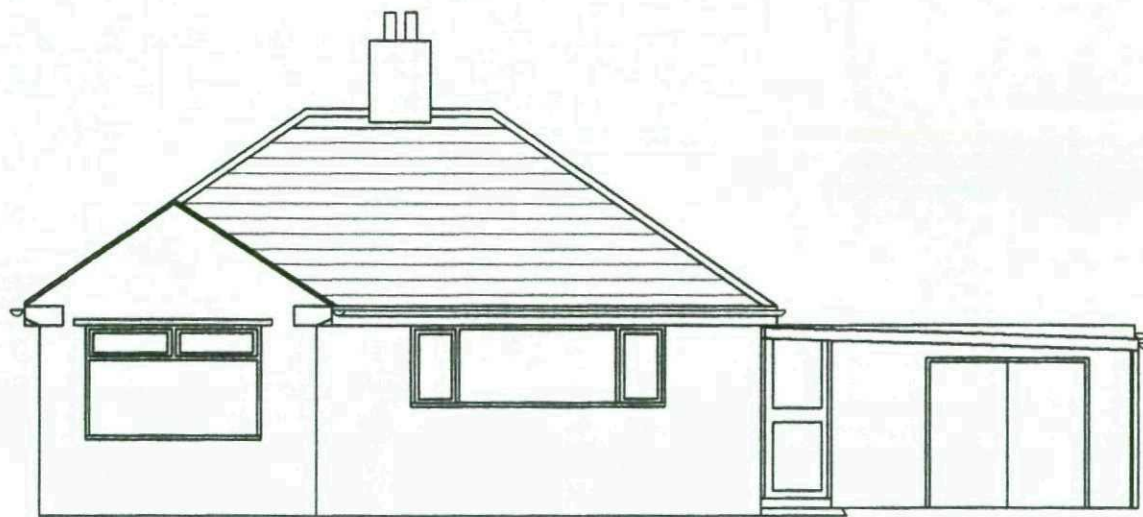
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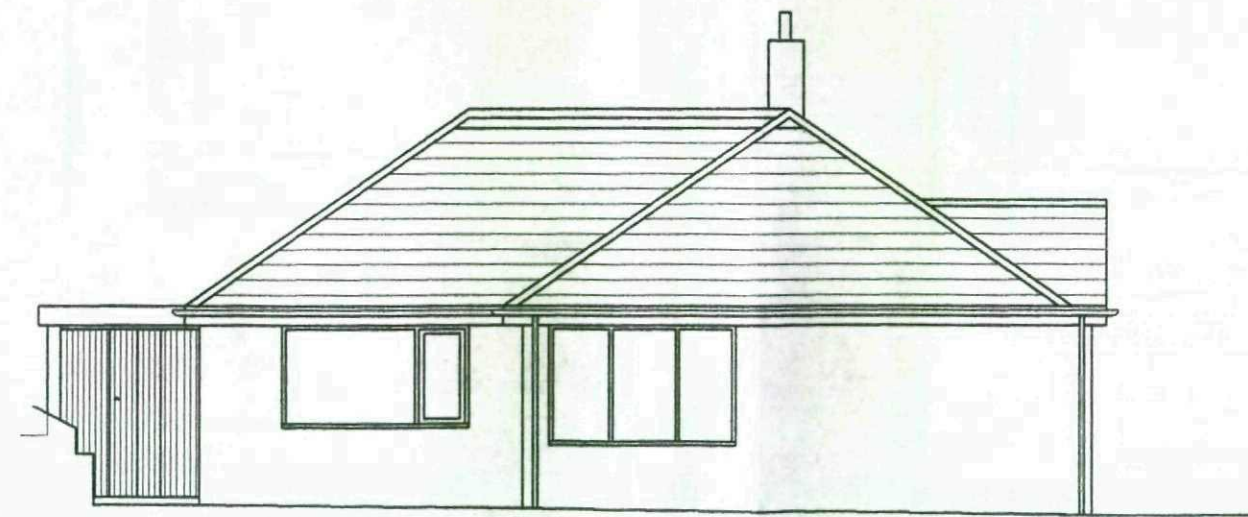
Existing Rear Elevation



Existing Side Elevation



Existing Front Elevation



Existing Side Elevation

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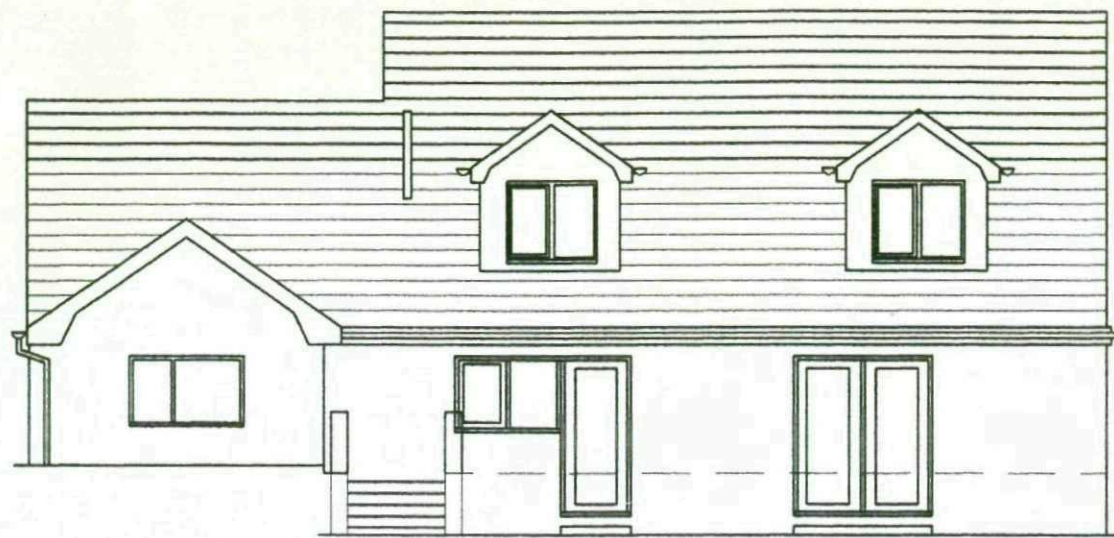
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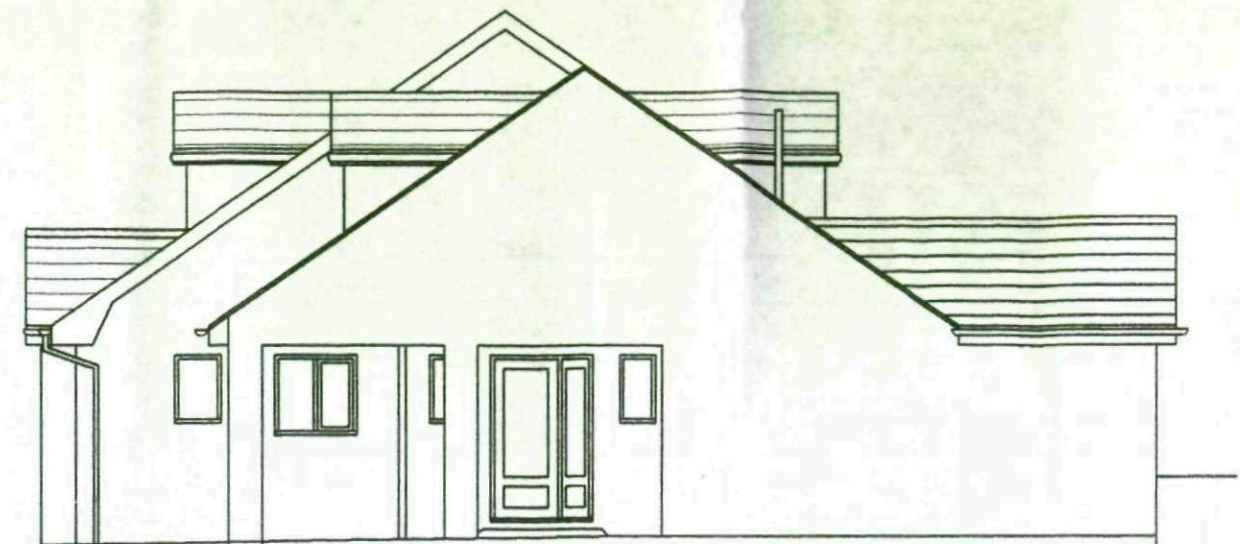
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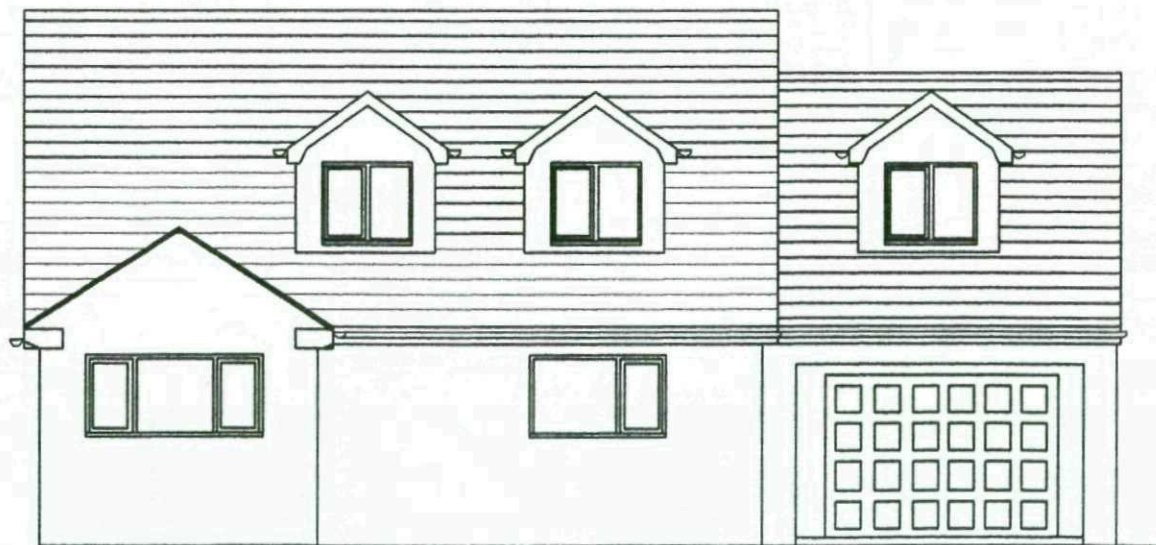
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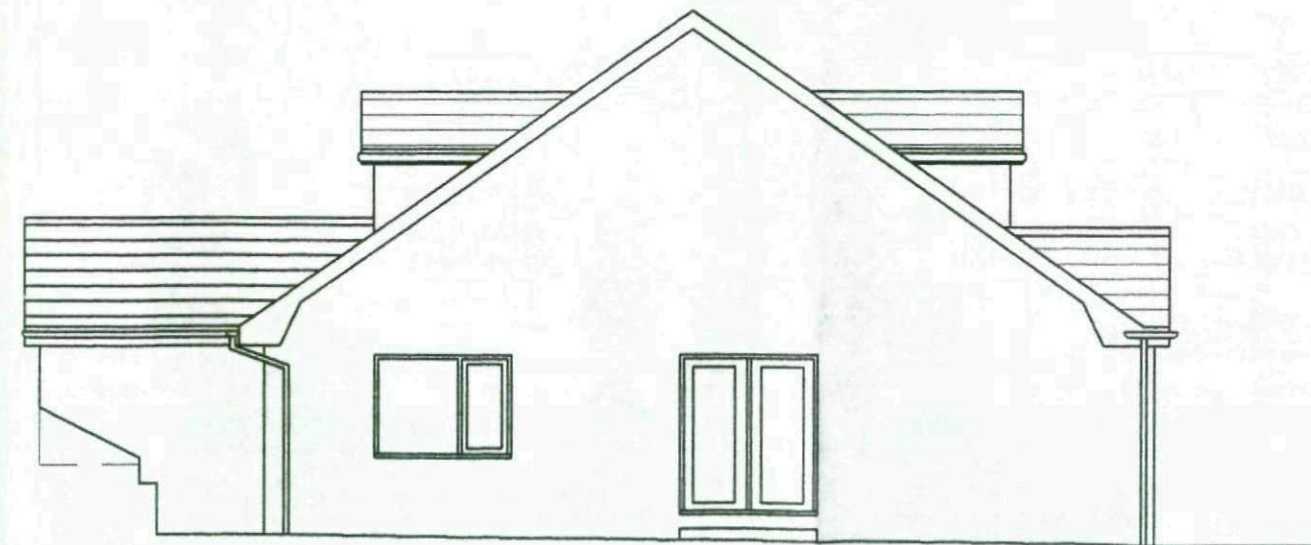
Proposed Rear Elevation



Proposed Side Elevation



Proposed Front Elevation



Proposed Side Elevation

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Foundations

600mm. x 200mm (800mm. x 800mm.to piers) 35N. concrete reinforced with A193 mesh top & bottom with min. 50mm. cover to steel. Depth of foundations to be dependent on site conditions, but to be a min. of 800mm. & taken down to suitable load bearing ground to satisfaction of Local Authority & to invert level of any adjoining drain trench which is within 1 metre of the foundation.

Class "B" Engineering bricks or foundation blocks to ground level

Brickwork

Facing bricks to match existing & to satisfaction of Local Authority, 75mm. cavity (100mm. cavity to garage / bathroom), 100mm load bearing blocks, 2 coat plaster to walls.

Existing & proposed cavity walls to be filled with "Rockwool" blown insulation on completion by approved contractor.

Wall ties to be stainless steel BBA approved place 5 per m2 & at 225mm c/c. at reveals & top of gable walls.

Lintels to be I.G. L1/S100 & L1S/75 to new openings in dwelling & L5/100 to front of carport.

Naylor's R6 concrete lintels to internal openings all with min. 150mm. end bearing.

Existing lintels to be checked for suitability & replaced if necessary.

30mm. x 5mm. galvanized mild steel anchor ties to be provided at max. 2m. c/c. at ceiling & verge level. (these to be screwed to solid noggins over 3 no. joist or rafters).

"Thermabate Closers" (or other approved thermal breaks) to be provided to reveals of openings.

D.P.C. to be provided min. 150mm. above ground level & to heads, sills & reveals of openings.

Retaining wall rear of Garage

2 skins of foundation blockwork with cavity to match existing,

Bituthene tanking fixed in accordance with the manufacturers recommendation & linked to tray D.P.C. in wall & D.P.M. in floor tray D.P.C. to be provided & linked to D.P.C. in wall.

Garage Floor Construction

125mm. concrete on 2000 gauge "Visqueen" (linked to D.P.C. in wall), on 110mm. clean & consolidated hardcore.

Extension Floor Construction

22mm. flooring grade chipboard to B.S.S. on 100mm. x 50mm. S.C.3 grade joists at 600mm. c/c. with 100mm. "Kingspan" TF70 insulation boards between joists, under floor vents to be 225mm. x 150mm. sited max.

400mm. from corners & at 900mm. c/c. these to be ducted through wall & have tray D.P.C. over.

Oversite concrete to be min. 100mm. (increased to 150mm. below sleeper walls which are to be at 1500mm c/c) on a min. of 100mm. clean consolidated hardcore & be sited above ground level.

Roof Construction

Roof tiles to be suitable for 35 degree pitch with colour to match existing & to satisfaction of Local Authority, on 30mm. x 25mm. tile battens; untearable sarking felt, truss rafters to B.S.S. at 600mm. c/c. (Note trusses are only shown diagrammatically on plan & will be subject to manufacturers details & calculations but rafter depth to be a min. of 150mm. to allow for a min. 50mm. gap above insulation for ventilation. Calculations to be submitted & approved by Local Authority before work commences on site.

100mm. x 25mm. horizontal wind bracing twice nailed with 3.35mm. x 65mm. long galvanized round wire nails. 6mm plywood fixed as above to sloping areas (as wind bracing)

100mm. x 50mm. wall plate.

32.5mm. Kingspan Kooltherm K18 dry-lining boards. 100mm. Kingspan Kooltherm K7 insulation boards between rafters, vertical studs & ceiling joists.

19mm. flooring grade chipboard on attic truss (suitable for wet areas where used in shower room or bathroom) 100mm. Dri Therm insulation 10KN per M2 between floor joists (floor over garage / carport to have 2 layers of 60mm. Kingspan Kooltherm K3 insulation between joists, overlaid with Dri Therm insulation 10KN per M2. & underdrawn with 12.5mm. "Fireline" plasterboard (or 2 layers of plasterboard) & skim.

Existing ceiling is plasterboard & skim & the existing ceiling spars are to be supported at max. 1200mm. c/c.

Solid strutting provided to joists at 1/3rd span to floor joists.

P.V.C. spacers between spars to ensure ventilation is not obstructed

Roof to be vented at eaves by Marley or similar 25mm. approved ventilation strip. & at ridge level by "Marley" ridge tile ventilation system or tile vents equal to a 5mm. continuous strip.

Fascias & soffits to match existing.

Code 5 lead on lay boards to valleys & flashings to dormers.

Windows / Ventilation

New windows to be P.V.C.U. to match existing & have an opening area equal to at least 1/20th of the respective room floor area & have a 8000mm. trickle vent.

All new doors & windows to be double glazed with Pilkington "K" low "E" glass & have 20mm. space between panes.

Safety glass to be provided to all new doors & to any new window within 800mm. of floor level or 1500mm. if within 300mm. of a door.

Windows to new bedrooms to be escape type min. opening area of 0.33 metres squared & be at least 750mm. high & 450mm. wide & sited no more than 1100mm. above the floor level & also open through 90 degrees

Fan to be provided in bathrooms & shower rooms (having a capacity of 15 litres per second) & be ducted to external air.

Kitchen to have a fan having a capacity of 60 litres per second or a cooker hood 30 litres per second & in either case ducted to external air.

Utility room to have a fan having a capacity of 60 litres per second ducted to external air.

W.C. to have a fan having a capacity of 6 litres per second & to be ducted to external air.

Drainage

Rainwater to be taken via 100mm. gutters & 63mm. R.W. pipes & to be taken to the existing rainwater sewer or to a soakaway min. 5 metres from any building.

Foul drainage to be 100mm. P.V.C. pipes encased in 150mm. pea gravel & laid to fall 1:60 to existing foul sewer.

Inspection Chambers to be P.V.C. or 225mm. class "B" Engineering bricks on 150mm. concrete base & in either case having a cover & frame suitable for its location.

100mm. P.V.C. soil & vent pipes to be taken min. 900mm. above any opening window & be terminated with a bird cage.

P.V.C. wastes to bath & shower to be 40mm. & wash basin to be 32mm. & any combined wastes to be 50mm.

All appliances to be fitted with a deep seal anti vac trap.

Lintels provided over drains where passing through walls.

Smoke Alarm

Alarms to be to B.S. 5446 Part 1 & are to be mains operated, interlinked & sited on first floor landing (at top of stairs) & ground floor hallway.

Stair Detail

Stairs to have a max. rise & min. going of 220mm. however the pitch must be a max. of 42 degrees & twice the rise + the going to be between 550mm. & 700mm.

The winders to have a min. going of 50mm.

The builder is to design the stair when the trusses are in place.

Guarding to be provided to the open side of the stair at a height of 900mm. above the line of the nosings & any balusters to be at a max. of 99mm. c/c.

A landing is to be provided at the top & the bottom of the stairway & have width at least equal to the width of the stairway.

Door shall swing no nearer than 400mm. to the bottom tread of the stair.

General

Skirting boards & architraves to be to clients choice.

Number & position of radiators, electric lights switches & plug points to be decided at a later date by client.

Stud walls to be 100mm. x 50mm. filled with Dri-Therm sound insulation min. 10KN per M2 & have 12.5mm. plasterboard & skim both sides.

Heating system to be altered by a "Corgi" Registered Engineer to provide heating & hot water to extension.

Existing boiler to be examined & if unsuitable it is to be replaced by a "Corgi" Registered Engineer in a position to be decided at a later date by client.

All exposed pipes to be insulated with insulation to B.S.S.

All disturbed finishes to be made good.

Note all electrical work to be designed, installed inspected & tested by a competent person who is registered with a Part P Self-Certification / Competent Persons Scheme. & a certificate of approval to be submitted to the Local Authority on completion.

This drawing has been produced for the purpose of obtaining Building Regulations & Town Planning Permission & is not a working drawing.
This drawing is copyright & must not be reproduced or used for any purpose without written permission of the Surveyor.

This drawing must be read in conjunction with all other related drawings & documentation.
It shall be the contractor's responsibility to ensure that the works generally comply with the current Building Regulations & relevant Codes of Practice/ British Standards Specification, together with the requirements of the Local Authority Building Surveyor & Drainage Inspector.

It is the contractor's responsibility to check all dimensions on site & before manufacturing or ordering of any components any discrepancy to be reported to the surveyor immediately.

All materials shall be fixed applied & mixed in accordance with the manufacturers instructions & specification.

All materials shall be suitable for their use.

Do Not Scale From This Drawing. If In Doubt Ask.

Date 16:9:2008

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