



PLANNING STATEMENT

**PROPOSAL: CHANGE OF USE OF PROPERTY FROM DWELLING
(C3 USE) TO USE AS A 6 PERSON HOUSE IN MULTIPLE
OCCUPATION (C4 USE)**

CLIENT: SAWARAN SINGH MAWI

SITE: 166 BARNSELY ROAD, DARFIELD, BARNSELY, S73 9DQ

DATE: MAY 2026



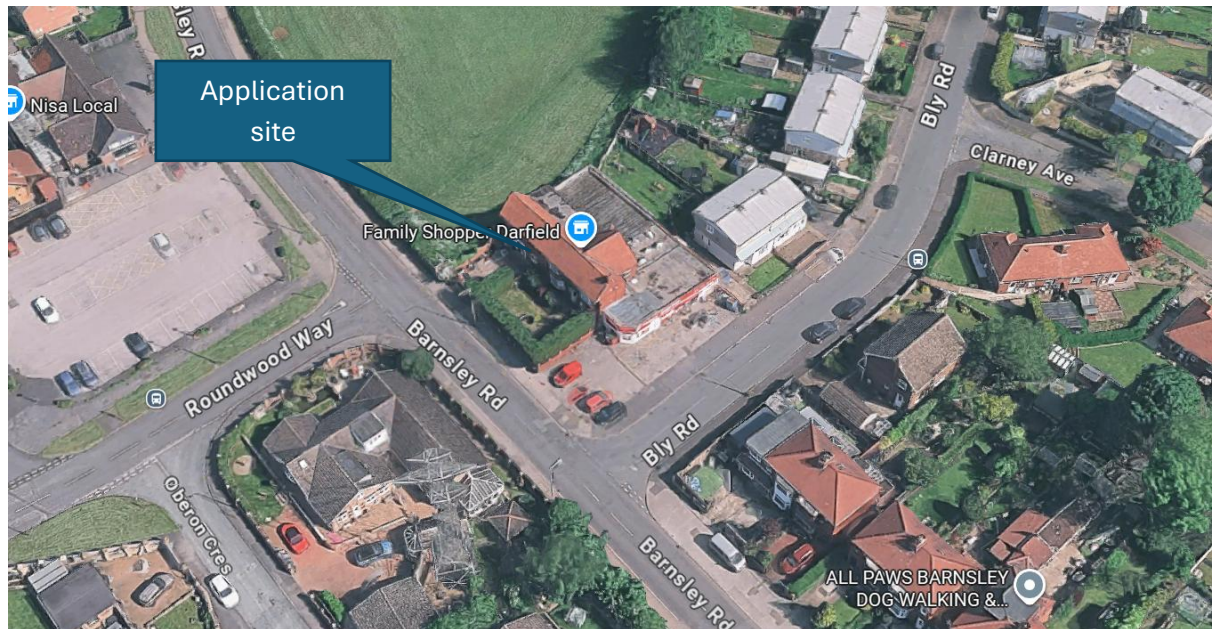
1.0 Introduction

- 1.1 This Planning Statement has been prepared by LRJ Planning Ltd to accompany the full planning application for the use of a property at 166 Barnsley Road, Darfield, Barnsley, S73 9DQ as a 6 person house in multiple occupation (HMO) (C4 use). This application seeks to deal with the raised in an appeal decision for the use of a property as a 7 person HMO.
- 1.2 This Statement provides a planning analysis to demonstrate that the submitted proposal is acceptable in planning terms and in accordance with the relevant policy and guidance.
- 1.3 The application is supported by a set of planning drawings.

2.0 Site Description

- 2.1 The application site comprises a substantial two-storey property located on the north eastern side of Barnsley Road at the junction with Bly Road. The previous lawful use of the property was as a dwelling. The host property comprises a two-storey pitched roof property, finished in brick and a tiled roof. The adjoining property comprises a convenience store.
- 2.2 The aerial photograph exhibited in figure 1 below illustrates the location of the site and nature of the surrounding development.

Figure 1 – Aerial View of Site



2.3 The site is considered to occupy a highly sustainable location, with easy access to schools, shops, green open space, as well as bus stops.

2.4 The site is not located within a Conservation Area or adjacent to any designated heritage assets.

3.0 Background

3.1 A Lawful development certificate for proposed change of use from garage/storeroom to residential flat is currently being assessed by the Council under planning reference: 2025/0568. It should be noted that this is separate to the scheme currently proposed for the use of the remaining area of the property as a 6 person HMO.

3.2 Planning permission for the conversion of the property to create 4 flats under planning reference: B/05/0278/DA was approved on 1st April 2005.

3.3 Under planning application reference 2025/0807, retrospective permission was sought for the change of use of the property from a single dwellinghouse (Use Class C3) to a seven-person HMO (sui generis). The application was refused



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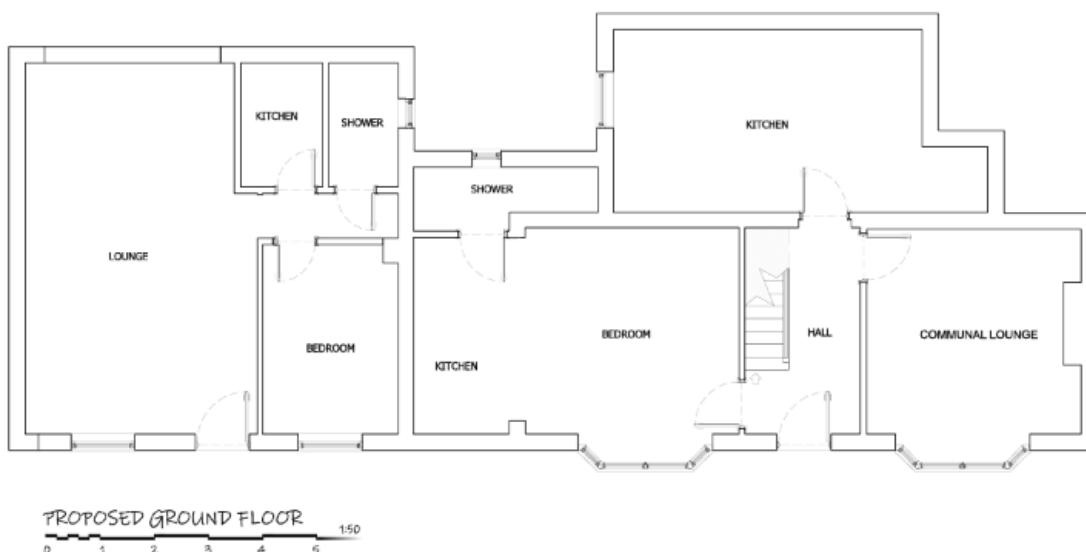
by the Council and subsequently dismissed at appeal under Appeal Ref: 6003268.

- 3.4 The Planning Inspector upheld the Council's concerns in relation to internal living conditions, concluding that the development provided insufficient communal living space for occupants and therefore resulted in unacceptable residential amenity, contrary to Policy GD1 of the Barnsley Local Plan and the South Yorkshire Residential Design Guide. However, the Inspector found no harm in relation to the loss of family accommodation or highway safety, including parking provision. The appeal decision therefore turned solely on the inadequacy of internal living conditions within the property.

4.0 Proposal

- 4.1 This latest application seeks to deal with the sole outstanding issue raised by the Inspector in respect of living conditions for future occupants. Full planning permission is sought for use of the property as a 6 Person HMO (C4 Use). No alterations are proposed to the existing arrangement and internally, the accommodation will be arranged as illustrated on the drawing below with the creation of a communal lounge area.

Proposed floor plans





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3.2 It should be noted that the property benefits from a licence for the use of the property as a 7 person HMO. This was issued on 13th December 2024.

4.0 Planning Policy Context

4.1 In February 2025, the Government published the latest version of National Planning Policy Framework (NPPF). The NPPF sets out the Government's planning policies for England and sets out how they are expected to be applied. The NPPF took immediate effect.

4.2 Paragraph 2 of the NPPF states that *“Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise.”* The plan-led approved approach to development as enshrined by Section 38(6) of the Planning and Compulsory Purchase Act 2004. In addition, the NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions, as are previous planning decisions and appeals.

4.3 Paragraphs 7 and 8 confirm that the purpose of the planning system is to contribute to the achievement of sustainable development, which comprises economic, social and environmental development. The NPPF retains a presumption in favour of sustainable development.

4.4 Paragraph 39 of the NPPF relates to decision making and confirms that *“Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.”*

4.5 Paragraph 61 relates to the Government's objective to significantly boost the supply of homes. This is seen in the context of ensuring that a sufficient amount



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and variety of land comes forward where it is needed, that the needs of groups with specific housing need requirements are addressed and that land with planning permission is developed without unnecessary delay. The overall aim should be to meet as much housing need as possible with an appropriate mix of housing types to meet the needs of communities.

- 4.6 Paragraph 63 indicates that due regard should be given to size, type and tenure to address the needs of different groups in the community.
- 4.7 Paragraph 73 makes specific reference to small to medium sized sites as making an important contribution to meeting the housing requirements of an area because they can be built-out relatively quickly. It emphasizes the need to support development of windfall sites where great weight should be given to the benefits of using suitable sites within existing settlements for homes.
- 4.8 Paragraph 124 highlights that policies and decisions should promote an effective use of land in meeting the need for homes and other uses, maximising the use of brownfield land. Similarly, Paragraph 126d encourages decisions to promote and support the development of under-utilised land and buildings.
- 4.9 Paragraph 131 notes that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. It elaborates that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 4.10 Paragraph 135 seeks to ensure that developments will function well and add to the overall quality of the area, be visually attractive as a result of good architecture, and be sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.
- 4.11 Local Planning Policy relevant to this small scale development proposal is contained within the The Local Plan review which was approved on 24th November 2022.

Local Plan Allocation – Urban Fabric

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy GD1: General Development.
- Policy POLL1: Pollution Control and Protection.
- Policy LG2: The Location of Growth.
- Policy T3: New Development and Sustainable Travel.
- Policy T4: New Development and Transport Safety.
- Policy D1: High quality design and place making.

Supplementary Planning Document(s)

- Design of Housing Development.
- Parking.

5.0 PLANNING APPRAISAL

5.1 This section seeks to highlight the main issues relevant to the determination of the application and assess the scheme against the local and national planning policies referenced in section 4.0 above. The proposal accords with The Local Plan and aims to meet the city's demand for additional housing in sustainable urban areas while complying with relevant policies to ensure the well-being of occupants and neighbouring residents.

5.2 The main issues that are considered to be relevant in this case include the following:

- The principle of development
- Design

- Neighbour amenity
- Transport related matters
- Environmental Health and Licencing

A) Principle of Development

5.3 Policy H9 of the Local Plan states that:

- Development within the curtilage of existing larger dwellings will be resisted where it would have an adverse impact on the setting of the original dwelling, or materially reduce the size of the remaining garden area.
- The loss of existing larger dwellings will be resisted.
- Support will be given to the re-establishment of Houses in Multiple Occupation (HMOs) into single family dwellings.

5.4 The proposed development has been designed to respect the architectural character and setting of the host property. The siting, scale, and design ensure that the proposal does not compromise the integrity or legibility of the original property. The proportions of the building remain balanced, and its prominence in the street scene is maintained. There is no adverse impact on the setting of the original property as defined by Policy H9.

5.5 The proposal carefully considers the spatial quality of the curtilage. A substantial area of garden will remain available to future occupiers. The remaining outdoor space will be of an appropriate scale and function to serve the needs of the household, consistent with Policy H9's requirement to avoid unacceptable reductions in garden provision.

5.6 The property currently benefits from an HMO licence for up to 7 persons. The licensed status demonstrates the lawful use of the property as an HMO and its compliance with relevant housing and licensing standards. There is an identified demand for good quality HMO accommodation within this locality,



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reflecting the needs of local workers, students, and young professionals. The proposal therefore makes a positive contribution to meeting housing choice and affordability in the area, while maintaining high standards of living accommodation.

- 5.7 The proposal is fully compliant with Policy H9. It has no adverse impact on its setting, ensures that an appropriate level of garden space is preserved, and maintains the contribution of the property as a licensed HMO serving local housing needs. The development therefore accords with the aims of the Local Plan to manage residential development responsibly, while responding positively to the established demand for HMO accommodation.

B) Design

- 5.8 The proposal seeks the continued use of the property as a licensed House in Multiple Occupation (HMO) for up to 6 persons. Importantly, no external alterations are proposed to the building as part of this application. The existing form, massing, and architectural detailing will therefore be retained in full, ensuring the property continues to present as a conventional residential property within the street scene.
- 5.9 The absence of external works means there will be no impact on the character or appearance of the property or the wider locality. The building will continue to integrate seamlessly with the surrounding residential environment, with no change to elevations, rooflines, boundary treatments, or the overall layout of the plot. Visual amenity and local distinctiveness are therefore preserved.
- 5.10 Alterations are confined to the internal layout of the property in order to ensure compliance with relevant HMO licensing standards. These include the provision of adequate room sizes, fire safety measures, and appropriate levels of communal space and facilities to meet the needs of future occupiers. In this way, the proposal not only safeguards the quality of the external built



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environment, but also secures a high standard of internal living accommodation.

- 5.11 Accordingly, the scheme fully accords with Policy D1 of the Local Plan, which requires development to respect local character and to achieve high standards of design that safeguard both external appearance and internal quality of accommodation.

C) Residential Amenity

- 5.12 The proposal has been carefully considered to ensure that the amenities of neighbouring occupiers are preserved. As no external alterations are proposed, the scale, massing, and positioning of the building remain unchanged. There will therefore be no additional impacts in terms of overshadowing, overlooking, or loss of privacy for surrounding properties.
- 5.13 The continued use of the property as a licensed House in Multiple Occupation (HMO) for up to 6 persons represents an established arrangement that has already been assessed against housing and licensing standards. The internal alterations required to maintain compliance with HMO regulations will not give rise to any material change in the external relationship of the building to its neighbours.
- 5.14 In terms of activity levels, the use of the property for shared accommodation is compatible with the residential character of the area. Occupancy levels are limited by the terms of the licence, ensuring that the intensity of use is controlled. Furthermore, the property provides adequate internal communal areas and retains a substantial garden, ensuring that future occupiers have sufficient amenity space within the site, thereby minimising potential pressure on the surrounding environment.



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- 5.15 Accordingly, the proposal is not anticipated to cause any demonstrable harm to neighbouring amenity and is considered to comply fully with Local Plan policies that seek to safeguard the living conditions of existing residents.

D) Parking and Highway Considerations

- 5.16 No alterations are proposed to the existing off-street parking arrangements at the property. The established parking provision is considered sufficient to accommodate the needs of the use as a licensed House in Multiple Occupation (HMO) for up to 6 persons.
- 5.17 The property benefits from existing on-site parking spaces which reduce reliance on on-street provision. In addition, the site is located within an accessible residential area, with good connections to local services, public transport, and employment opportunities. This sustainable location reduces the dependency on private car ownership and helps to limit the demand for additional off-street parking.
- 5.18 It is also relevant that the intensity of use is restricted by the HMO licence, thereby placing a cap on the number of occupants and associated parking demand. In this context, the retention of the existing parking arrangements is considered proportionate, sufficient, and in line with adopted Local Plan policy requirements relating to highway safety and sustainable development.
- 5.19 The proposal will therefore have no adverse impact on local highway conditions, does not increase parking pressures, and ensures safe and suitable access arrangements are maintained.

E) Environmental Health and Licensing Considerations

- 5.20 The property currently benefits from a House in Multiple Occupation (HMO) licence issued by the Local Authority. Since the previous refusal and appeal



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decision, the internal arrangement of the property has been amended, including a reduction in the number of occupants now proposed and the reconfiguration of the ground floor layout to provide a communal lounge in place of the previously proposed ground floor bedroom. This adjustment responds directly to the concerns previously raised regarding the adequacy of shared living accommodation.

- 5.21 The revised scheme therefore no longer seeks to maximise occupancy at the former level of seven persons. Instead, it proposes a reduced occupancy level alongside improved internal layout, including the introduction of a dedicated communal living room to serve all residents. This change enhances the balance between private sleeping accommodation and shared living space, addressing the previous findings in relation to internal amenity and compliance with relevant housing standards.
- 5.22 Whilst the HMO licence confirms that the property is capable of being managed as a shared residential dwelling, the current proposal goes beyond mere reliance on licensing controls and instead incorporates design led improvements to living conditions. The development therefore continues to support the provision of managed shared accommodation within the borough, while ensuring a higher standard of internal amenity and compliance with planning policy objectives relating to residential quality and living conditions.

6.0 Conclusion

- 6.1 The revised scheme represents a material and meaningful response to the previous reasons for refusal and the Inspector's findings on Appeal Ref: 6003268. In particular, the principal issue identified at appeal, namely the inadequacy of internal living conditions due to insufficient communal space has now been fully addressed through a revised internal layout. The removal of the previously proposed ground floor bedroom and its replacement with a dedicated communal lounge significantly improves the balance between private and



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shared accommodation, ensuring that all occupants have access to appropriate, usable communal living space.

- 6.2 In addition, the proposal now reduces the overall number of occupants compared to the previously refused scheme, further easing pressure on shared facilities and enhancing the overall standard of accommodation. This reduction, combined with the improved layout, ensures that the property no longer relies on bedrooms to perform dual sleeping and living functions, directly addressing the Inspector's concern regarding unacceptable internal amenity.
- 6.3 The revised arrangement therefore overcomes the sole determinative issue that led to dismissal of the previous appeal. The Inspector raised no objections in relation to either the loss of family accommodation or highway safety, and these matters remain unchanged and acceptable in planning terms. Accordingly, the current proposal is considered to accord with Policy GD1 of the Barnsley Local Plan and the objectives of the South Yorkshire Residential Design Guide, delivering a satisfactory standard of accommodation for future occupiers.
- 6.4 Overall, the revised scheme is considered to fully address the previous refusal reasons, and there are no outstanding material planning objections that would justify refusal.