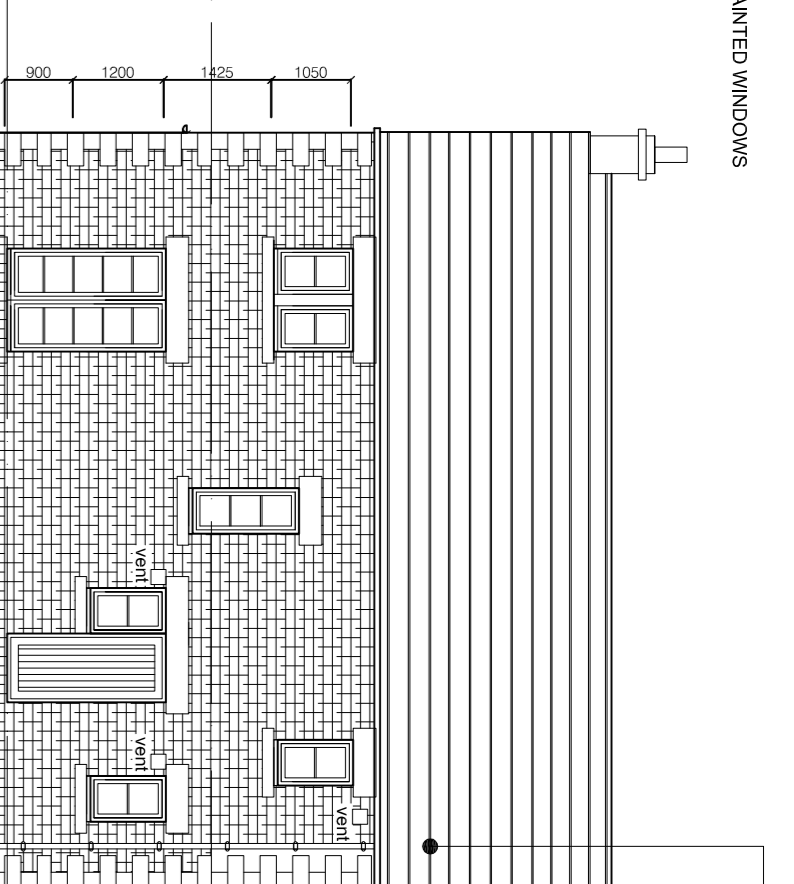
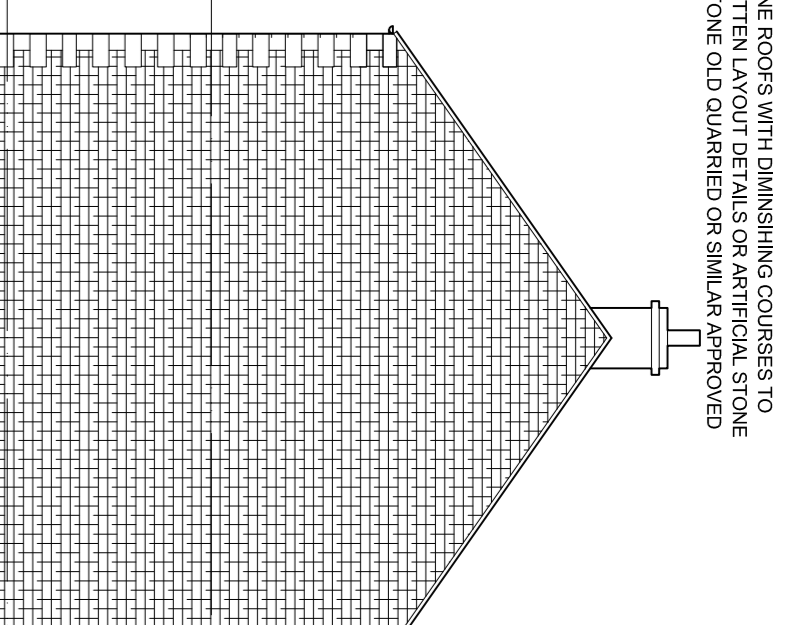


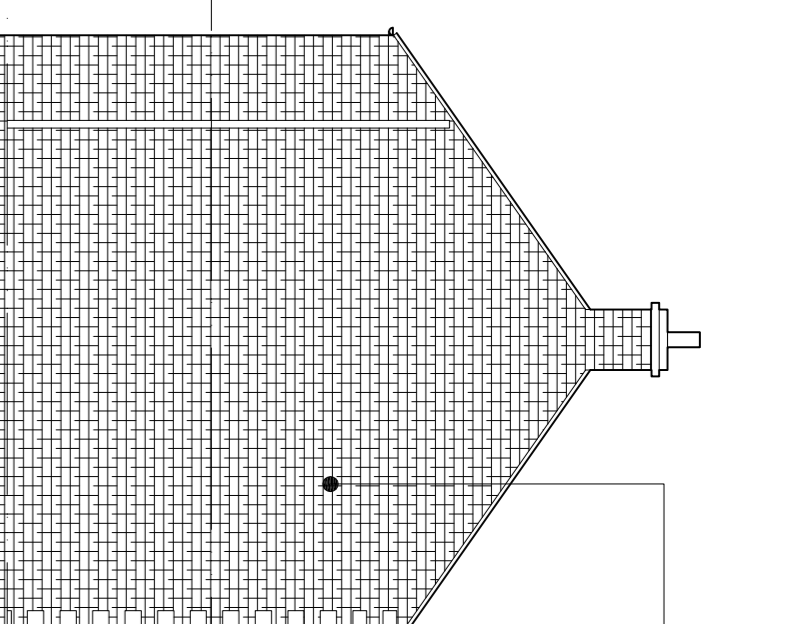
FRONT ELEVATION
AS PROPOSED



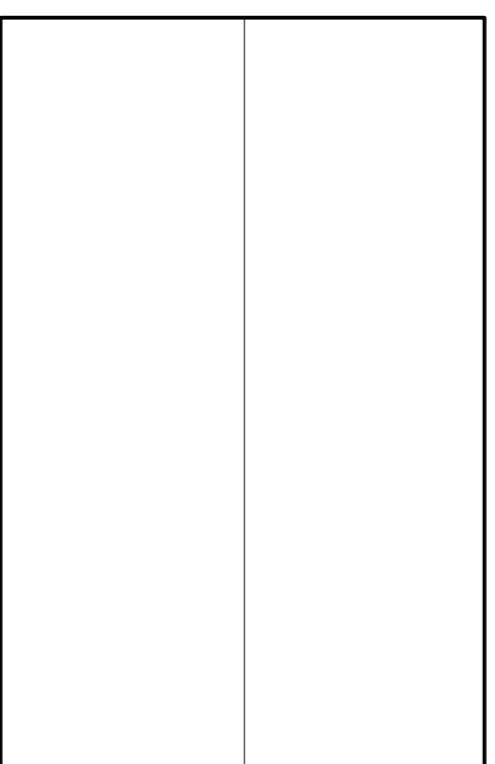
FRONT ELEVATION
AS PROPOSED



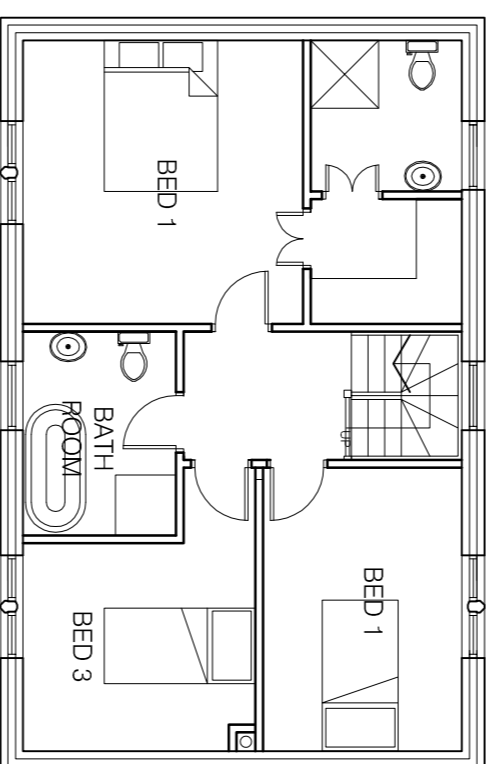
SIDE ELEVATION
AS PROPOSED



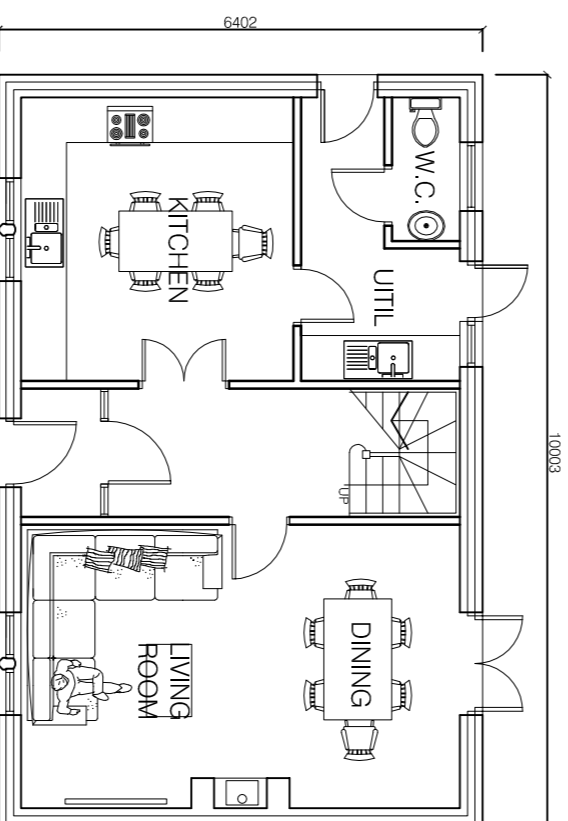
SIDE ELEVATION
AS PROPOSED



ROOF PLAN AS PROPOSED



FIRST FLOOR PLAN AS PROPOSED



GROUND FLOOR PLAN AS PROPOSED
PLOT 2 HANDED

DWELING MATERIALS: STONE DETAILING AS SHOWN ON ELEVATIONAL DRAWINGS.

ROOFS: PITCH TO BE MAX 35 DEGREES GENERALLY.

NATURAL STONE ROOFS: WITH DIMINISHING COURSES TO SUPPLIERS BATTEN LAYOUT DETAILS.

ARTIFICIAL STONE TO BE BRUSHED OR SIMILAR APPROVED BY THE LABC.

NATURAL SLATE: ROOFING WITH APPROPRIATE HEADLAP TO SUIT SIZE OF TILES.

RAINWATER GOODS TO BE CAST IRON OR ALUMINIUM IN BLACK FINISH.

WALLS: NATURAL STONE FACINGS WITH ASHLAR HEADS CALLS AND MOLLIONS AS PRESCRIBED BY THE ELEVATIONAL DRAWINGS.

DOORS: FRAMED LEGGED AND BRACED SOFTWOOD TIMBER DOORS WITH VERTICAL PANELLING OR SIX PANEL ARRANGEMENT PAINTED TO CLIENTS REQUIREMENTS.

EXTERNAL WORKS: ALL NEW AND REPAIRED DRYSTONE WALLING TO BE UNDERTAKEN BY SPECIALISTS TO MATCH EXISTING WALLING. NEW MATERIAL TO MATCH EXISTING.

FIELD GATES: WHERE HEDGES ARE TO BE REPAIRED OR EXTENDED THE USE OF MATCHING SPECIES SHOULD BE ENCOURAGED TO ENSURE CONTINUITY.

HARDWARE TO ACHIEVE SUITABLE SUB BASE FOR TONNAGE OF VEHICLES.

BOUND GRAVEL: BOUND GRAVEL BY SPECIALISTS TO PRIVATE PARKING AREAS AS PRESCRIBED ON THE SITE PLANS.

FREE DRAINING GRAVEL AREAS: LOOSE GRAVEL AREAS TO BE CONTAINED USING PERIMETER BLOCK OR CONCRETE BLOCK OR SUITABLE EDGING PAVOIR.

DRY STONE WALLING: ALL NEW AND REPAIRED DRYSTONE WALLING TO BE UNDERTAKEN BY SPECIALISTS TO MATCH EXISTING WALLING. NEW MATERIAL TO MATCH EXISTING.

ESTATE FENCING: ALL ESTATE FENCING TO MATCH EXISTING FENCES OF THIS NATURE WITHIN THE VILLAGE STREET SCENE. ALL FENCING TO RECEIVE PAINT FINISH.

PATHS & TERRACED AREAS: NATURAL STONE OR GOOD QUALITY ARTIFICIAL YORKSTONE Laid IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS.

HEDGES: NEW HEDGES TO BE TRADITIONAL NATIVE SPECIES.

WHERE HEDGES ARE TO BE REPAIRED OR EXTENDED THE USE OF MATCHING SPECIES SHOULD BE ENCOURAGED TO ENSURE CONTINUITY.

STONE GATE POSTS 200 X 200MM TIMBER POSTS.

ESTATE FENCING: ALL ESTATE FENCING TO MATCH EXISTING FENCES OF THIS NATURE WITHIN THE VILLAGE STREET SCENE. ALL FENCING TO RECEIVE PAINT FINISH.

PATHS & TERRACED AREAS: NATURAL STONE OR GOOD QUALITY ARTIFICIAL YORKSTONE Laid IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS.

HEDGES: NEW HEDGES TO BE TRADITIONAL NATIVE SPECIES.

WHERE HEDGES ARE TO BE REPAIRED OR EXTENDED THE USE OF MATCHING SPECIES SHOULD BE ENCOURAGED TO ENSURE CONTINUITY.

REPOSITIONED ACCESS TO BE TIMBER FARM GATE WITH STONE SETTS TO PROVIDE THRESHOLD.

REPOSITIONED ACCESS TO BE TIMBER FARM GATE WITH STONE SETTS TO PROVIDE THRESHOLD.

REPOSITIONED ACCESS TO BE TIMBER FARM GATE WITH STONE SETTS TO PROVIDE THRESHOLD.

EXISTING DRYSTONE WALL REPAIRED AND REINSTATED. ALL TO BE REPLANE FOR OTHER NEW WALLS WITHIN PROPOSED SITE.

EXISTING DRYSTONE WALL REPAIRED AND REINSTATED. ALL TO BE REPLANE FOR OTHER NEW WALLS WITHIN PROPOSED SITE.

EXISTING DRYSTONE WALL REPAIRED AND REINSTATED. ALL TO BE REPLANE FOR OTHER NEW WALLS WITHIN PROPOSED SITE.

DOTTED LINES DENOTE EXISTING BUILDINGS TO BE REMOVED.

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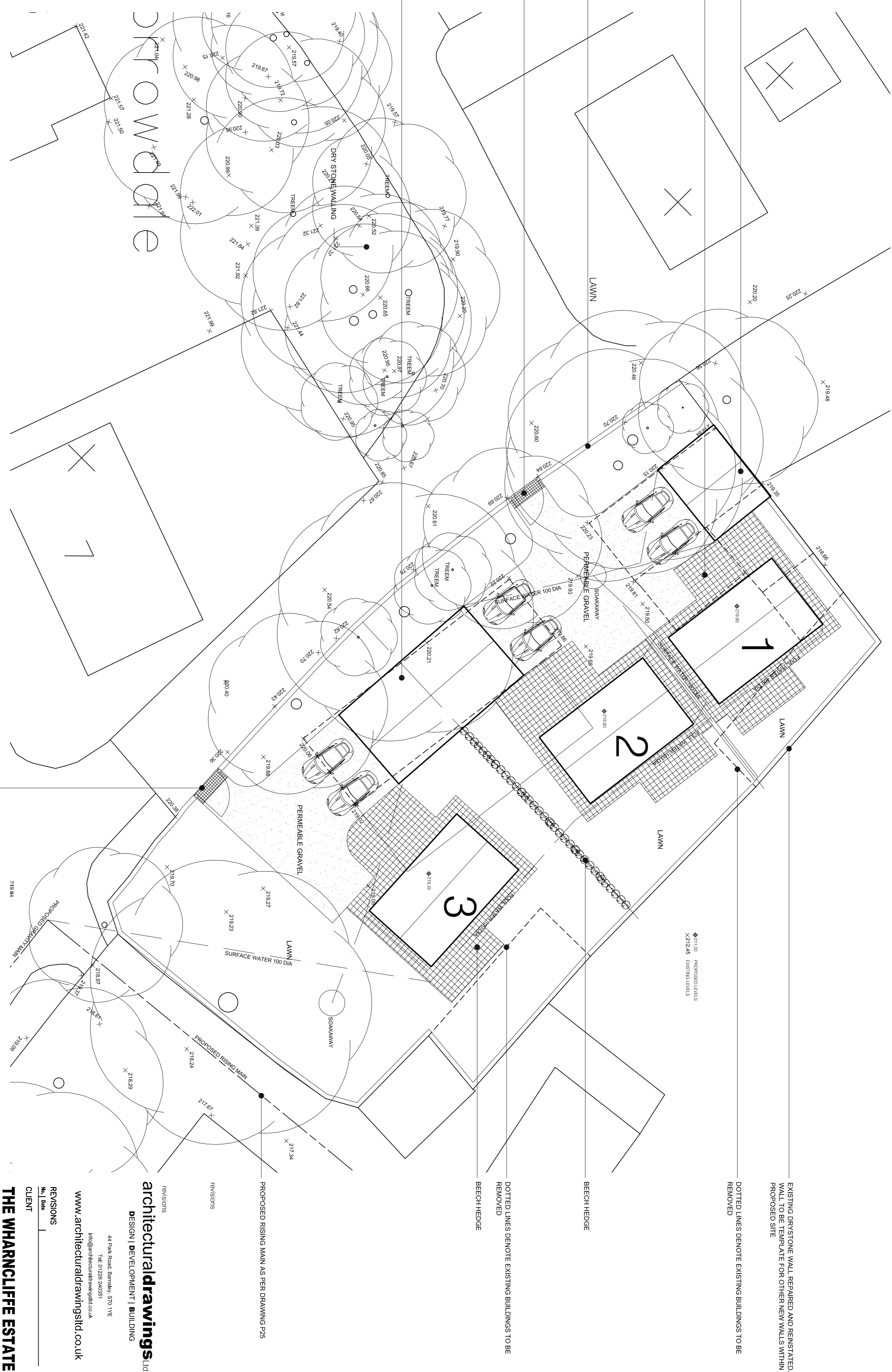
DOTTED LINES DENOTE EXISTING BUILDINGS TO BE REMOVED.

BECH HEDGE

BECH HEDGE

BECH HEDGE

SITE PLAN 1:200



**THE WHARNCLEFFE ESTATE
WORTLEY VILLAGE PLAN**

**SITE 7 PLOTS 1-3
PROPOSED PLANS &
ELEVATIONS**

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CLIENT
THE WHARNCLEFFE ESTATE

REVISIONS

DATE
MARCH 2016

DRAWING NO.
07-02

REV

Do not scale from this drawing. Architectural Drawings Ltd to be notified of any discrepancies in figure dimensions and between site conditions and drawings.

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Discrepancies must be reported to Architectural Drawings Ltd.

The contractor must satisfy himself with the adequacy of the adequate foundations appropriate to the ground conditions are used for any part of the works.

This drawing should not be relied upon to give information on ground conditions and foundations.

The Contractor is to carry out the work in compliance with the Building Regulations, whenever current British Standards