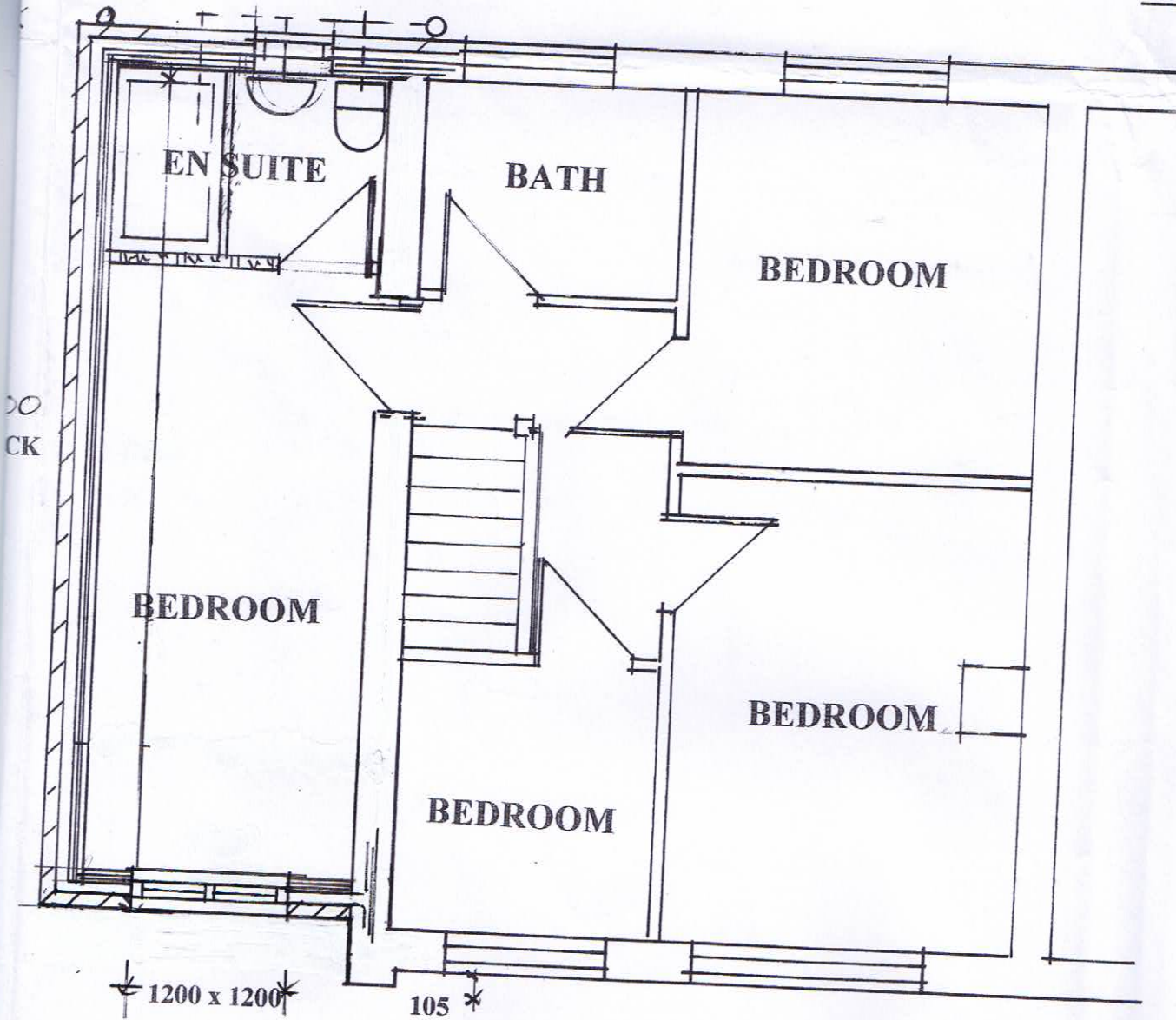


600 x 1050



PROPOSED FIRST FLOOR

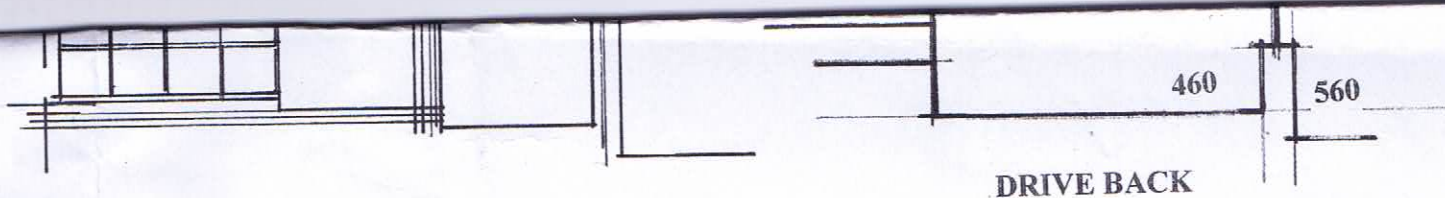
Ground Floor level drive and boundary wall to be sawn to accommodate the foundation and piers and made good to match existing. Bond boundary wall to be inclusive with piers so as not to adversely affect the retaining capabilities of the wall

First Floor to be laid level with the existing first floor determined through the landing opening comprising 18mm tongue and groove chipboard type 2 or 3 for wet areas laid in accordance with manufacturers instructions on 50mm x 150 mm joists at 400 mm centres spanning side to side insulated between with 125mm Kingspan and underdrawn with 50mm kingspan and 12.5 mm fire board all board joints and edges sealed with a cover strip to achieve 30 minutes fire resistance Double joist under any bath feet, and parallel partitions

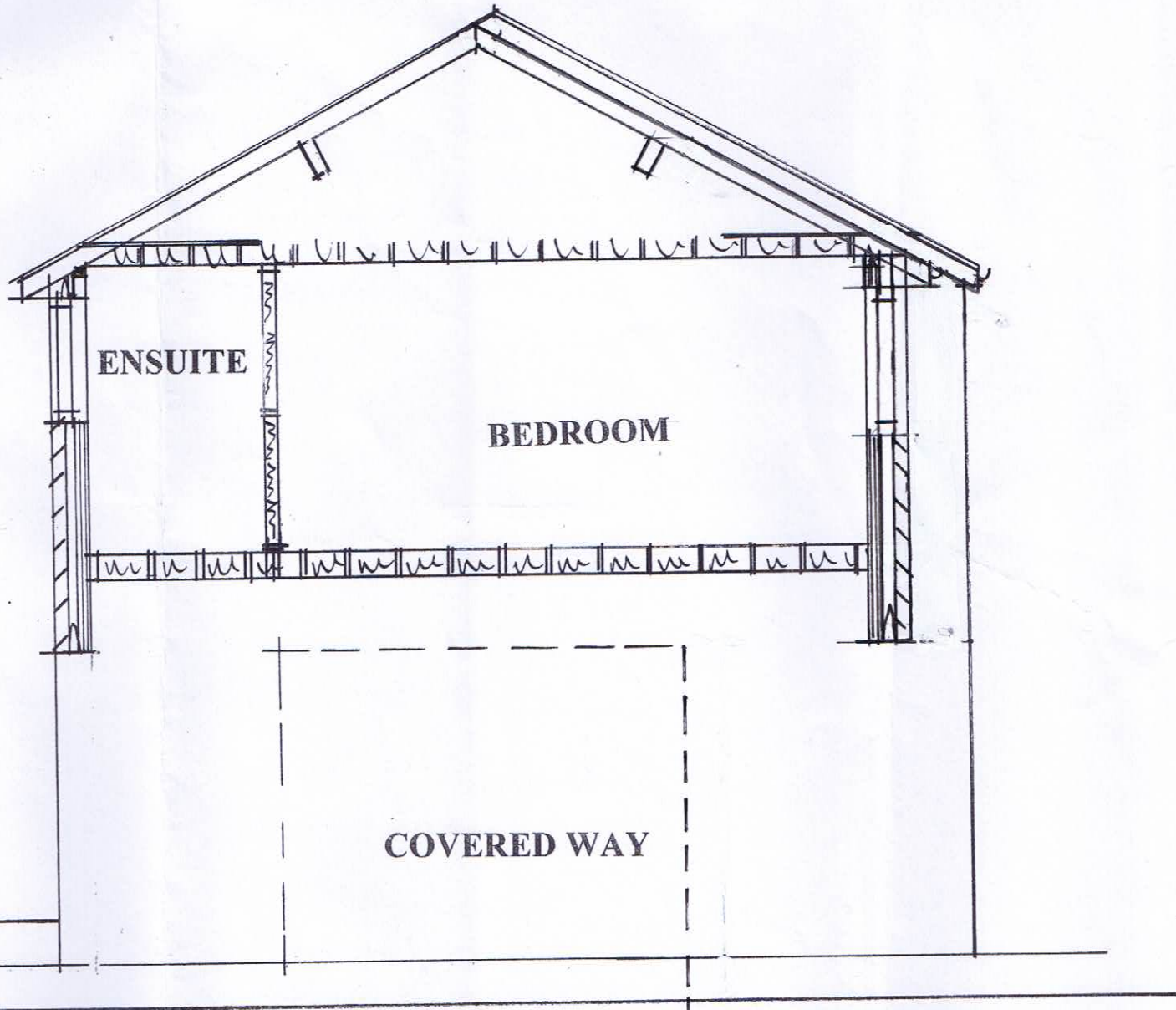
Lateral Restraint 30mm x 5mm x 1.2m long mild steel galvanized lateral restraint straps to be secured over 3 structural timbers at right angles to walls and 50mm wide full depth noggings. Straps to be at 1.8m centres commencing 600mm from the apex over the first uncut block to floors ceilings and verges. Secure the wall plate down the blockwork using 30mm x 5mm x 1200mm long galvanized mild steel straps at least 2 to each section of wall between and adjacent the windows. Ensure at least one mid span to the floor

Roof. All tiles to be suitable for pitch and as approved by the Planning Authority laid in accordance with manufacturers instructions with all tiles clipped and secured and all ridges fully ventilated and mechanically fixed on 1 layer of fully breathable felt such as Proctor Roofshield and 25mm x 50mm tanzalized battens on 50mm x 125 mm rafters at 400mm centres birds mouthed over a 100mm x 50mm wall plate secured to the top of the blockwork and a 75mm x 225mm purlin mid span supported between the proposed and existing gable blockwork 150mm x 25mm ridge 50mm x 150mm ceiling joists at 400mm centres that span side to side all triangulated with 50mm x 50mm x 1800mm long timbers secured to every rafter foot and back across at least 3 ceiling joists Install an eaves tray to protect felt from deterioration into gutter. upvc fascias and soffits. Horizontal ceilings to be insulated by placing a layer of 150mm Rockwool insulation between the ceiling joists and a second layer of Rockwool insulation 150mm thick over at 90 degrees to the first layer. Any access cover within the roof to be fully insulated. The contractor shall be responsible for the inclusion of all Vapour Barriers as advised by British Standard 5250 and manufacturers details as appropriate Builder to ensure that the gutter fall across the complete block of semi detached houses is satisfactory not adversely affected by the extension and is approved by the Building Control Officer at the time of construction. Any cables and services attached to the existing walls are to be considered in accordance with utility providers instruction prior to commencement of any work on site. Builder to consult with client and provider as to specific requirements in relation to proposal and carry out recommendations accordingly. Code 4 lead flashings soakers aprons tray dpc to all abutments

Windows between
BS6206©
with 800m
windows t
between 8
rate of 30
Drains d
investigati
and agree
drains to b
between m
traps. No
plastic pip
round with
percolation
design dep
protected f
Internal Alte
good all pla
and subject
the roof slop
document J



DRIVE BACK



SECTION AA

water pipes to be insulated with foam equivalent to outside diameter of pipe. Radiators to have static valves. All decoration and joinery items and fittings to be agreed with the client and builder prior to commencement of work.

Notes and all drawings are to be checked and verified by the contractor prior to commencing work on site. Workmanship and materials are to comply with the Building Regulations, British Standards and all other relevant codes of practice etc. All materials shall be fixed, applied or mixed in accordance with all manufacturers instructions and specification. All materials shall be suitable for the purpose that they are used for. **The contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Local Authorities Building Inspector, whether or not indicated on the drawings and in the specification.**

Plans and details have been prepared for the purposes of obtaining Town Planning and Building Regulations approval only. Builder to check and to clarify all levels, dimensions, drainage, construction and materials prior to any work on site and to bring to the clients attention any variations perceived omissions or variations for written confirmation before being carried out on site. All dimensions are approximate and must be confirmed on site, before project commences. All lines and levels, invert depths etc of all drainage are only approximate and must be confirmed and verified by the builder at beginning of the contract. When appropriate it is the owners responsibility to serve notice on the adjoining/adjacent neighbours for the proposed works under the Party Wall Act 1996. The explanatory booklet can be obtained free of charge from the local authority free literature PO Box 236 West Yorkshire LS23 7NB. Email odpm@twoten.press.net.

The works will need to comply with the CDM 2015 regulations and the client must appoint either the contractor or other suitably qualified parties to act as Principal Designer as required under the Act. The builder must carry suitable insurances for the works, prepare a specific risk assessment and have expertise in taking the operations required to satisfactorily complete these works in a safe and competent manner at all times. Where parts of an existing structure are to be modified then such parts must be fully supported during such time as the new permanent structure is in place. Walls may require needle propping both sides with props of suitable size and capacity and to be supported from solid ground [not timber joists or other suspended construction]. All lines and levels, invert depths etc of all drainage are only approximate and must be confirmed and verified by the builder at beginning of the contract.