
2024/0625

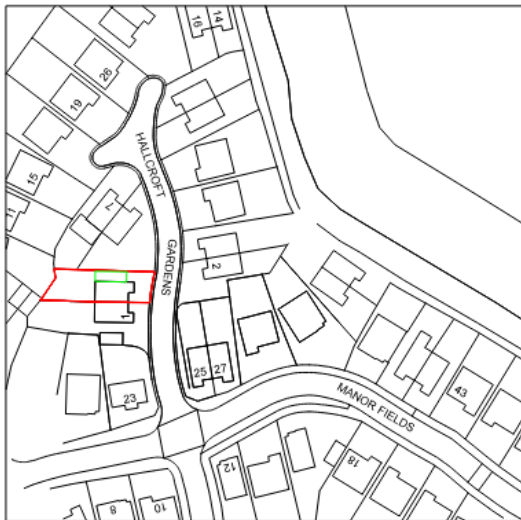
Applicant: Ms. S Haddock

Address: 3 Hallcroft Gardens, Great Houghton, Barnsley, S72 0BH

Description: 2 storey side extension to 2 storey semi-detached dwelling

Site & Location Description:

Located within an early 21st century housing estate within the village of Great Houghton; the dwelling is a modern style red-brick semi-detached house with a side gable, grey tile roof. An original porch style extension is located on the front elevation, rendered in white with a matching grey tiled roof. The front garden features white gravel and a hardstanding driveway which proceeds along the side elevation of the dwelling.



Planning History: None since construction an approval of the estate planning application in December 2000.

Proposed:

The proposal is for a two-storey side extension on the side elevation of the dwelling. There are front and rear windows and doors proposed but no windows on the side elevation are proposed.

Internally, the ground floor would be a garden room and storage area, whilst the first floor would be a master bedroom and ensuite. An additional requirement imposed by Highways DC is that a standard size hardstanding parking space is created within the gravelled area of the front garden.

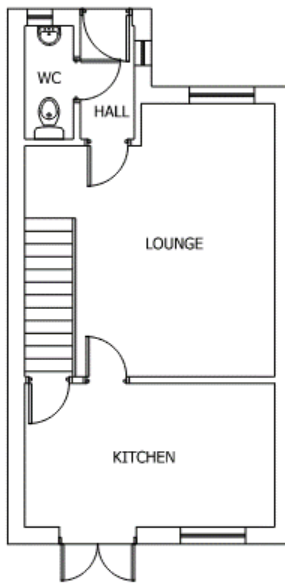
Approximate Measurements:

All existing roof and eaves heights have been checked on the existing plans and remain unaltered on the proposed plans.

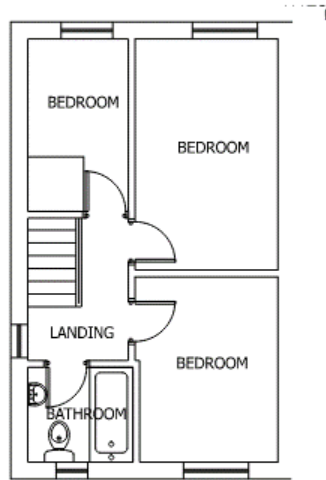
Proposed Side Extension (Existing Measurements)

- **Side Projection: 2.48m** (front elevation width 4.95m)
- **Length: 7.56m** (9.44m maximum/8.06m exl. porch)
- **Maximum Eaves Height: 4.85m** (4.85m)
- **Maximum Roof height: 7.31m** (7.47m)

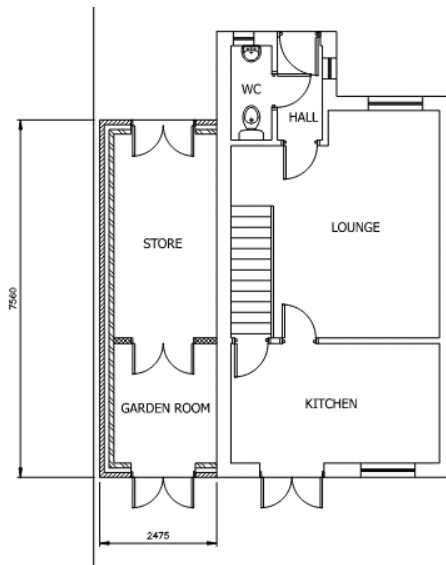
Existing and Proposed Floor Plans and Elevations



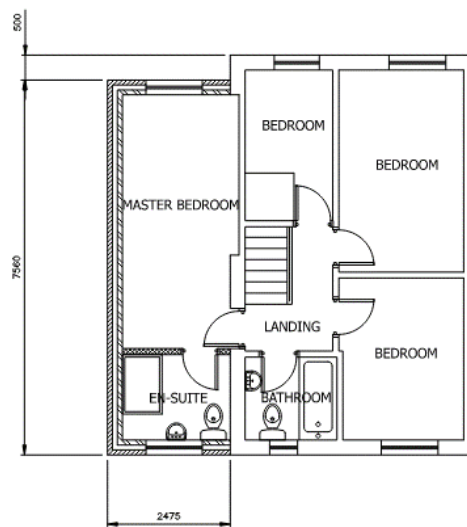
EXISTING GROUND FLOOR PLAN
SCALE 1:100 AT A3



EXISTING FIRST FLOOR PLAN
SCALE 1:100 AT A3



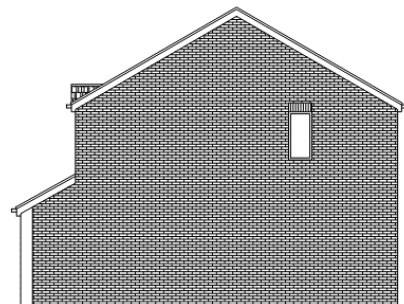
PROPOSED GROUND FLOOR PLAN
SCALE 1:100 AT A3



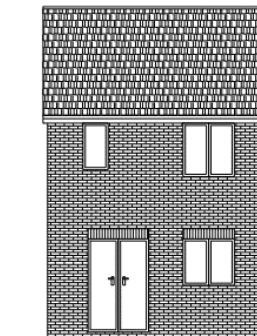
PROPOSED FIRST FLOOR PLAN
SCALE 1:100 AT A3



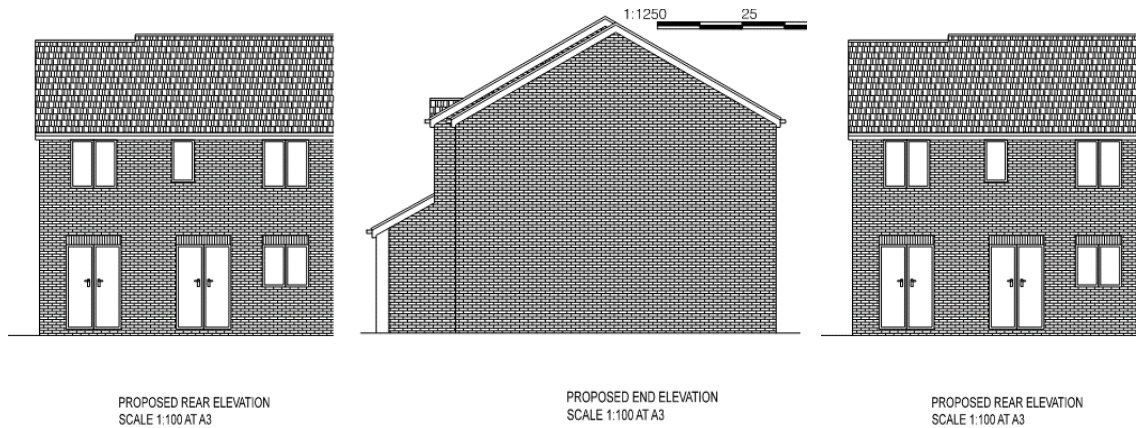
EXISTING FRONT ELEVATION
SCALE 1:100 AT A3



EXISTING END ELEVATION
SCALE 1:100 AT A3



EXISTING REAR ELEVATION
SCALE 1:100 AT A3



Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; One comment providing confirmation of no objection was received.

Consultees:

Great Houghton Parish Council: No comments or objections received.

Highways DC: Following initial concern over an increased number of bedrooms and a lack of adequate parking provision. Amended plans were submitted indicated that an area of gravel to the front of the house would be hard surfaced, resulting in the objection from Highways DC being withdrawn.

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

NPPF

The National Planning Policy Framework sets out the Government’s planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved

unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed and beautiful places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:-

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

T4 - New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

Through the arrangement of dwellings on the estate, the proposal would not have more than a modest impact on neighbouring dwellings. The attached neighbour of No.1 would be largely unaffected, whilst the unattached adjacent neighbour would be insignificantly affected as their outlook from their rear windows would not directly overlook the proposed extension but may indirectly view the corner of it. The closest points between the blank side elevation of the extension and an elevation of any dwelling to the side or rear of the application dwelling are a minimum of 6m, 2.48m less than the original elevation of the house. There are no windows proposed within the side elevation of the extension and the proposed windows, on the first-floor elevation would have a minimum distance of 18m between dwellings on the opposite side of the road (a greater distance than existing windows), and a minimum distance of 22m on the rear elevation, including over 9.5m to the rear boundary of the garden.

Visual Amenity

The proposal is two-storey, but the width of the proposal is quite modest, at approximately half of the width of the original dwelling (2.48m and 4.95m respectively). Although the front porch is already set forward from the main front elevation, the proposed extension is set back approx. 50cm from the front elevation and 1.88 from the front porch. An equal setback is included on the first story, which unlike the set down of the roof, match or exceed the recommendations within the SP. The set down of the roof would ideally have been larger but the approx. 15cm set down, combined with the ample set-back on both storeys does illustrate subordination to the original dwelling. Matching materials and roof style are proposed, which would help integrate the extension into the street scene.

Highway Safety

Due to an increase in bedroom numbers from two to three, an additional hard standing parking space was requested by Highways DC and is proposed to be installed within the current graveled area at the front of the dwelling as part of the overall development. No other concerns about highway safety were raised.

Recommendation: Approve with conditions